



AGENDA

MEETING OF THE MINTURN TOWN COUNCIL

Minturn Town Center

302 Pine Street

Meeting to be held via Zoom Conferencing and call-in.

Minturn, CO 81645 • (970) 827-5645

Wednesday April 1, 2020

Work Session – None

Regular Session – 6:30pm

MAYOR – John Widerman

MAYOR PRO TEM – Earle Bidez

COUNCIL MEMBERS:

Terry Armistead

George Brodin

Brian Eggleton

Eric Gotthelf

Chelsea Winters

When addressing the Council, please state your name and your address for the record prior to providing your comments. Please address the Council as a whole through the Mayor. All supporting documents are available for public review in the Town Offices – located at 302 Pine Street, Minturn CO 81645 – during regular business hours between 8:00 a.m. and 5:00 p.m., Monday through Friday, excluding holidays.

Regular Session – 6:30pm

1. Call to Order

- Roll Call
- Pledge of Allegiance

2. Public comments on items which are ON the consent agenda or are otherwise NOT on the agenda as a public hearing or action item. (5-minute time limit per person)

3. Approval of Consent Agenda

A Consent Agenda is contained in this meeting agenda. The consent agenda is designed to assist making the meeting more efficient. Items left on the Consent Agenda may not be discussed when the Consent Agenda comes before the Council. If any Council member wishes to discuss a Consent Agenda item please tell me now and I will remove the item from the Consent Agenda and place it

in an appropriate place on the meeting agenda so it can be discussed when that item is taken up by the Board. Do any Council members request removal of a Consent Agenda item?

- March 16, 2020 Emergency Meeting Minutes Pg 3
- March 18, 2020 Meeting Pg 7
- DRB Review – Conville/Long Pg 12
- Sign Application approval Pg 44

4. Approval of Agenda

- Items to be Pulled or Added
- Declaration of Conflicts of Interest

5. Special Presentations

- Minturn 2020 Community Survey Results – Jason Roberts, Intercept Insights Pg 54
- Council Comments/Committee Reports

DISCUSSION/DIRECTION ITEMS

- 6. Discussion/Direction:** Community Funding Request – Metteer Pg 105
- 7. Discussion/Direction:** Water Capital Improvement Plan Progress update – Metteer/Gordon Pg 113
- 8. Discussion/Direction:** Public Hearings – Metteer Pg 168

COUNCIL INFORMATION / UPDATES

9. Staff Updates

- Manager's Report Pg 169
- Future Agenda Items Pg 170

MISCELLANEOUS ITEMS

10. Future Meeting Dates

- a) Council Meetings:
- April 1, 2020
 - April 15, 2020
 - May 6, 2020

11. Other Dates:

- Municipal Election – April 7, 2020

12. Adjournment



OFFICIAL MINUTES – EMERGENCY SPECIAL MEETING

MEETING OF THE MINTURN TOWN COUNCIL
Minturn Town Center, 302 Pine Street
Minturn, CO 81645 • (970) 827-5645

Monday March 16, 2020

EMERGENCY Regular Session – 5:00pm

MAYOR – John Widerman
MAYOR PRO TEM – Earle Bidez

COUNCIL MEMBERS:

Terry Armistead
George Brodin
Brian Eggleton
Eric Gotthelf
Chelsea Winters

These minutes are formally submitted to the Town of Minturn Town Council for approval as the official written record of the proceedings at the identified Council Meeting. Additionally, all Council meetings are tape-recorded and are available to the public for listening at the Town Center Offices from 8:30am – 2:00 pm, Monday through Friday, by contacting the Town Clerk at 970/827-5645 302 Pine St. Minturn, CO 81645.

Regular Session – 5:00pm

1. Call to Order

- Roll Call

The meeting was called to order by Mayor John W. at 5:00pm in the Council Chambers.

Those present include: Mayor John Widerman, Mayor Pro Tem Earle Bidez and Town Council members George Brodin, Brian Eggleton, and Terry Armistead. Note: Brian Eggleton, Eric Gotthelf, and Chelsea Winters were excused absent. A quorum was established with four members present.

Staff present: Town Manager Michelle Metteer and Town Treasurer/Town Clerk Jay Brunvand. Town Attorney Michael Sawyer was present by phone.

- Pledge of Allegiance

2. Public comments on items which are ON the consent agenda or are otherwise NOT on the agenda as a public hearing or action item. (5-minute time limit per person)

3. Approval of Agenda

- Items to be Pulled or Added

Motion by Terry A., second by George B., to approve the Agenda of March 16, 2020 as presented. Motion passed 4-0. Note: Brian Eggleton, Eric Gotthelf, and Chelsea Winters were excused absent.

- Declaration of Conflicts of Interest

PUBLIC HEARINGS AND/OR ACTION ITEMS

4. **Public Hearing/Action Item:** Resolution 12 – Series 2020 A Resolution approving an Electronic Participation Policy at Town Council meetings during a local disaster emergency – Town Attorney

Michelle M. presented the Resolution to the Council. This Resolution is necessary to in order to continue holding public meetings during times when a local disaster emergency is in place. She stated all Ordinances have been removed from all meetings until we have a full understanding of how public comments and transparency will continue.

John W. stated this Wednesday's meeting will be held remotely and citizens will be able to log in to <https://zoom.us/j/605893814> or call 1-669-900-6833 meeting ID 605 893 814#. Discussion ensued as to if the Candidate forum could be done by ZOOM.US; Staff will look in to this option with the anticipation of not having a public gathering and to allow candidates to submit a picture and a biography. This information will be compiled and added to the website.

Terry A. stated how well the Town Manager has taken this emergency up and really handled it with integrity and transparency in spite of how fast the issues are moving.

Motion by Earle B., second by George B., to approve Resolution 12 – Series 2020 A Resolution adopting an Electronic Participation Policy for use in the event of a local emergency declaration as presented. Motion passed 4-0. Note Brian Eggleton, Eric Gotthelf, and Chelsea Winters were excused absent.

5. **Public Hearing/Action item:** Resolution 13 – Series 2020 A Resolution of the Town Council in support of the Governor declaring a statewide emergency and authorizing expenditures, declaring a local disaster emergency, and authorizing the exercise of the Town Council's police power by the Town Manger – Town Attorney

Michelle M. stated the State Governor and Eagle County have declared emergencies in light of the COVID-19 pandemic. Michelle M. stated this Resolution is in step with those declared emergencies in an effort to maintain the same unified front. The intent is to get through the emergency with the least impact on citizens and businesses.

George B. asked if the allowance of expenses overrides the approved budget. Michael S. stated it does not allow the appropriation of new monies, rather it is to possibly reallocate the existing appropriations. Council could then determine if additional funds need to be appropriated supplementally to maintain a balanced budget.

Earle B. asked the process of ratification as outlined in the Resolution. This is essentially the same process money is supplementally appropriated as during non-emergency times.

George B. asked if this changed or eliminated the amount currently allowed by the Town Manager currently limited to \$25,000. Yes, this does as long as it is directly related to this COVID-19 virus pandemic.

Michael S. continued by outlining some of the changes proposed today from yesterday's version of the Resolution. The need for certain acts at a town level are probably superseded by the State declaration; however, it is potential that town specific needs arise that need to be addressed.

Motion by Terry A., second by George B., to approve Resolution 13 – Series 2020 A Resolution of the Town Council in support of the Governor declaring a statewide emergency and authorizing expenditures, declaring a local disaster emergency, and authorizing the exercise of the Town Council's police power by the Town Manger as presented. Motion passed 4-0. Note Brian Eggleton, Eric Gotthelf, and Chelsea Winters were excused absent.

COUNCIL INFORMATION / UPDATES

6. Staff Updates

- Manager's Report

John W. noted a conference call he and Michelle M. will be on that will put out the latest information. Any uniform message will be delivered during the Wednesday Council meeting.

- Future Agenda Items

MISCELLANEOUS ITEMS

7. Future Meeting Dates

a) Council Meetings:

- March 18, 2020 (virtual/electronic meeting)
- April 1, 2020 (virtual/electronic meeting)
- April 15, 2020 (virtual/electronic meeting)

8. Other Dates:

- Candidate Forum – March 19, 2020 (Canceled)
- Municipal Election – April 7, 2020

9. Adjournment

Motion by Earle B., second by George B., to adjourn at 5:32pm. Motion passed 4-0. Note Brian Eggleton, Eric Gotthelf, and Chelsea Winters were excused absent.

John Widerman, Mayor

ATTEST:

Jay Brunvand, Town Clerk



AGENDA REVISED MARCH 15, 2020

MEETING OF THE MINTURN TOWN COUNCIL

Minturn Town Center, 302 Pine Street

Meeting to be held via Zoom Conferencing and call-in.

Public welcome to join meeting using the following methods:

Join from PC, Mac, Linux, iOS or Android: <https://zoom.us/j/605893814>

- **Phone: 1-669-900-6833**
- **Meeting Id: 605 893 814 #**

Minturn, CO 81645 • (970) 827-5645

Wednesday March 18, 2020

Work Session – 5:30pm

Regular Session – 6:30pm

MAYOR – John Widerman

MAYOR PRO TEM – Earle Bidez

COUNCIL MEMBERS:

Terry Armistead

George Brodin

Brian Eggleton

Eric Gotthelf

Chelsea Winters

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Work Session – 5:30pm

- Discussion of proposed Ordinance 05 – Series 2020 An Ordinance of the Town of Minturn enacting a moratorium on the allocation of water taps for new build construction projects requiring more than three Single Family Equivalents – Metteer

Regular Session – 6:30pm

1. Call to Order

- Roll Call

The meeting was called to order by Mayor John W. at 6:43pm using the ZOOM on-line meeting format due to the COVID-19 pandemic concerns.

Those present include: Mayor John Widerman, Mayor Pro Tem Earle Bidez and Town Council members George Brodin, Brian Eggleton, Terry Armistead, Brian Eggleton, Eric Gotthelf, and Chelsea Winters.

Staff present: Town Manager Michelle Metteer, Town Attorney Michael Sawyer, and Town Treasurer/Town Clerk Jay Brunvand.

- Pledge of Allegiance

2. Public comments on items which are ON the consent agenda or are otherwise NOT on the agenda as a public hearing or action item. (5-minute time limit per person)

3. Approval of Consent Agenda

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- March 4, 2020 Minutes
- Resolution 09 – 2020 a Resolution expressing support for ECO Transits FY2020 FTA 5339(b) buses and bus facilities grant program to acquire tow (2) new 40' transit buses
- Resolution 10 – 2020 a Resolution approving the purchase of a water distribution leak detection system.

Motion by George B., second by Earle B., to approve the Consent Agenda of March 18, 2020 as presented. Motion passed 7-0.

4. Approval of Agenda

- Items to be Pulled or Added

Motion by Eric E., second by George B., to approve the Agenda of March 18, 2020 as amended. Motion passed 7-0.

- Declaration of Conflicts of Interest

5. Special Presentations

- Council Comments/Committee Reports

John W. noted the on-line meeting and thanked the public. He noted essential services in the town and in the county are still functioning. Although the Town Hall is closed, Town Staff is working and available by email or phone. He noted the updates that have been received from the state and county level. John W. stressed the need for citizens to be aware. He stated the peak of this outbreak still appears several weeks off. Noted the ECO Transit is running at a slightly reduced schedule but is free to ride at this point.

George B. stated we are working to keep our citizens safe.

Terry A. noted the EC Alert system and the information coming out on that. She encouraged all to get the facts from the various sources and to avoid over reacting.

Chelsea W. noted an information release from Vail Health.

Brian E. noted how neighbors are looking in on neighbors.

John W. stated the County is working on a recovery plan to get the community up to speed once the virus is resolved. We had a very good economy before this and it is felt this will come back quick. We are requesting any and all to Absent Vote in the upcoming municipal election. Contact Jay B. at the Town regarding setting this up at 970/827-5645 or treasurer@minturn.org. The Candidate Forum scheduled for Thursday night has been canceled. Discussion ensued as to how to get an absent ballot; they are very readily available.

Michelle M. noted the Minturn Fitness Center is closed.

John W. and Michelle M. noted the increase in recycling. It was noted we have free dual stream curbside recycling.

PUBLIC HEARINGS AND/OR ACTION ITEMS

- 6. Public Hearing/Action Item:** Resolution 11 – Series 2020 A Resolution appointing a municipal judge – Metteer

Michelle M updated on the committee and process. She noted a complete RFP was developed and three applications were received. The Committee included Eric G., Brian E., Deputy Peterson, Cindy Krieg, and Michelle M.

Eric G. reviewed the process and the interview. He noted the top two candidates were Eric Johnson and Inga Causey. The Committee recommendation is to appoint Eric Johnson as Judge and Inga Causey as reserve in the event of an absence.

Brian E. noted the 47 years of service from Judge Terry Quinn.

John W. requested a memo from Terry Quinn for the public record.

George B. noted the primary need for justice. His hope is that community service is as important as fines. He felt the process was well founded.

Terry A. asked regarding the two recommendations, was the sitting judge experience the main factor in their direction? Eric G. reported the scores throughout the interview process lifted Eric Johnson in total points.

Public Comment opened
No Public Comment
Public Comment closed

Motion by Brian E., second by Earle B., to approve Resolution 11 – Series 2020 A Resolution appointing Eric Johnson as Minturn Municipal Judge and Inga Causey as alternate as needed in the event the appointed is absent. The appointment shall be effective April 1, 2020. Motion passed 7-0.

COUNCIL INFORMATION / UPDATES

7. Staff Updates

- Manager's Report

Michelle M. reminded anyone with questions regarding the most recent issues and concerns with the virus should go to [ECEmergency.org](https://www.ecemergency.org).

She reiterated the Absent Ballot Applications and encouraged the use of the process.

Thanked the Judge Committee for their work.

- Future Agenda Items

John W. noted for the foreseeable future we will be conscious of the ability and methods to encourage public input in the Minturn government however, using video meetings has its limitations so public hearing items may be pushed back. Michelle M. noted this is not to push this off for the developer, rather it is to ensure full transparency is adhered too. She noted all public hearings at the County level have been suspended.

Brian E. discussed the need to include curbside compost and single stream curbside recycling. This will be addressed with Honeywagon and brought forth as the issue develops.

EXECUTIVE SESSION

8. Executive Session: An Executive Session for the purpose of conferencing with the Town Attorney for the purpose of receiving legal advice on a specific legal question under CRS Section 24-6-402(4)(b) – Bolts Lake and Water Issues – Metteer

Motion by George B., second by Brian E., to convene in Executive Session for the purpose of conferencing with the Town Attorney for the purpose of receiving legal advice on a specific legal question under CRS Section 24-6-402(4)(b) – Bolts Lake and Water Issues. Motion passed 7-0. In addition to the full Council and Michelle M., Meghan Winokur, Town Water Attorney, joined the meeting, and Town Attorney Michael Sawyer exited the meeting.

Note: The Executive Session was held using a separate ZOOM meeting and was recorded as required by law.

At the end of the Executive Session direction was given to continue as discussed and to report back to the Council as developments arise.

MISCELLANEOUS ITEMS

9. Future Meeting Dates

a) Council Meetings:

- March 16, 2030 **EMERGENCY SPECIAL MEETING**
- March 18, 2020
- April 1, 2020 (potential virtual/electronic meeting)
- April 15, 2020 (potential virtual/electronic meeting)

10. Other Dates:

- Candidate Forum – March 19, 2020 (televised only, no public audience)
- Municipal Election – April 7, 2020

11. Adjournment

Motion by Earle B., second by George B., to adjourn at 8:40pm. Motion passed 7-0.

John Widerman, Mayor

ATTEST:

Jay Brunvand, Town Clerk

February 18th, 2020

Tracy Long & Thom Conville
PO Box 331, Minturn CO 81645

Town of Minturn
301 Boulder Street, Minturn CO 81645

To the Town of Minturn,

Please consider this Letter of Intent for redeveloping the property at 1041 Main Street in Minturn, Colorado. The purpose of the project is multi-faceted. We would like to accomplish establishing a new home for my existing Minturn business and provide two employee housing units.

Allow me to share the relevant background of undertaking this project. Currently, I rent space in the Meadow Mountain Business Park for my studio: Peace Love Aerial Yoga. We conduct aerial yoga, aerial fitness and aerial acrobatics classes. The business is expanding most in the direction of aerial acrobatics education and performance. This facilitates a real need for ceilings much higher than our current ten feet. I have visited all of the Denver aerial studios to learn more about rigging approaches, and better determine equipment and facility needs. We need a minimum of twenty-five feet floor to rigging points to expand the business in this direction. We cannot rent this type of space in Minturn, it does not exist. We cannot rent this type of space in the valley, it is too costly. And, we really want to keep the business in Minturn. The studio attracts mostly women. It is a supportive and empowering space for our students and instructors. Our instructors have the necessary talent, experience and accreditation to continue to grow the business. I want to incentivize and support my instructors by providing some housing security, as it can be the biggest challenge to many workers residing in the valley.

Currently, the lot has a double wide trailer situated on it, and is tenant occupied. The trailer is in poor condition and has lived well past its expected life. The property has electric, gas, water and sewer utilities. The remainder of the lot is vacant and not landscaped.

We propose to build one structure: a post and beam barn with underground parking. The Barn will be divided into a large studio space and a duplex for employee housing. The primary use of the studio will be for our aerial yoga, fitness and additional acrobatics classes. The studio can be rented for small community events, when not in use by Peace Love Aerial Yoga.

This proposal differs from the current residential only use. We are proposing a commercial development with a significantly upgraded residential component.

There are two easements assigned to this lot. One is a utilities easement for the sewer line assigned to ERWSD. The other is an access easement with our neighbor William Reis at 1031 Main Street. We have granted written permission to our neighbors at 1021 Main Street for their tenants use of our driveway to access the back of their property.

We hope the above information has been helpful in explaining our project. Thank you for your kind consideration. Sincerely, Tracy & Thom

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Lauren Dickie
Burke Harrington
Chris Manning
Jena Skinner

Design Review Board Hearing

Peace Love Aerial Yoga Studio Project – Final Plan Review

1041 Main Street

Hearing Date:	March 11, 2020
File Name and Process:	Peace Love Aerial Yoga Studio Project – Final Plan Review
Owner/Applicant:	Tracy Long and Thom Conville
Representative:	Same
Legal Description:	South Minturn Addition, Lot 18
Zoning:	South Town Character Area – Commercial Zone District
Staff Member:	Scot Hunn, Planning Director
Recommendation:	Approval, with Conditions

Staff Report

I. Summary of Request:

The Applicants, Tracy Long and Thom Conville, request final plan review of a new commercial and residential project located at 1041 Main Street. The project includes:

- 1,989 square feet of studio space designed specifically for aerial yoga
- 4,500 square feet of underground parking garage to provide 10 enclosed spaces
- Outside parking areas to accommodate three additional spaces including ADA accessible space

- Two residential units intended to provide employee housing and configured as a “duplex”
- A green roof terrace area located over the parking garage entry
- Improved property access

Following conceptual plan review on January 22nd the Applicants have revised the design of the site and building plans to better comply with the Town’s development standards and dimensional limitations.

Staff’s analysis of development standards and dimensional limitations in Section III outlines how the proposed project meets or exceeds requirements of the Town of Minturn Municipal Code, Chapter 16.

II. Summary of Process and Code Requirements:

This is a final plan review of a new commercial and residential building. Therefore, this is a formal hearing of the Town of Minturn Planning Commission, acting as the Design Review Board. Following presentation by staff and the Applicant, and after consideration of the staff recommendations, findings and public testimony, the DRB may take one of the following actions in accordance with the Minturn Design Standards and Guidelines (Appendix B of the Minturn Municipal Code):

Table the Application

The application may be tabled for a period not to exceed thirty (30) days if the application is incomplete or if the DRB determines that changes are required to bring the application into compliance with design standards and guidelines or other regulations of the Town. The Board may specify additional requirements for the applicant is to bring to the future meeting. These requirements may include additional information necessary to determine whether the application complies with all zoning, building, design codes adopted by the Town, and may include plans, reports, surveys or other documents completed by registered architects, surveyors, engineers or other professionals in order to indicate conformance with such codes. The DRB may also table the application if it determines that changes in the application are required which would bring the proposed project into compliance with zoning, building, design codes, and other regulations of the Town.

Deny the Application

If an application is found to conflict with the purposes and/or any one (1) or more of the design guidelines, codes or any other regulations of the Town, the DRB shall disapprove the application. Any disapproval shall be in writing and shall specifically describe the reasons upon which the disapproval is based.

Approve the Application

If the application is complete and is found to comply with the design standards and guidelines, codes and other regulations of the Town, the DRB shall approve

the project. The DRB may approve an application with conditions or modifications. The DRB shall not approve an application that does not meet the requirements of the Town or any other provision required to ensure compliance with the design standards and guidelines, codes and other regulations of the Town.

Staff is **recommending approval** of the final plans for 1041 Main Street, Lots 18 South Minturn Addition, with conditions.

III. Zoning Analysis:

Zoning

The subject property is located within the “South Town Character Area” Residential Zone District. The description and purpose of the South Town Residential Zone District are as follows:

- “(a) The neighborhood is bisected by Highway 24 and is characterized by single-family residences and accessory buildings. The residences are typically one (1) and two (2) stories, with outbuildings on larger lots than found in Old Town. Low-density residential and public recreational and open space use along the Eagle River is encouraged. Higher density residential development can be accommodated on the south side of Main Street if it remains in character and all impacts are adequately addressed.*
- “(b) The purpose of this area is to provide for continued residential use that benefits from proximity along the Eagle River. New development and redevelopment should preserve the unique character and scale of the neighborhood. An objective is to retain the residential areas as quiet and safe neighborhoods while allowing for compatible and appropriate nearby commercial. This area can accommodate reasonable growth where land and services are available.”*

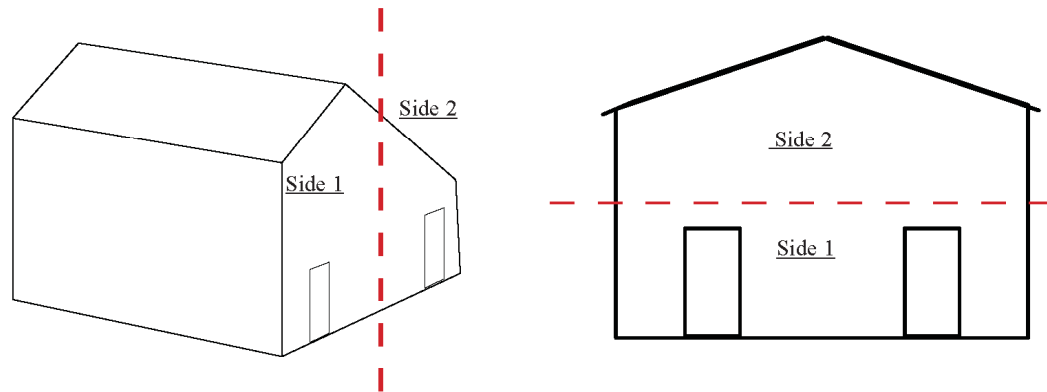
- Town of Minturn Town Code Section 16-7-20

The Commercial Zone District provides opportunities for a long list of potential residential and commercial uses, including “Professional offices, business offices and studios.” Additionally, “Duplexes” are a permitted residential use ‘by right’ and the proposed mixed-use building embodies the intent of the Commercial Zone District. the following definition is germane to the Town’s review of the two residential units proposed:

“Duplex means a structure that is used exclusively by two (2) families, each living as an independent house-keeping unit. Joining Requirements: a shared roof line, buildings connected by a common roof, including covered walkways; or a minimum ten percent (10%) of a party wall; or a structure divided into two (2) living spaces by one (1) wall or floor.”

Article 2 also provides illustrations showing how duplexes can be configured:

- 3) Duplex: structure is divided into two living spaces by one wall or floor



It is staff's determination that the proposed residential units conform to the Town's definition and illustration of appropriate duplex development and configuration which can be side-by-side or even divided horizontally.

Zoning Map

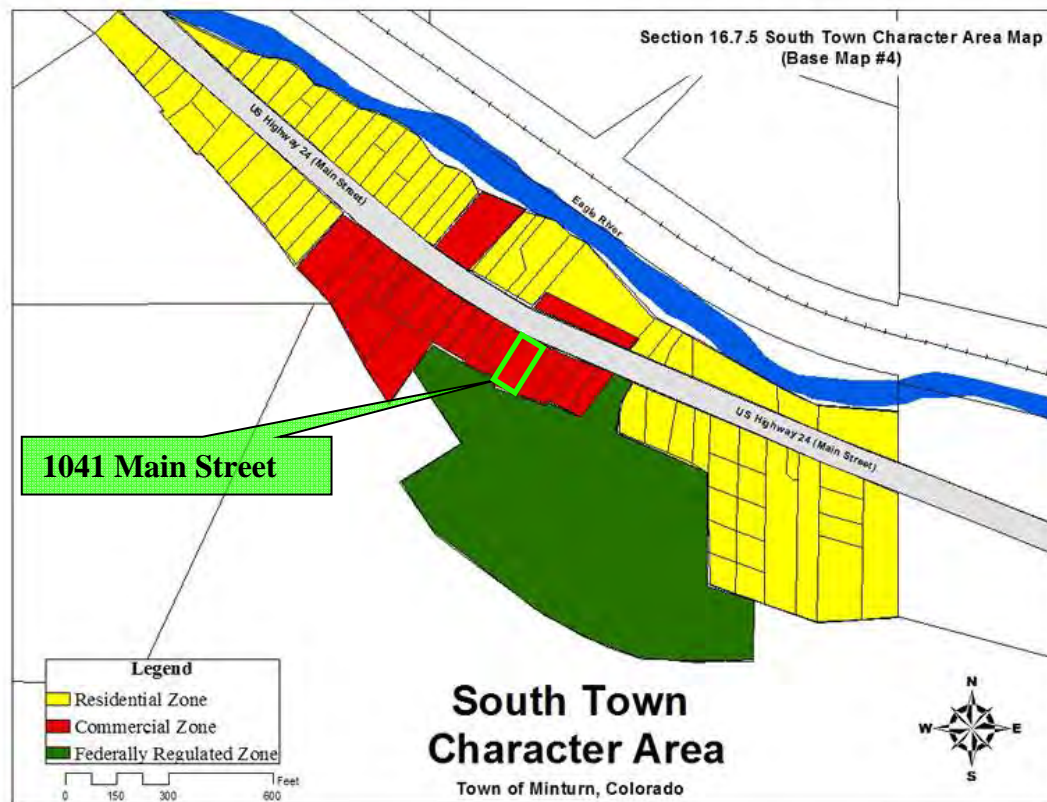


Figure 1: South Town Character Area Zoning Map

Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to Lot 3A and Lot 3B pursuant to Sections 16-2-40. - *General lot requirements and dimensional standards* and 16-16-20 – *Parking Required for Residential and Lodging Uses*.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	7,500 sq. ft.	13,329 sq. ft.
Minimum Lot Frontage:	50'	85'
Maximum Building Height:	28 feet	28 feet
Minimum Front Setback:	20 feet	20+ feet
Minimum Side Setback:	5 feet	5 feet (east); 10 feet (west)
Minimum Rear Setback:	10 feet	40 feet
Maximum Building Coverage:	70% (9,330 sq. ft.)	4,790 sq. ft. (36%)
Maximum Impervious Coverage:	No Limit	7,858 sq. ft. (60%)
Minimum Snow Storage Area:	5% of Driveway Area (153 sq. ft.)	1,112 sq. ft.
Parking:		
Yoga Studio - Commerical	1 space per 250 sq. ft. (9 spaces)	9 spaces
Residential - Duplex	2 spaces per unit (4 spaces)	4 spaces
Total:	13	13

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Snow Storage and Orientation of Buildings and Roof Forms

The design guidelines encourage designs that integrate or account for snow storage and snow shed from roof structures, along with ensuring that the orientation of buildings – to street frontages and neighboring properties – is considered.

Overall, it appears that the building and site designs take advantage of solar access and orientation; driveway and parking surfaces generally have a southern exposure while setbacks and snow-storage areas meet or exceed Town standards.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering

in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

The Applicants’ vision for this property is evident in the plans submitted and the final plans reflect a refined version of the concept presented in January 2020. Staff is supportive of the design and architectural detailing; materials usage is appropriate; and, proposed exterior light fixtures meet the Town’s goals for dark or ‘night sky’ compliance.

The preservation or use of large portions of the site for green space (reseeded areas with wildflower or native grass seeds) and planting areas for spruce, fir and aspen will significantly enhance the property and the surrounding area while serving to improve drainage and increase permeable areas of the site which are currently graded and treated with compacted gravel.

The use of windows and doors to add fenestration and break up large walls is appropriate, as are the sizing of architectural elements and details such as roof overhangs (proportionate to the mass and scale of building and roof forms). Likewise, the orientation of the building, with the gable end of the building facing Hwy. 24 and the roof ridge running north to south aids in ensuring that the overall mass and scale of the building and prominent roof form are minimized as viewed from the highway.

The use of cupolas on the roof adds another level of detailing on the roof and such details are permitted to exceed the maximum height limits as “exceptions” to the building height standards.

Last, staff believes the final plans demonstrate uses and design elements that comply with the South Town Character Area Commercial Zone District will add to the character and richness of the surrounding community.

V. Issues to Consider and/or Address:

Staff suggests that the Applicant has satisfactorily addressed the following issues or concerns identified during previous reviews:

- Building Height
- Sewer Line Easement

Building Height

During the conceptual plan review by the Planning Commission for this building, the Applicant disclosed that the design of the parking garage and the desired building – which needs a clear story height of at least 25’ to allow for aerial yoga – would dictate the height of the building on this sloped lot.

The grade change or slope from the front property line along Hwy. 24 to the area of the lot where grades flatten out at the lower 1/3 of the property is approximately 12 percent. This slope is apparent in the existing gravel driveway that provides access to the property as well as the adjacent property owner. Other portions of the front 2/3 of the property are raised with grading and boulder retaining walls. The entire site has long-since been graded and disturbed, so establishment of “natural grade” particularly in the front 2/3 of the property is difficult if not impractical.

At the January 22nd hearing to consider the conceptual design, the Applicants asked if finished grade could be used to calculate building height given the impracticality of establishing or even extrapolating what natural grade might have been in the past (prior to previous property owners manipulating grade in such a substantial manner). It was determined at that time that the Applicants could use that method (using finished grades) and that raising the grade of the access driveway could serve two purposes: to even the slope of the access drive and to aid in effectively lowering the appearance of height of the building, particularly on the southwest corner of the building.

In response, the Applicant’s plans now show an amended grade along most of the length of the access drive – in some places adding 4-5’ of fill and reducing the slope from 12% to 3%-8%, and a building that is at or below the 28’ height limit.

Last the Minturn Design Guidelines and Standards provide the following guidance for the Planning Commission when interpreting building height calculations:

The following evaluation shall be made by the Planning Commission in reviewing a proposal for an increase in structure height:

- a. Has there been a change in character in the area due to zone changes, new growth trends, deterioration, development transitions, etc.?*
- b. Is the height compatible with the surrounding area or will there be adverse impacts? Consider impacts on light and shadow, solar energy, views, privacy, and neighborhood scale.*
- c. Is the height in conformance with the policies, intents and requirements of this code and other adopted plans and policies?*

Staff suggests that there has been a deterioration of the built environment in the area at the same time that development interest in individual properties is leading to new proposals for redevelopment and growth in ways that support the purposes and intents of the South Town Character Area Commercial Zone District. This proposal may set the

tone for future redevelopment activities in the immediate vicinity and is a great representation of the Town's desired architectural style and character.

Further, staff believes that the building has been carefully designed to conform with and be compatible with the surrounding area in a manner that will not overpower or have adverse impacts on light and shadow, solar energy, views, privacy or neighborhood scale.

Sewer Line Easement

A 20' sewer line easement is reserved at the rear (southwest side) of the property. The landscape plan by Blueline Architects shows two groupings of evergreen and deciduous tree plantings within that easement. In discussions with the Applicants, staff has recommended that the Applicant work with the Upper Eagle River Water and Sanitation District and Town staff to revise the landscape plan as necessary to avoid any impacts to existing sewer lines – this will require proper locates by ERWSD and possibly an encroachment agreement with the District prior to landscape installation.

VI. Staff Recommendation: Approval, with Conditions

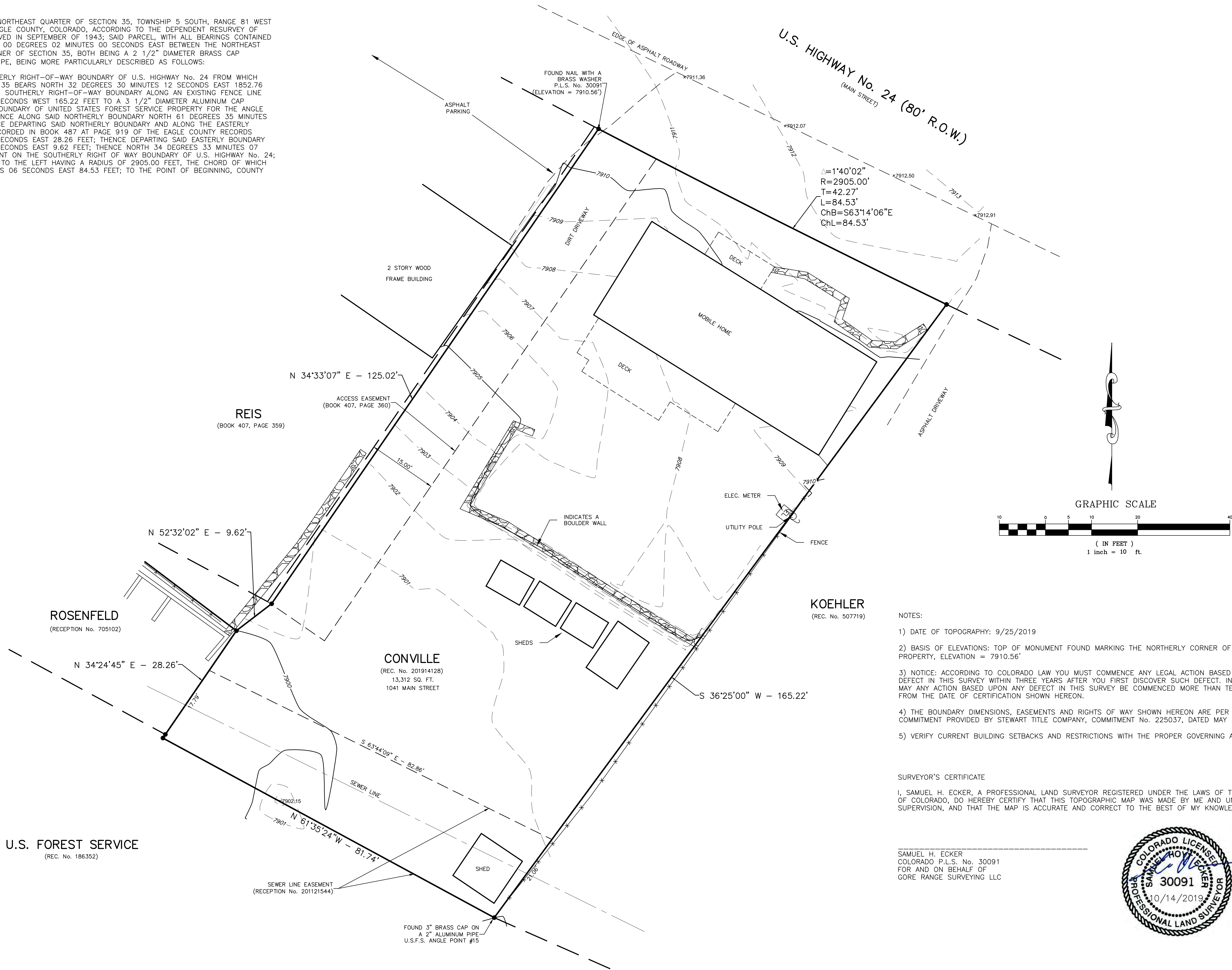
Staff suggests that the Final Plans for 1041 Main Street comply with applicable provisions of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code.

In the event the Planning Commission, acting as the Design Review Board, is included to approve the Final Plans, staff respectfully suggests the following recommended conditions:

1. All material representations made by the Applicant in writing and as a matter of public testimony during the course of the application and review processes shall be considered conditions of approval.
2. The Applicants shall submit a final grading and drainage plan for review and approval by the Town Engineer prior to or concurrent with building permit application.
3. The Applicants provide final materials selections and exterior lighting specifications prior to or concurrent with building permit application submittal.

PARCEL DESCRIPTION:
A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 SOUTH, RANGE 81 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EAGLE COUNTY, COLORADO, ACCORDING TO THE DEPENDENT RESURVEY OF SAID TOWNSHIP AND RANGE AS APPROVED IN SEPTEMBER OF 1943; SAID PARCEL, WITH ALL BEARINGS CONTAINED HEREIN BASED UPON A BEARING OF S 00 DEGREES 02 MINUTES 00 SECONDS EAST BETWEEN THE NORTHEAST CORNER AND THE EAST QUARTER CORNER OF SECTION 35, BOTH BEING A 2 1/2" DIAMETER BRASS CAP MONUMENT ON A 2" DIAMETER IRON PIPE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY BOUNDARY OF U.S. HIGHWAY No. 24 FROM WHICH SAID NORTHEAST CORNER OF SECTION 35 BEARS NORTH 32 DEGREES 30 MINUTES 12 SECONDS EAST 1852.76 FEET DISTANT; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY BOUNDARY ALONG AN EXISTING FENCE LINE SOUTH 36 DEGREES 25 MINUTES 01 SECONDS WEST 165.22 FEET TO A 3 1/2" DIAMETER ALUMINUM CAP MONUMENT SET ON THE NORTHERLY BOUNDARY OF UNITED STATES FOREST SERVICE PROPERTY FOR THE ANGLE POINT No. 15 OF SAID PROPERTY; THENCE ALONG SAID NORTHERLY BOUNDARY NORTH 61 DEGREES 35 MINUTES 24 SECONDS WEST 81.74 FEET; THENCE DEPARTING SAID NORTHERLY BOUNDARY AND ALONG THE EASTERLY BOUNDARY OF A PARCEL OF LAND RECORDED IN BOOK 487 AT PAGE 919 OF THE EAGLE COUNTY RECORDS NORTH 34 DEGREES 24 MINUTES 46 SECONDS EAST 28.26 FEET; THENCE DEPARTING SAID EASTERLY BOUNDARY NORTH 52 DEGREES 32 MINUTES 02 SECONDS EAST 9.62 FEET; THENCE NORTH 34 DEGREES 33 MINUTES 07 SECONDS EAST 125.02 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY BOUNDARY OF U.S. HIGHWAY No. 24; THENCE ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2905.00 FEET, THE CHORD OF WHICH BEARS SOUTH 63 DEGREES 14 MINUTES 06 SECONDS EAST 84.53 FEET; TO THE POINT OF BEGINNING, COUNTY OF EAGLE, STATE OF COLORADO.



NOTES:

- 1) DATE OF TOPOGRAPHY: 9/25/2019
- 2) BASIS OF ELEVATIONS: TOP OF MONUMENT FOUND MARKING THE NORTHERLY CORNER OF THE SUBJECT PROPERTY, ELEVATION = 7910.56'
- 3) NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- 4) THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE PER TITLE COMMITMENT PROVIDED BY STEWART TITLE COMPANY, COMMITMENT No. 225037, DATED MAY 31, 2018.
- 5) VERIFY CURRENT BUILDING SETBACKS AND RESTRICTIONS WITH THE PROPER GOVERNING AUTHORITY.

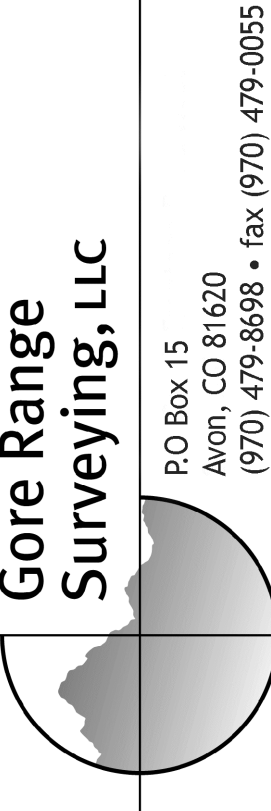
SURVEYOR'S CERTIFICATE

I, SAMUEL H. ECKER, A PROFESSIONAL LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP WAS MADE BY ME AND UNDER MY SUPERVISION, AND THAT THE MAP IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SAMUEL H. ECKER
COLORADO P.L.S. No. 30091
FOR AND ON BEHALF OF
GORE RANGE SURVEYING LLC

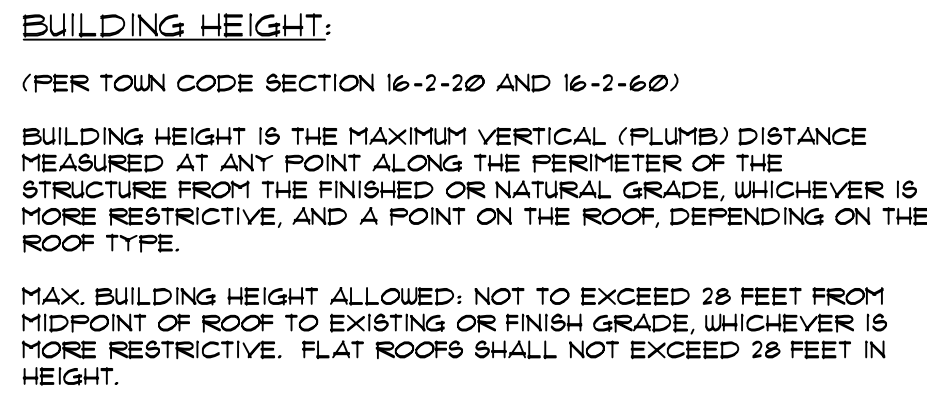


TOPOGRAPHIC MAP
1041 MAIN STREET
TOWN OF MINTURN
EAGLE COUNTY, COLORADO



P.O. Box 15
Avon, CO 81620
(970) 479-8698 • fax (970) 479-0055

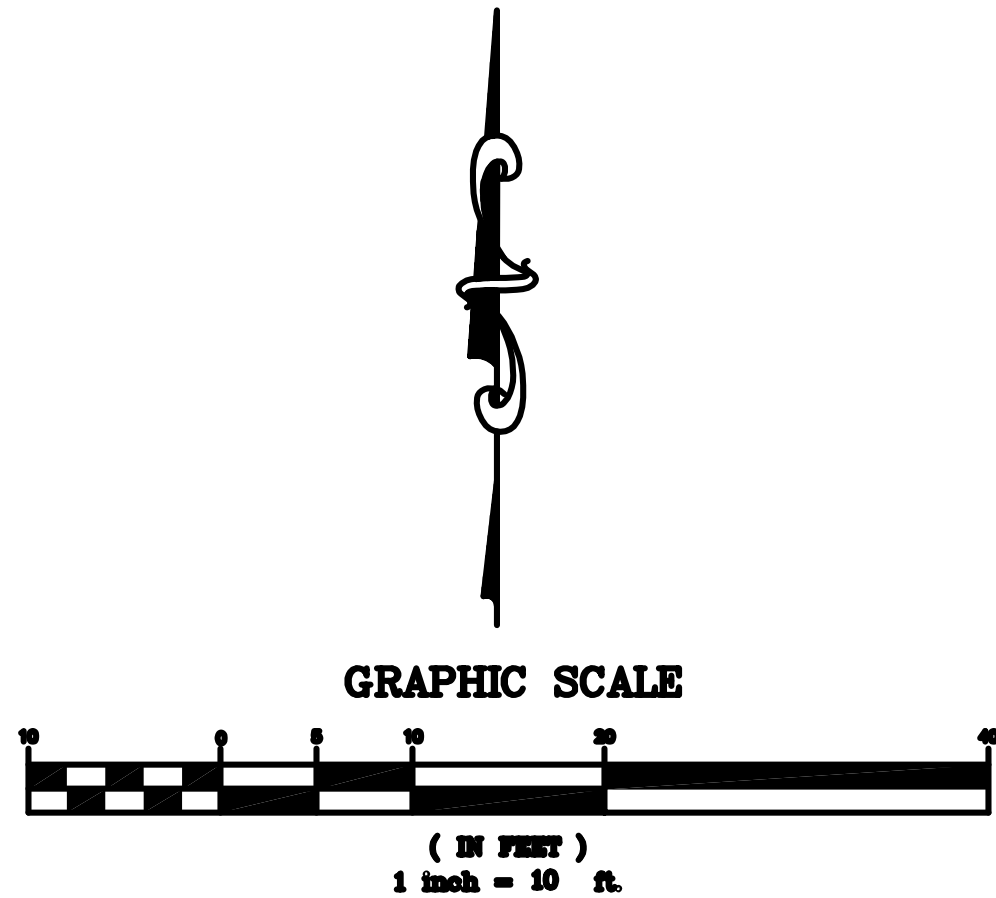
DRAWN BY:	SE	DATE:	10/14/2019
CHECKED BY:	SE	DRAWING NO.:	09-496 topo
JOB NO.:	09-496	SHEET	1 OF 1



LABEL	FINISH GRADE	ROOF ELEVATION	BUILDING HEIGHT
A	7911.5'	7936.25'	24.75'
B	7909.6'	7936.25'	26.65'
C	7908.25'	7936.25'	28.0'
D	7905.0'	7915.0'	10.0'
E	7904.5'	7915.0'	10.5'
F	7905.0'	7915.0'	10.0'

J	79100'	791125'	125'
K	79060'	791125'	525'
L	79062'	79120'	58'

NOTE: BECAUSE NATURAL GRADE IS DIFFICULT TO DETERMINE ON THIS LOT, FINISH GRADE IS BEING USED FOR ALL HEIGHT CALCULATIONS.



1 SITE PLAN (ZONING)
A1.10 1" = 10'-0"

GENERAL NOTES:

1. SITE PLAN SCALE IS NOTED ON DRAWING TITLE
2. DATUM: 1320° U565 = 100° - 0°
3. LOT SIZE: 13,312 SF
4. ZONE DISTRICT: COMMERCIAL (SOUTH TOWN CHARACTER AREA-1)
(SECTION 16-1-30)
5. ALLOWABLE AREA COVERAGE: 70% MAX. = 9,318.4 SF
(SECTION 16-2-40; LOT REQUIREMENTS)
BUILDING FOOTPRINT: 4,789.8 SF
SITE COVERAGE: (4,789.8 SF/13,312 SF) = 36.0%
6. MAX. IMPERVIOUS SURFACE AREA: N/A

1. PARKING SPACES (9'X18') REQUIRED PER SECTION 16-16-30:
STUDIO STUDIO = (1899.99 SF/1250 SF) = 1.52 (EXCLUDES STORAGE)
OFFICE: (1) SPACE PER 1250 SF (EXCLUDES STORAGE)
DUPLX: (2) SPACES PER UNIT

HANDICAP SPACES: (1) SPACE PER (15) SPACES
(8'X18' + 5' WIDE AISLE)

8. PARKING CALCULATIONS:
(1) STUDIOS = (1899.99 SF/1250 SF) = (2) SPACES REQUIRED
(2) DUPLX UNITS = (4) SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = (13) SPACES
TOTAL PARKING SPACES PROVIDED = (13) SPACES

9. SNOW STORAGE REQUIRED: MIN. OF 5% OF PARKING AREA
(SECTION 16-16-130)
ACCESS ROAD + PARKING AREA: 3066.83 SF
REQUIRED SNOW STORAGE: (3066.83 SF/.05) = 153,341 SF
SNOW STORAGE PROVIDED: (13,444 SF + 3782 SF) = 112,666 SF

TERRACE AREA: 10292 SF
REQUIRED SNOW STORAGE: (10292 SF X .05) = 515 SF
SNOW STORAGE PROVIDED: 443.8 SF

1041 MAIN STREET
1041 MAIN STREET
MINTURN, CO 81645
PARCEL NO.: 2103-351-01-025

ISSUED FOR:	DATE:
PRELIMINARY ZONING	01.03.20
PLANNING SUBMITTAL	02.28.20

REVISIONS:

SHEET SCALE: 1" = 10'-0"

DRAWN BY: _____

CHECKED BY: KB

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BLUELINE ARCHITECTS P.C.

PROJECT #: 1903
SHEET TITLE: SITE PLAN
(LOWER LEVEL)

A1.10

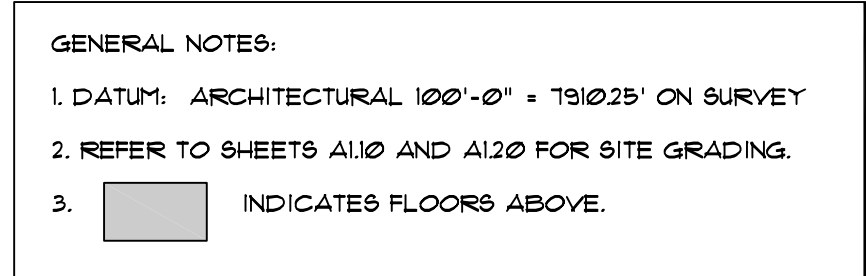
ken@bluelinearchitects.com
www.bluelinearchitects.com





1 LOWER LEVEL FLOOR PLAN
A2.10 3/16" = 1'-0"

A2.10



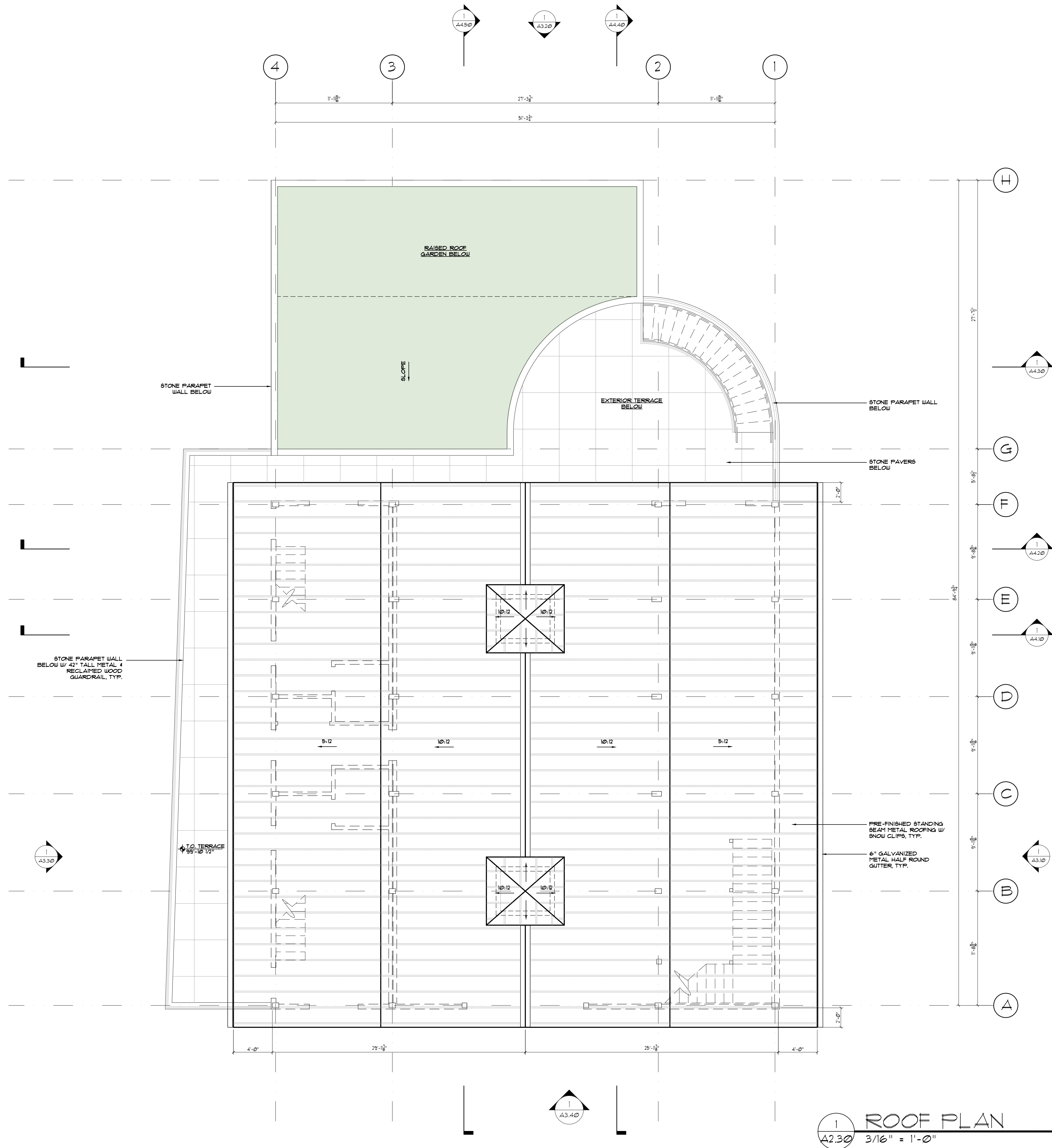
1
A2.20

MAIN LEVEL FLOOR PLAN

$\frac{3}{16}'' = 1'-0''$

PROJECT #: 1903
SHEET TITLE: MAIN LEVEL
FLOOR PLAN

A2.20



1 ROOF PLAN
A2.30 3/16" = 1'-0"

1041 MAIN STREET
1041 MAIN STREET
MINTURN, CO 81645
PARCEL NO.: 2103-351-01-025

ISSUED FOR:	DATE:
PRELIMINARY ZONING	01.03.20
PLANNING SUBMITTAL	02.28.20

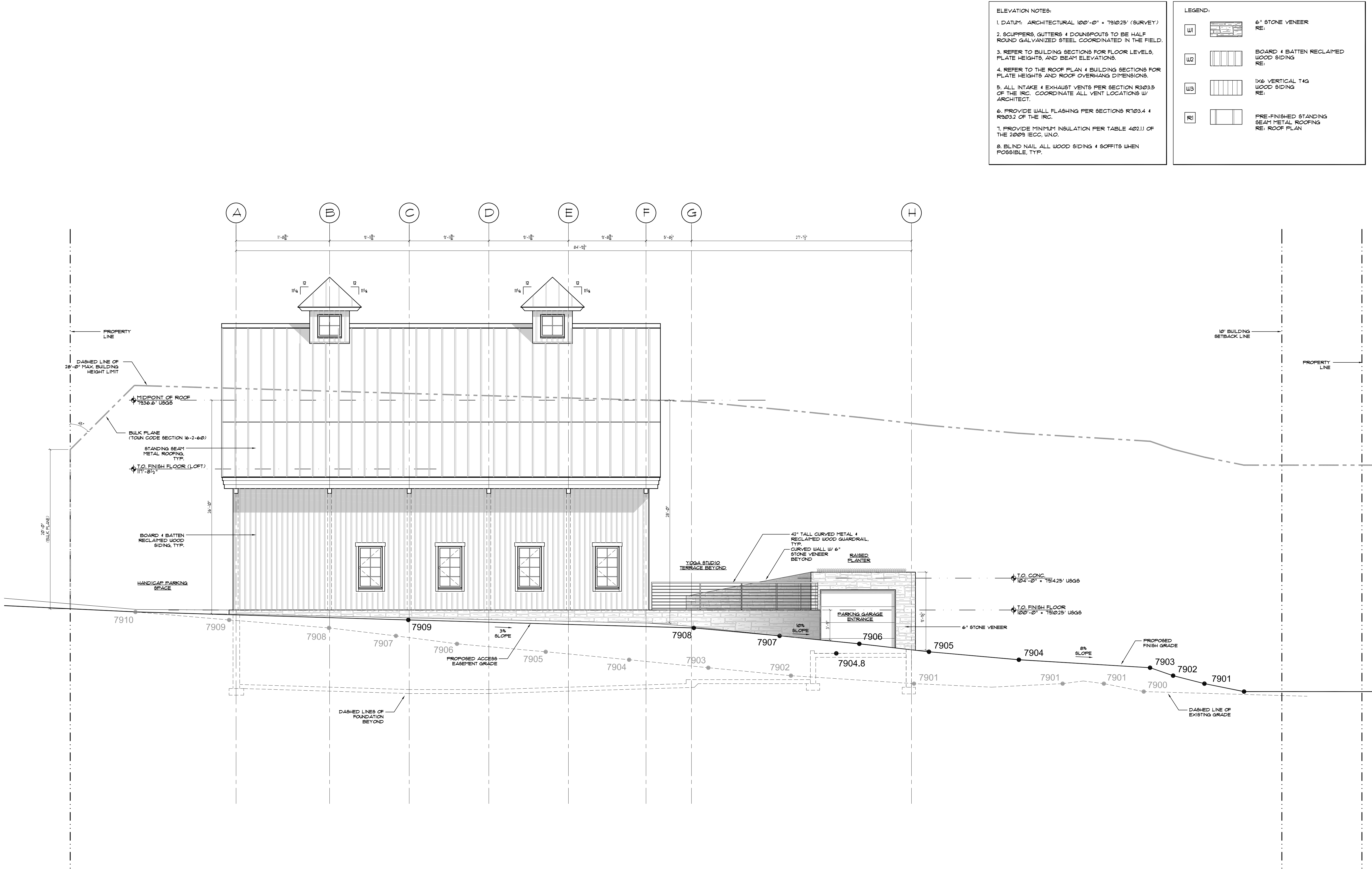
REVISIONS:

SHEET SCALE:	3/16" = 1'-0"
DRAWN BY:	-
CHECKED BY:	KB
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PROJECT #: 1903
SHEET TITLE: ROOF PLAN

A2.30

blue|line
ARCHITECTS
970.376.2052 (o)
ken@bluelinearchitects.com
www.bluelinearchitects.com
321 18th Street
Golden, Colorado 80401



- ELEVATION NOTES:
1. DATUM: ARCHITECTURAL 100'-0" = 191025' (SURVEY)
 2. SCUPPERS, GUTTERS & DOWNSPOUTS TO BE HALF ROUND GALVANIZED STEEL COORDINATED IN THE FIELD.
 3. REFER TO BUILDING SECTIONS FOR FLOOR LEVELS, PLATE HEIGHTS, AND BEAM ELEVATIONS.
 4. REFER TO THE ROOF PLAN & BUILDING SECTIONS FOR PLATE HEIGHTS AND ROOF OVERHANG DIMENSIONS.
 5. ALL INTAKE & EXHAUST VENTS PER SECTION R303.5 OF THE IRC. COORDINATE ALL VENT LOCATIONS W/ ARCHITECT.
 6. PROVIDE WALL FLASHING PER SECTIONS R103.4 & R303.2 OF THE IRC.
 7. PROVIDE MINIMUM INSULATION PER TABLE 402.1.1 OF THE 2009 IECC, UNO.
 8. BLIND NAIL ALL WOOD SIDING & SOFFITS WHEN POSSIBLE, TYP.

- LEGEND:
- | | | |
|----|--|--|
| W1 | | 6" STONE VENEER
RE: |
| W2 | | BOARD & BATTEN RECLAIMED
WOOD SIDING
RE: |
| W3 | | 1X6 VERTICAL T&G
WOOD SIDING
RE: |
| R1 | | PRE-FINISHED STANDING
SEAM METAL ROOFING
RE: ROOF PLAN |

1
A3.10

NORTHWEST ELEVATION

3/16" = 1'-0"

1041 MAIN STREET

1041 MAIN STREET
MINTURN, CO 81645

PARCEL NO.: 2103-351-01-025

ISSUED FOR: PRELIMINARY ZONING
DATE: 01.03.20
PLANNING SUBMITTAL 02.28.20

REVISIONS:

SHEET SCALE: 3/16" = 1'-0"

DRAWN BY:

CHECKED BY: KB

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PROJECT #: 1903
SHEET TITLE: EXTERIOR
ELEVATIONS

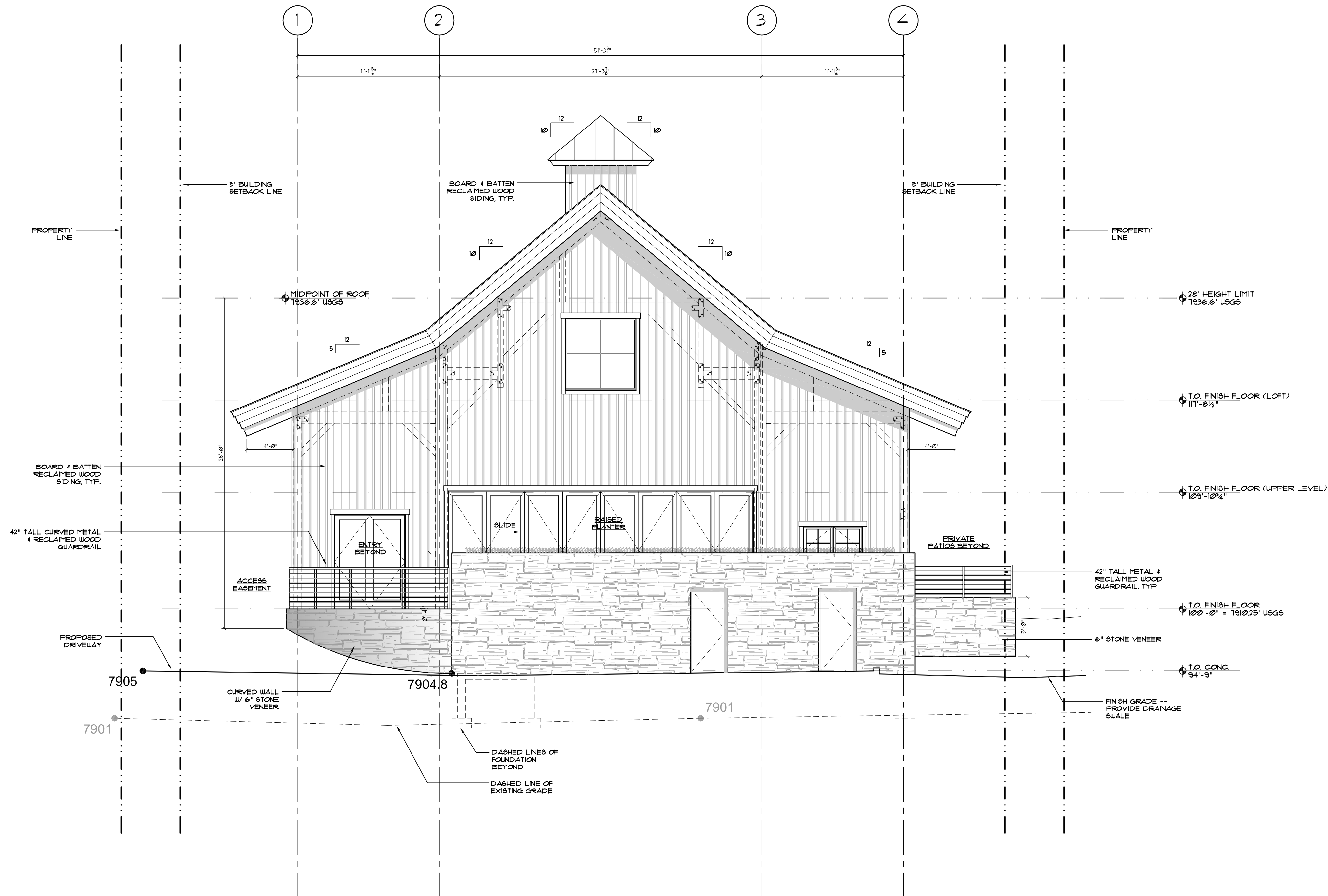
A3.10

blue|line
ARCHITECTS

321 18th Street
Golden, Colorado 80401
970.376.2052 (c)
k@bluelinearchitects.com
www.bluelinearchitects.com

- ELEVATION NOTES:
1. DATUM: ARCHITECTURAL 100'-0" x 7910.25' (SURVEY)
 2. SCUPPERS, GUTTERS & DOWNSPOUTS TO BE HALF ROUND GALVANIZED STEEL COORDINATED IN THE FIELD.
 3. REFER TO BUILDING SECTIONS FOR FLOOR LEVELS, PLATE HEIGHTS, AND BEAM ELEVATIONS.
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 7. PROVIDE MINIMUM INSULATION PER TABLE 402.1.1 OF THE 2009 IECC, UNO.
 8. BLIND NAIL ALL WOOD SIDING & SOFFITS WHEN POSSIBLE, TYP.

- LEGEND:
- | | | |
|----|--|--|
| W1 | | 6" STONE VENEER
RE: |
| W2 | | BOARD & BATTEN RECLAIMED
WOOD SIDING
RE: |
| W3 | | 1X6 VERTICAL T&G
WOOD SIDING
RE: |
| R1 | | PRE-FINISHED STANDING
SEAM METAL ROOFING
RE: ROOF PLAN |



1
A3.20

SOUTHWEST ELEVATION

3/16" = 1'-0"

1041 MAIN STREET

1041 MAIN STREET
MINTURN, CO 81645

PARCEL NO.: 2103-351-01-025

ISSUED FOR: DATE:
PRELIMINARY ZONING 01.03.20
PLANNING SUBMITTAL 02.28.20

REVISIONS:

SHEET SCALE: 3/16" = 1'-0"
DRAWN BY: -
CHECKED BY: KB

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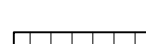
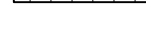
PROJECT #: 1903
SHEET TITLE: EXTERIOR
ELEVATIONS

A3.20

blue|line
ARCHITECTS

321 18th Street
Golden, Colorado 80401
970.376.2052 (c)
k@bluearchitects.com
www.bluearchitects.com

1. DATUM: ARCHITECTURAL 100'-0" = 191025' (SURVEY)
2. SCUPPERS, GUTTERS & DOWNSPOUTS TO BE HALF ROUND GALVANIZED STEEL COORDINATED IN THE FIELD.
3. REFER TO BUILDING SECTIONS FOR FLOOR LEVELS, PLATE HEIGHTS, AND BEAM ELEVATIONS.
4. REFER TO THE ROOF PLAN & BUILDING SECTIONS FOR PLATE HEIGHTS AND ROOF OVERHANGS DIMENSIONS.
5. ALL INTAKE & EXHAUST VENTS PER SECTION R303.3 OF THE IRC. COORDINATE ALL VENT LOCATIONS W/ ARCHITECT.
6. PROVIDE WALL FLASHING PER SECTIONS R103.4 & R303.2 OF THE IRC.
7. PROVIDE MINIMUM INSULATION PER TABLE 402.1 OF THE 2009 IECC, UNO.
8. BLIND NAIL ALL WOOD SIDING & SOFFITS WHEN POSSIBLE, TYP.

W1		6" STONE VENEER RE:
W2		BOARD 4 BATTEN RECLAIMED WOOD SIDING RE:
W3		1X6 VERTICAL T&G WOOD SIDING RE:
R1		FIRE-FINISHED STANDING SEAM METAL ROOFING RE: ROOF PLAN







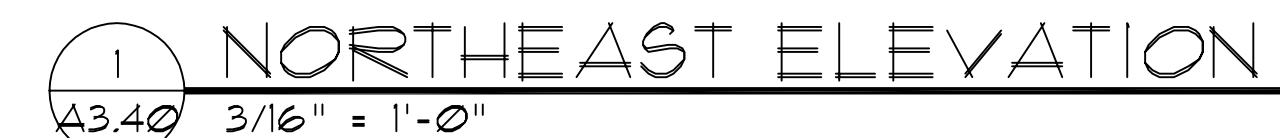
SUBMITTED FOR:	DATE:
PRELIMINARY ZONING	01.03.20
DRAINAGE SUBMITTAL	02.28.20
REVISIONS:	
CHECK SHEET SCALE:	3/16" = 1'-0"
DRAWN BY:	-
CHECKED BY:	KB
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A3.30

ken@bluelinearchitects.com
www.bluelinearchitects.com

1. DATUM: ARCHITECTURAL 100'-0" = 7910.25' (SURVEY)
2. SCUPPERS, GUTTERS & DOWNSPOUTS TO BE HALF ROUND GALVANIZED STEEL COORDINATED IN THE FIELD
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8. BLIND NAIL ALL WOOD SIDING & SOFFITS WHEN POSSIBLE, TYP.

- | | | |
|----|---|--|
| U1 |  | 6" STONE VENEER
RE: |
| U2 |  | BOARD & BATTEN RECLAIMED
WOOD SIDING
RE: |
| U3 |  | 1X6 VERTICAL T&G
WOOD SIDING
RE: |
| R1 |  | PRE-FINISHED STANDING
SEAM METAL ROOFING
RE: ROOF PLAN |



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www.bluelinearchitects.com

1041 MAIN STREET
1041 MAIN STREET
MINTURN, CO 81645
PARCEL NO.: 2103-351-01-025

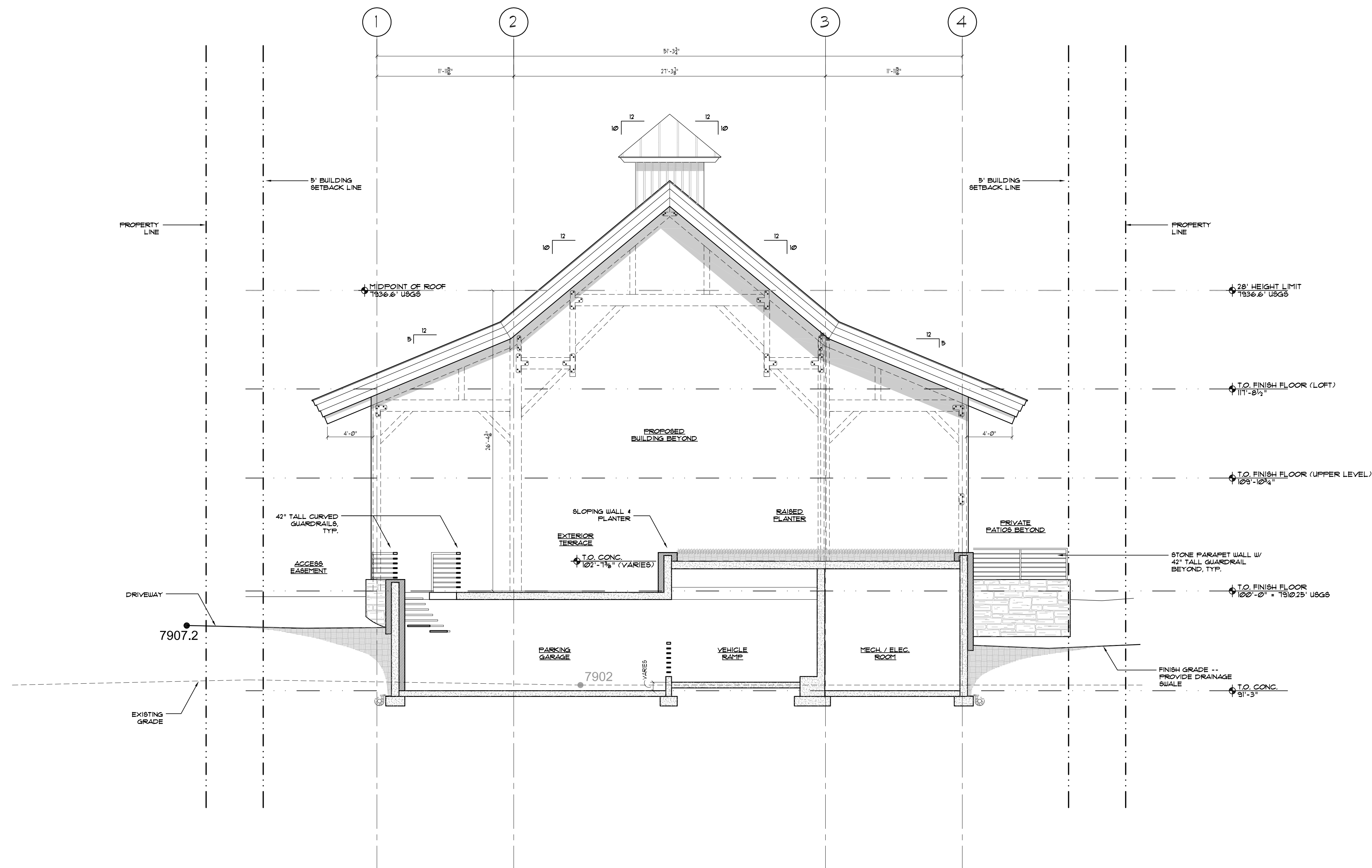
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PROJECT #: 1903
SHEET TITLE: EXTERIOR
ELEVATIONS

A3.40







1 BUILDING SECTION
A4.30 3/16" = 1'-0"

ISSUED FOR:	DATE:
PRELIMINARY ZONING	01.03.20
PLANNING SUBMITTAL	02.28.20

REVISIONS:

SHEET SCALE: 3/16" = 1'-0"
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BLUELINE ARCHITECTS P.C.

PROJECT #: 1903
SHEET TITLE: BUILDING
SECTIONS

A4.30





Eagle County GIS Viewer

<http://www.eaglecounty.us>

Address, Parcel, or Schedule



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-

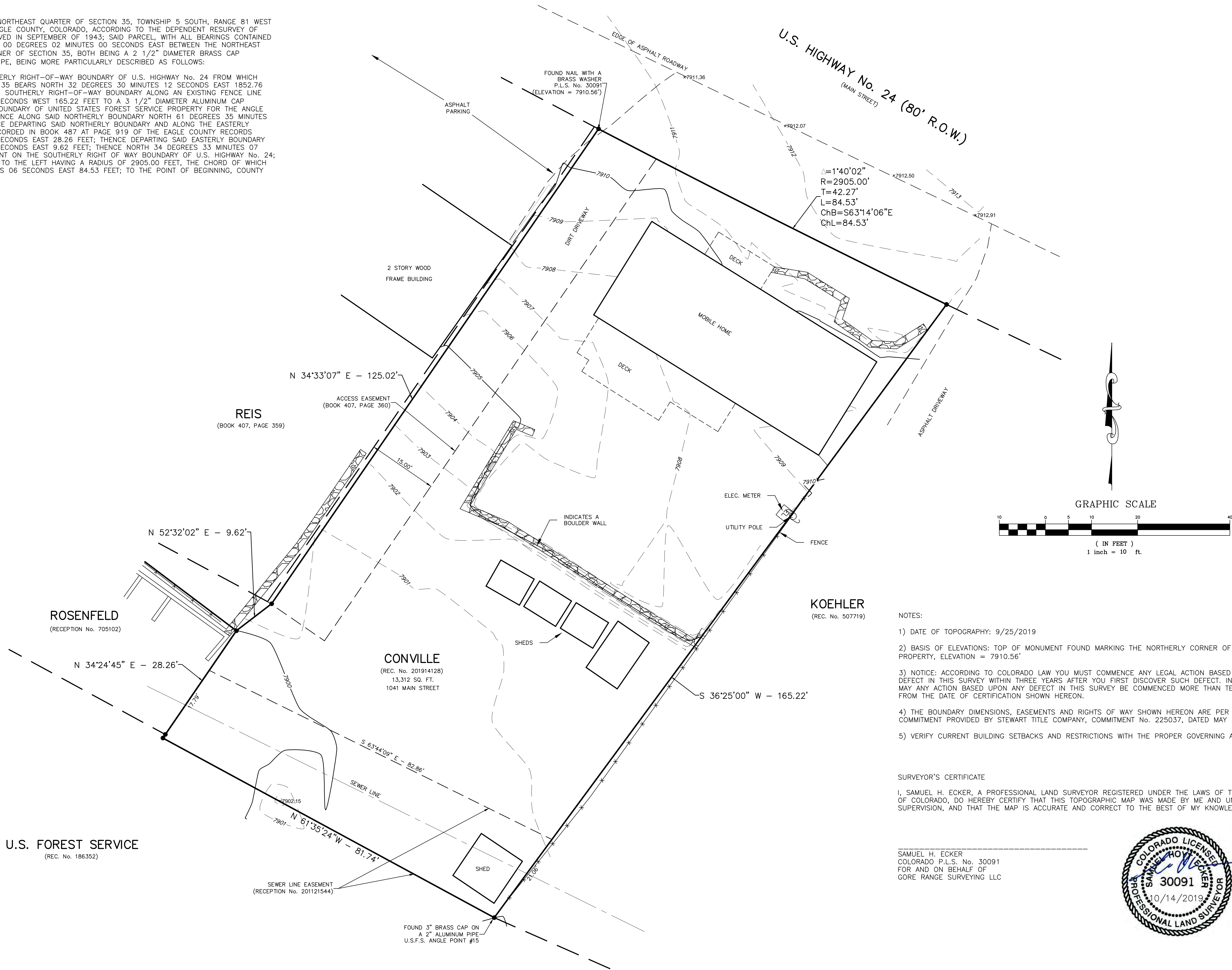
947

38



PARCEL DESCRIPTION:
A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 5 SOUTH, RANGE 81 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EAGLE COUNTY, COLORADO, ACCORDING TO THE DEPENDENT RESURVEY OF SAID TOWNSHIP AND RANGE AS APPROVED IN SEPTEMBER OF 1943; SAID PARCEL, WITH ALL BEARINGS CONTAINED HEREIN BASED UPON A BEARING OF S 00 DEGREES 02 MINUTES 00 SECONDS EAST BETWEEN THE NORTHEAST CORNER AND THE EAST QUARTER CORNER OF SECTION 35, BOTH BEING A 2 1/2" DIAMETER BRASS CAP MONUMENT ON A 2" DIAMETER IRON PIPE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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NOTES:

- 1) DATE OF TOPOGRAPHY: 9/25/2019
- 2) BASIS OF ELEVATIONS: TOP OF MONUMENT FOUND MARKING THE NORTHERLY CORNER OF THE SUBJECT PROPERTY, ELEVATION = 7910.56'
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SURVEYOR'S CERTIFICATE

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SAMUEL H. ECKER
COLORADO P.L.S. No. 30091
FOR AND ON BEHALF OF
GORE RANGE SURVEYING LLC



TOPOGRAPHIC MAP
1041 MAIN STREET
TOWN OF MINTURN
EAGLE COUNTY, COLORADO

Gore Range
Surveying, LLC

P.O. Box 15
Avon, CO 81620
(970) 479-8698 • fax (970) 479-0055

DRAWN BY:	SE	DATE:	10/14/2019
CHECKED BY:	SE	DRAWING NO.:	09-496 topo
JOB NO.:	09-496	SHEET	1 OF 1





Standard COLORS and COATINGS

PERMACOLOR 3500 Full Strength 70% Kynar 500®/Hylar 5000®

All colors available in Galvalume and Aluminum (.032", .040" & .050").



SUNNET BLUE



HARTFORD GREEN



DARK BRONZE



MANSARD BROWN



BURGUNDY



ROYAL BLUE



FOREST GREEN



MATTE BLACK



MEDIUM BRONZE



COLONIAL RED



PERMAMETALLICS 3500+



METALLIC COPPER



CHAMPAGNE



PACIFIC BLUE



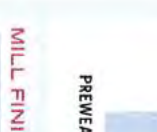
EVERGLADE MOSS



CHARCOAL GRAY



SIERRA TAN



MILL FINISH



PREWEATHERED GALVALUME



DEEP RED



SLATE BLUE



PATINA GREEN



SLATE GRAY



GALVALUME-PLUS



TERRA COTTA



BONE WHITE



HEMLOCK GREEN



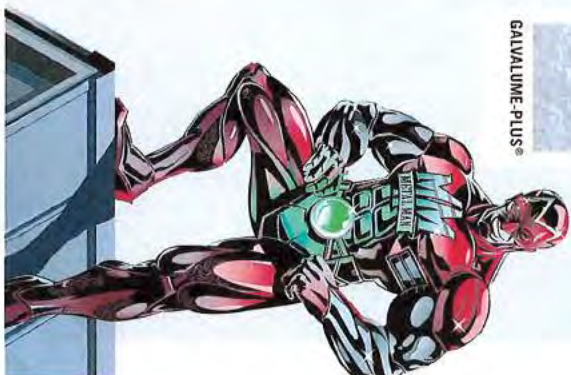
DOVE GRAY



STONE WHITE

To view current SRI values, please visit the Englert website.

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Metal
Roof
Color →





Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Lauren Dickie
Burke Harrington
Chris Manning
Jena Skinner

Design Review Board Hearing

201 Main Street Suite 2A – Futurian Systems

Sign Permit

Hearing Date:	March 25, 2020
File Name and Process:	201 Main Street – Futurian Systems Sign Permit
Owner/Applicant:	Futurian Systems
Representative:	Laura Houser
Legal Description:	Iron Works Building Condominium, Suite 2A
Zoning:	Old Town Character Area – Commercial Zone District
Staff Member:	Scot Hunn, Planning Director
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicant, Futurian Systems, requests review of a sign permit for an existing office located at 201 Main Street, Suite 2A in the Iron Works Building. This is a replacement of a previously approved sign in the same location that was recently stolen.

The proposed three (3) square foot sign is proposed to be a double sided, internally lit sign that will hang perpendicularly from an existing metal bracket on the north side of the Iron Works Building. The previous sign was not lit. The metal bracket is mounted to the building on the second story.

The sign permit application is complete, the proposed sign complies with the requirements of the Minturn Municipal Code, and staff is **recommending approval** of the request.

II. Summary of Process and Code Requirements:

Signage within the Town of Minturn is regulated by Article 19 – *Signs*, of the Minturn Municipal Code, with specific requirements for commercial signage found in Section 16-19-110. All such signs are required to be reviewed by the Town of Minturn Planning Commission, acting as the Design Review Board.

III. Zoning Analysis:

Zoning

The subject property is located within the “Old Town Character Area” Commercial Zone District. The purpose of the Old Town Commercial Zone District is to:

*“The purpose of this area is to provide convenient commercial services to residents and visitors and to promote the development of the Town's retail commercial district along Highway 24 and Main Street. Accommodation of sales tax-generating commercial uses and residential units can enhance Old Town vitality while maintaining the visual character and scale. An **objective is to facilitate small business development and economic vitality with land uses that are compatible and supportive, such as retail, office, institutional and residential uses, while maintaining the community scale**”*

- Town of Minturn Town Code Section 16-6-30

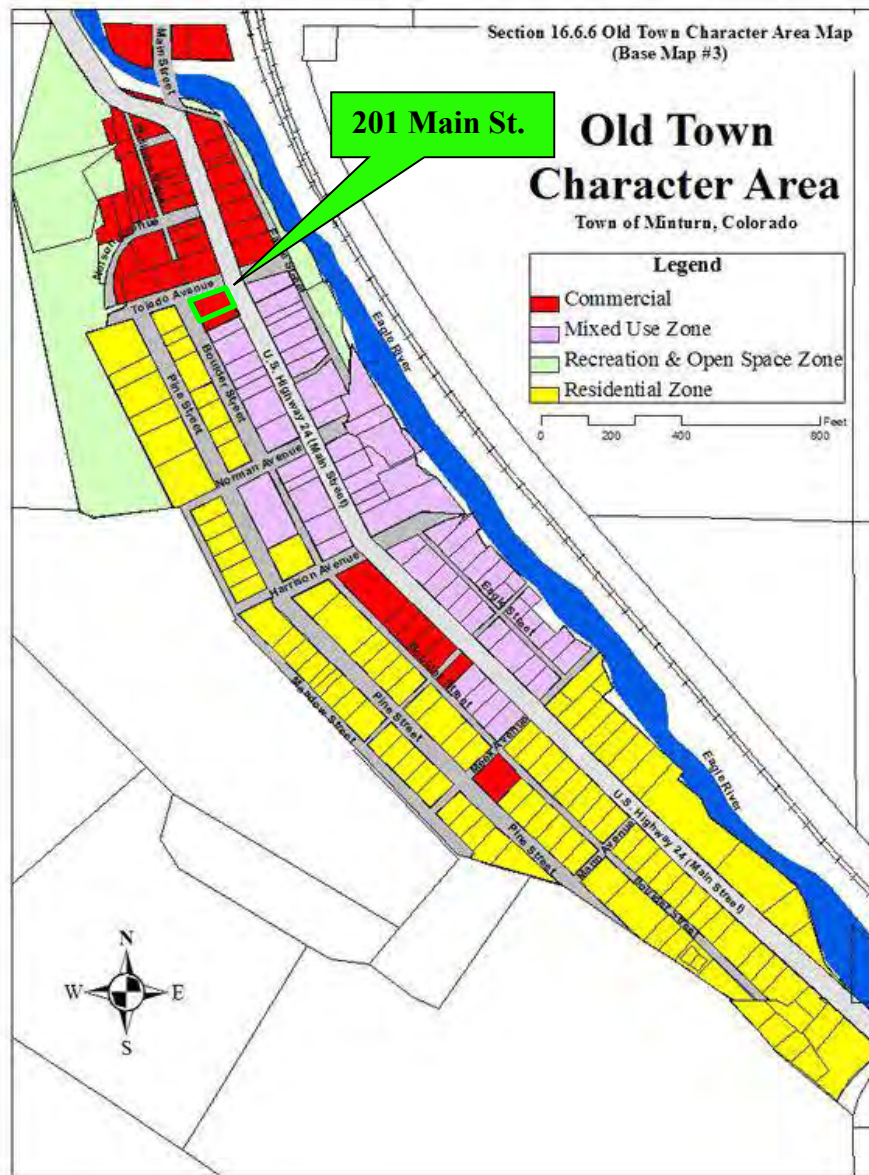


Figure 1: Old Town Character Area Zoning Map

IV. Applicable Standards and Design Guideline Criteria:

Signs in Commercial Zone Districts - Standards

Section 16-19-110 – *Specific regulations; permitted signs in Commercial and Industrial Zone Districts*, provides the following direction for the design and size of commercial signage:

“In Commercial and Industrial Zone Districts, all signs shall comply with the following:

(1) *Size and height requirements:*

- a. *Individual business sign. For any structure containing only one (1) business, the following sign allowance is permitted:*
 1. *A sign shall not exceed one (1) square foot per lineal foot of building front, but not to exceed forty (40) square feet of total sign area.*
 2. *More than one (1) commercial advertising sign is permitted, provided that the total sign area of all signs does not exceed one (1) square foot per lineal foot of building front and forty (40) square feet of total sign area.*
 3. *No part of any sign shall exceed the height of any building on the same lot, or in any case be more than twenty (20) feet in height.*
- b. ***Multiple business sign. For any structure containing more than one (1) business, one (1) advertising sign is permitted for each business as follows:***
 1. ***The total allowable sign area for each business shall be one (1) square foot per lineal foot of building front, but not to exceed forty (40) square feet.***
 2. *The combined size of all signs for the structure in which the multiple businesses are located shall not exceed the total linear footage of building frontage.*
 3. *The building or project identification sign shall not be included in total sign allowance for the multiple businesses. The project identification sign shall be one (1) square foot per lineal feet of building frontage and not to exceed twenty (20) square feet, whichever is less.*
 4. *No part of any sign shall exceed the height of any building on the same lot or in any case be more than twenty (20) feet in height.*

(2) *Illumination:*

- a. *Signs may be designed to give forth artificial light or designed to reflect such light from an artificial light source. **Illuminated signs shall be installed so as to avoid any glare or reflection** into any building used for residential purposes, or into any street, alley or driveway if such reflection or glare might create a traffic hazard. **Such sign illumination shall include but not be limited to internal illumination and directed lighting.***
- b. *Hours of illumination: Signs located adjacent to and across the street from residential areas **shall remain lighted until no later than 11:00 p.m. or until the close of business, whichever is later.***

Staff Response:

The proposed sign is for a business within a multi-tenant building. The linear feet of storefront is estimated to be approximately 20 feet although measurements were not provided. At just three (3) square feet, the two-sided, projecting “blade” sign appears to be well within the size limit allowed.

The sign is proposed to be mounted on an existing bracket and will be perpendicular, or projecting outward, from the building. As such, the Minturn Municipal Code provides the following specific regulations:

“Projecting signs. Projecting signs shall not be higher than the eave line or parapet wall of the principal building and shall be a minimum of eight (8) feet above grade when located adjacent to or projecting over a pedestrian way. Signs shall not project within two (2) feet of the curb line of a public street and must be placed a minimum of fourteen (14) feet above a driveway or alley.”

Details regarding lighting of the sign should be provided by the Applicant and any electrical work needed to supply power to the new sign shall comply with the Town’s electrical permit requirements.

V. Staff Recommendation:

The application complies with the requirements and design intent of Chapter 16 – Zoning, as well as Article 19 - *Signs* of the Minturn Municipal Code.

Staff **recommends approval** of the sign because it meets all applicable standards.

1. The Applicant obtain an electrical permit for any new electrical work being performed in order to illuminate the sign.
2. Pursuant to Section 16-19-110, Minturn Municipal Code, the sign may be lit no later than 11:00 p.m. or until the close of business, whichever is later.



SIGN PERMIT APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org



Name of Individual or Company proposing the sign:

Futurian Systems

Address of property where sign will be posted:

Street Address:

201 Main St. Suite 2A, Minturn, CO, 81645

Mailing Address:

Po Box 1293, Minturn, CO 81645

Phone Number:

970-306-4988

Email:

admin@futuriansystems.com

Specify with a scaled drawing of Sign:

Materials:

Size / Dimensions:

Shape:

Design & Letter Style:

Colors:

Illumination:

YES ☒ NO ☐

Attachments required:

☐ 1) Attach images depicting the proposed design of the sign and location.

☒ 2) Application fee of \$125.00

PA - CC - 3/6/2020

Applicant Signature:

Office use only:

Fee Paid: _____ Date Received: _____ Planner: _____



More than fast. More than signs.™

Fastsigns

4800 Baseline Rd. Suite D-102

Boulder, CO 80303

ph: (303)543-7907

fax: (303)543-7911

Email: fastsigns.258@fastsigns.com

Estimate

258- 46757

Estimate Date: 2/27/2020 4:21:03PM

Printed: 3/5/2020 2:40:17PM

Salesperson:258@fastsigns.com

Customer: **Futurian**

Contact: Laura Houser

Customer: 16116

Description: PK_Double Sided Hanging Light Box

Sales Person: Peter Keeler

Clerk: Peter Keeler

ph: (970) 306-4988

email: lkhouser@futuriansystems.com

Thank you for allowing FASTSIGNS to bid on this job.

This estimate is valid for 30 days from the date estimate is generated.

To place an order please sign, date and email or fax signed estimate to FASTSIGNS of Boulder.

If you have any questions please contact your Sales Representative.

	Product	Qty	Sides	H x W	Unit Cost	Totals
1	Electrical Signage	* 1	2	30 x 9	\$1,440.00	\$1,440.00
Description: 3/16" Lexan Sign Faces // Translucent Vinyl for Graphics // Matte Laminate // Internal LED Illumination // 5" deep // Hanging Mounts // Traditional Plug-in cord with Switch // .040 Aluminum Box with Black trim-cap to secure faces to box						
Color: White						

Notes:

Thank you for your order. The total of this invoice is due and payable upon receipt (30 days for Customers on Net 30 terms) and interest shall accrue on all past due accounts at the rate of 2 percent per month. In the event payment is not made and the account is referred to a collection agency or an attorney, all attorney's fees and associated costs incurred will be added to the total.

Line Item Total:	\$1,440.00
Tax Exempt Amt:	\$150.00
Subtotal:	\$1,440.00
Shipping:	\$150.00
Taxes:	\$127.36
Total:	\$1,717.36

Bill To: Futurian
Laura Houser
Boulder, CO

Payment due upon completion of order.

Received/Accepted By: / /

CLIENT:

Futurian

MATERIAL:

Double-sided Lightbox

NOTES:

REd box represents Visual Area

DIMENSIONS:

Overall: 9" x 30" , Visual Size: 6" tall x 27" wide



1.5" retainers

Rendering by: Peter Keeler - Outside Sales Consultant - peter.keeler@fastsigns.com







To: Mayor and Council
From: Michelle Metteer
Date: April 1, 2020
Agenda Item: 2020 Community Survey Discussion

REQUEST:

No formal request at this time. This is a review of the results from the 2020 Minturn Community Survey.

INTRODUCTION:

During the creation of the 2018-2020 Minturn Strategic Plan, Council determined the importance of specifically making data-based decisions. The Community Survey is a direct link for gathering critical data/feedback from Minturn residents on a variety of topics. This data will be utilized for future decision-making, including the updating of the 2018-2020 Minturn Strategic Plan.

Moving forward the Community Survey will be conducted every-other year to coincide with the election cycle.

ANALYSIS:

See “Summary Highlights” page 4 of the Community Survey results.

COMMUNITY INPUT:

Significant – Community Survey

BUDGET / STAFF IMPACT:

\$3500

STRATEGIC PLAN ALIGNMENT:

Making data-based decisions aligns with Minturn’s strategic plan in the following ways:

ADVANCE DECISIONS/PROJECTS/INITIATIVES THAT EXPAND FUTURE OPPORTUNITY AND VIABILITY FOR MINTURN

RECOMMENDED ACTION OR PROPOSED MOTION:

N/A

ATTACHMENTS:

- 2020 Community Survey Results

Town of Minturn Community Survey

March 2020



Prepared for:
Town of Minturn

Prepared by:
Intercept Insight, LLC

PO Box 2078
Avon, CO 81620
970.331.1086
www.interceptinsight.com

Table of Contents

Table of Contents

Purpose	2
Methodology	3
Summary Highlights	4
Detailed Findings	
Resident Details	6
Importance vs. Performance	14
Recreation	21
Direction of the Town of Minturn	24
Minturn Fitness Center	32
Communication Preferences	37
Demographics	39
Suggestions/Recommendations	46
End of Report	

Objectives

The Town of Minturn invested in a third party research company, Intercept Insight, LLC, to conduct a community survey. This study was designed to help understand and evaluate why people live in Minturn, what is important to the community, how well the Town is meeting expectations, and where the Town should focus efforts and investments. Several objectives were developed for this study, and a questionnaire was designed and formatted to meet these objectives.

Objectives:

- ❖ Understand why community members choose to live in Minturn
- ❖ Understand what community members enjoy most about Minturn
- ❖ Determine what attributes of a community are most important to the Town of Minturn
- ❖ Evaluate how well the Town has performed with those same attributes
- ❖ Understand communication preferences
- ❖ Evaluate the performance of the Town's government
- ❖ Evaluate how well the Town has performed with specific functions and services
- ❖ Determine which projects the community is most willing to support, and most willing to pay for
- ❖ Minturn Fitness Center utilization
- ❖ Capture demographical data

Methodology

The Town of Minturn and Intercept Insight designed a core set of questions intended to meet the objectives of the study. Once the survey was approved, the questions were programmed into an online survey design tool. Email addresses collected through various outlets were provided to Intercept Insight to be used as the sample set for this study.

The sample set was uploaded into the online survey tool and prepared for distribution. The survey invitation was distributed to the sample set on February 13th, 2020, which included the survey link, an incentive, and an “opt-out” opportunity in respect of privacy. Reminder notifications were launched periodically to those who had not yet responded to the original invitation.

Paper versions were made available at the Town office. The paper versions of the survey were input into the online questionnaire. The survey was closed and the data was downloaded and prepared for analysis/reporting on March 19th, 2020.

Summary/Highlights

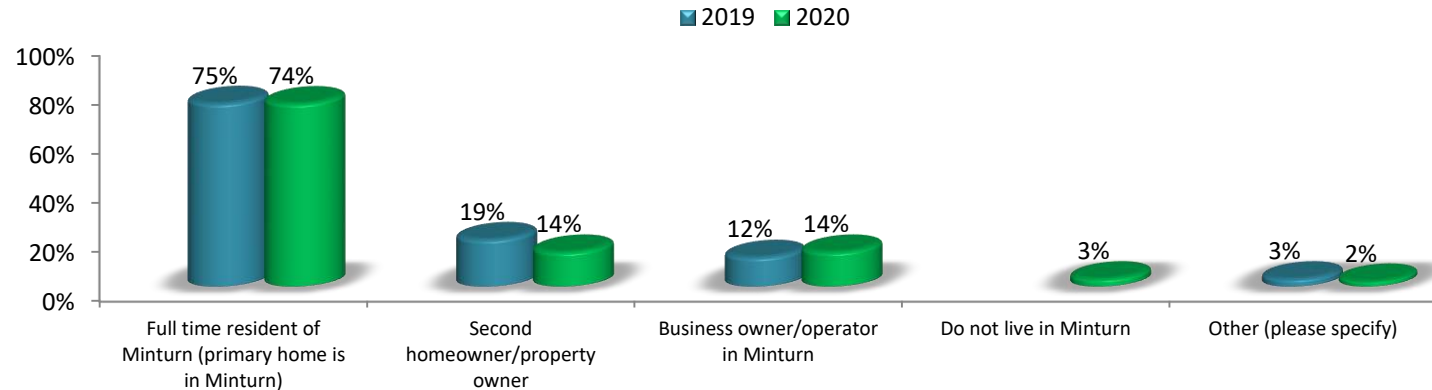
- ❖ Sample size – 650 valid email addresses
- ❖ Response rate – 168 responses (26%)
- ❖ Statistical validity – 168 completions offers a 6.5% margin of error at 95% confidence interval
- ❖ Respondents – (74%) full-time residents | (14%) 2nd home owners
- ❖ Reason for living in Minturn – Quality of Life | Recreational Amenities
- ❖ Most liked about living in Minturn – Small Town Atmosphere | Scenery
- ❖ Most important attributes of the Town to the community – Sense of Community | Recreational Amenities (parks, trails, facilities) | Appearance of the town
- ❖ Most satisfying attributes of the Town to the community – Sense of community | Recreational Amenities (parks, trails, facilities) | Recreational programs and events
- ❖ Overall satisfaction with Town government – 3.2 (scale of 1 to 5, where 1=Not at all satisfied and 5=Extremely satisfied)
- ❖ Safety in the neighborhood – 4.1 (scale of 1 to 5, where 1=Not at all safe and 5=Extremely safe)
- ❖ Most common words used to describe why residents are proud of Minturn: Small | Town | Community
- ❖ 40% of the respondents feel there are NOT enough recreational opportunities in Minturn. 63% would like to see a sledding hill, 44% would like to see an ice rink, and 44% would like to see a mountain bike park in the future
- ❖ 57% believe Minturn is headed in the right direction | 24% believe the Town is headed in the wrong direction
- ❖ Communication preferences – Vail Daily | Town newsletter | Word-of-Mouth
- ❖ Most impactful events to Town's character – Minturn Concert Series | Minturn Market | Minturn Halloween
- ❖ Most quality of service provided by town government: Customer service (town staff), Programs and events | Least quality of service: Building permit process, and Effective planning for the future
- ❖ Most supported community projects - Bike path from Dowd Junction to Maloit Park | Expand recreational amenities (parks/trails)
- ❖ 68% have been inside the Minturn Fitness Center
- ❖ Of those who have been in the MFC, 22% have never utilized the facility, and 32% have not utilized the facility in over a year
- ❖ Reasons for not utilizing the Minturn Fitness Center: Workout elsewhere | Hours operation | Cost/Value

Town of Minturn Resident Details

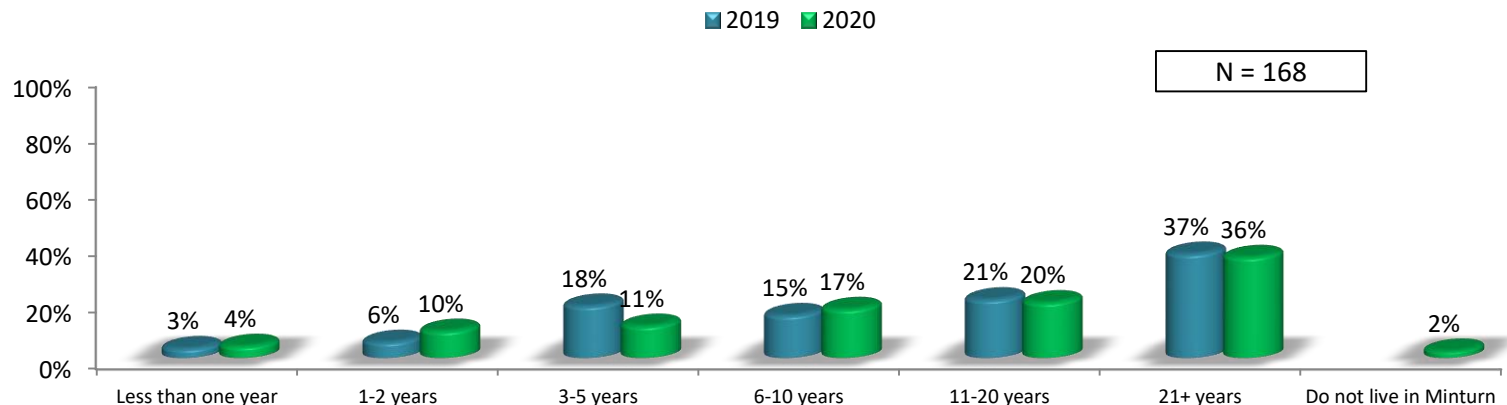


Resident Details

Residency (Multiple Response)

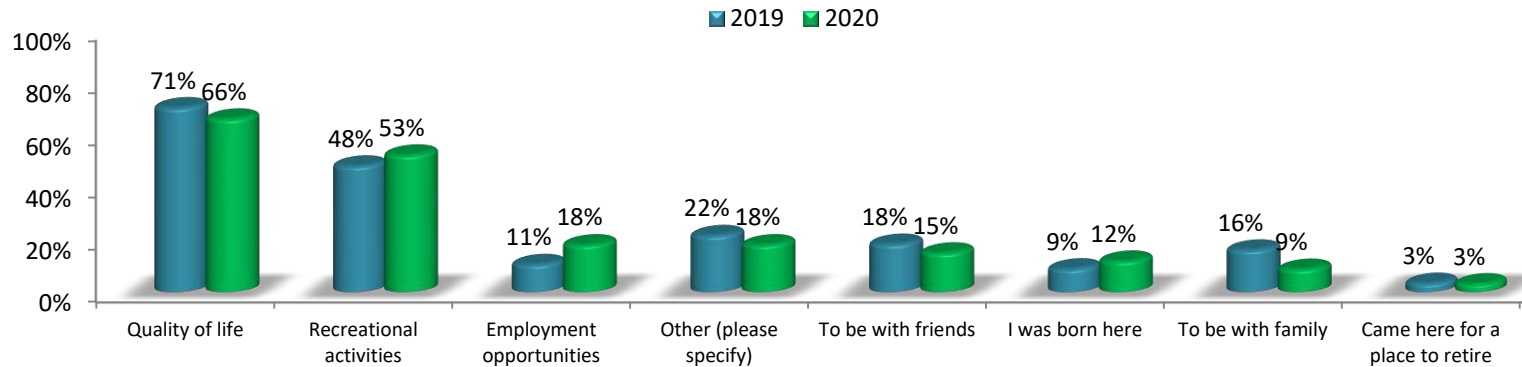


How long have you lived and/or owned property in Minturn?



Resident Details

Reason for Living in Minturn (Multiple Response)



Reason for Living in Minturn - "Other" Comments

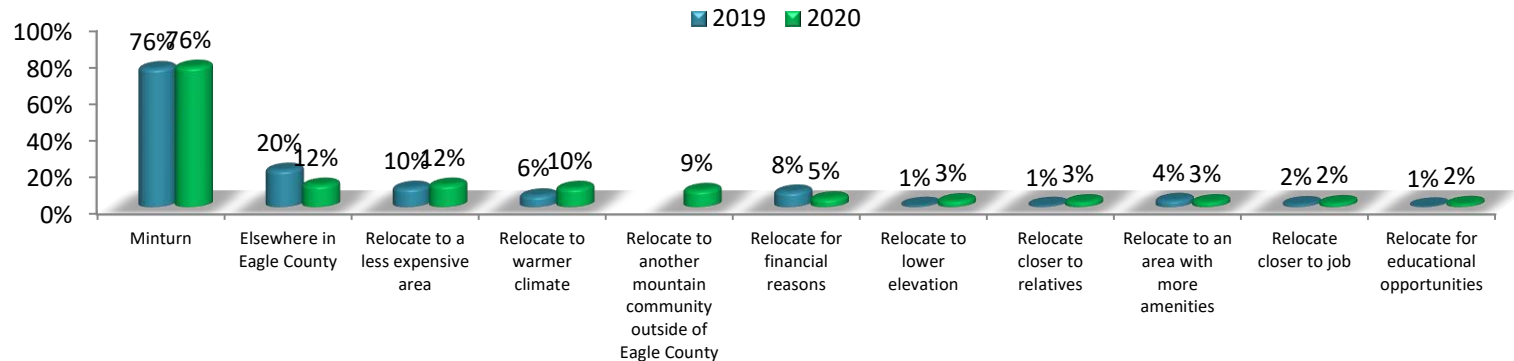
- We just love it
- Views
- To work/live in the same building
- The view
- Started by a family member having a place in Minturn for us to rent.
- Small town atmosphere
- Sense of community
- Rental income opportunity
- Only place I could afford to buy in 1984
- Off beaten path feel of town
- My mother lived here until she passed away
- Married a homeowner
- Location
- Location

Reason for Living in Minturn - "Other" Comments

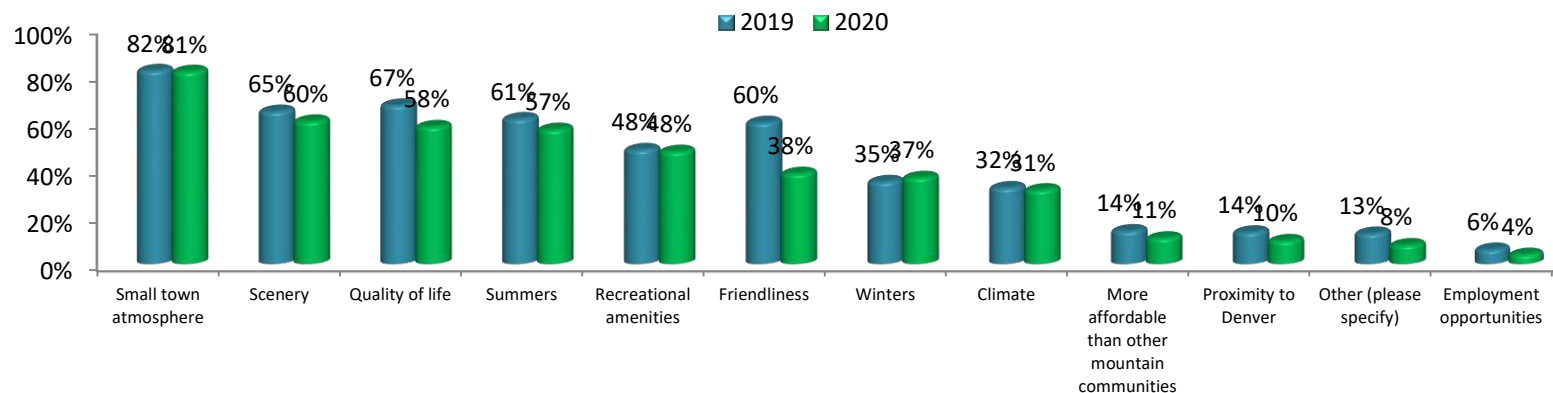
- Lived here before, had to leave because of cost of living, finally was able to move back.
- It's quiet & far enough away from the interstate.
- I work in Avon, but enjoy small towns.
- I love the community
- I like the mountains.
- Grew up invail. Minturn is the closest to that now
- Garages
- Garages
- Employee housing Maloit Park
- Easy of access to the outdoors - central location. And it used to be affordable when I originally moved to Minturn.
- Came with mon & dad as a baby
- Business opportunity
- Because it's a real town unlike most of the valley.
- 2 miles off the interstate is SO great! No stoplights. Community. Views up the canyon wall to the east.

Resident Details

Where do you see yourself living in the next 5-10 year? (Multiple Response)



What do you enjoy most about living in Minturn? (Multiple Response)



Resident Details

Enjoy Most About Minturn - "Other" Comments

- We love our community!
- River
- Quirky Charm
- Quirkiness
- Minturn Market too
- Maloit Park and lack of cookie cutter developments
- Location
- It is home
- Family
- Character
- Being able to walk to yoga at Anahata.
- Being able to be engaged in the community and seeing kid play and learn to ride bikes etc. on our quiet small town streets.
- Being 2 miles off the interstate, can't hear it, see it, or for the most part smell it.
- Away from I70

Proud To Be A Minturn Resident

Respondents were asked about what makes them feel proud about the Town of Minturn. One word clearly defines why community patrons are proud to live in Minturn. According the respondents, the word “Town” characterizes Minturn the most. The word graph below displays other words, such as “Community”, “ Small”, and “Feel”, which were also used often to describe why the community is proud of Minturn.



Proud To Be A Minturn Resident

What makes you feel most proud about the Town of Minturn?

- Willingness of neighbors to help each other. It's independence.
- What will make me feel the most proud is getting rid of the shooting range forever!
- Wedged between Vail & Beaver Creek and settle town is broke!
- We love living here but are always surprise how many people WANT to live in Minturn. Unfortunately, that is tough now and will be only getting harder for locals to afford to live here. Being we have been here for some time, I don't think we could afford to move here now. Glad we bought when we did.
- We have to keep the small town character as long as we have it and people still want that
- We consider all residents our neighbors!
- We are a small town, comprised mainly of locals, who all know each other
- Was once a small town
- Uniqueness
- Unique character, pride of residents, to be a part of a community that has called this home for generations.
- Town that time forgot and its beautiful setting
- Town seems to be growing in the right direction, downtown looks beautiful, town residents are good people.
- The walkability to restaurants, fishing, other recreational activities
- The unique flavor. Close to all amenities
- The town feel.
- The town actually feels like a town. Everyone knows everyone here. I haven't been here very long and I am already on a first name basis with a large majority of the locals, and I enjoy that sort of sense of community greatly when compared to the lack of community in surrounding towns like Vail and Avon.
- The setting/ location.
- The relaxed small town atmosphere
- The pride of the residents and their dedication to keep this town a small town and a nice place to live without the corporate feel of vail.
- The place I grew up
- The people. I find most folks are very respectful of each other. We have terrific leadership who is smart, thoughtful and has our best interests as a guiding quality. We have active community members who are very committed to the town and seem to sincerely care about neighbors.
- The people who take pride living here
- The passion of the people
- The fact that there aren't to many people in Minturn, but unfortunately I think all that is going to change. When Bolts Lake and Battle Mnt. are developed. There are to many people wanting to live here and we can't stop it.
- The direct contact and relationship that I have with my community members as a whole
- The community feel. It is close proximity to Vail, yet feels like a mountain town.
- The community
- The beauty of an old mountain town. Everything within walking distance. Everyone knows each other.
- The beautiful scenery.

What makes you feel most proud about the Town of Minturn?

- That we remain a quirky, independent, authentic mountain town.
- That we have mostly long term locals and are still a small town that for the most part knows it's neighbors.
- That we can sustain our own water. Great place to raise family.
- That we are a "real" small town.
- That Minturn is a small historic town not over run with traffic.
- That it truly is a small town community, I still know most of my neighbors and most of my neighbors are courteous and friendly.
- That it is very desirable place to live. Has maintained it small town charm and friendliness. Has blocked major over development.
- That at Town Hall they listen to you and they try to do something about it, to help out. But many times they have their hands tight down too. :(
- Summer concert series
- Still maintaining small town feel despite pressure to develop. How the railroad development is handled will be crucial to maintaining this.
- Spirit, pride in being Minturn.
- Small town. Know a lot of people in town. Fun to in Minturn.
- Small town-no big developments-town listening to residents about Battle Mountain Development-keep Minturn small, please! Cute town with great restaurants, free summer concerts, stunning beauty and great recreational activities.
- Small town with more locals then second home owners
- Small town living- community not money
- Small town friendliness with majority of residents wanting to work on the community to make it better.
- Small town feeling
- Small town feel. Please keep the major developers out of Minturn!
- Small town feel; off I70
- Small town feel with historical flare and artsy feel.
- Small town community. An understanding that we Minturn can not compete with Vail and Avon and we in Minturn care more about our environment and green space than\$\$\$\$\$\$
- Small town character.....future development may ruin this !!!
- Small town character
- Small town atmosphere
- Small town
- Sidewalks, neighbors putting snow on roadway no concern for safety, what ever happened to contain in our property, we keep our clean, no one else is keeping theirs clean, this buddy system, is a bad influence for the Town
- Sense of community
- Sense of community
- Residents have a stubbornness about their needs and I love this! We are going to be Minturn regardless of what happens around us. There is a real sense of community here.

Proud To Be A Minturn Resident

What makes you feel most proud about the Town of Minturn?

- Quirky Charm.
- Proximity to mountains and mountain views, quaint entrance to town and eclectic feeling
- Positive feel and size of our town. location.
- People are generally are friendly and care about the community in which they live.
- Our respect for the town's history and effort to maintain our identity. We are a community.
- Our ability to maintain a small town character and community. I also am proud of our independence and our clean drinking water
- Not associated withvail resorts. Small town
- Nice in clean
- Nature
- Minturn newsletter comes to me a month behind. If it's going to be a newsletter, send it before the month. If not, it is a brag letter of what has already happened. We are a real Town, not a manufactured "resort" town. Real people live here, not just the season
- Minturn is much like it was 30 or 40 years ago and has maintained its historical charm and small town, artsy feeling
- Minturn is a town with actual history and that history should be better celebrated and incorporated into the towns development. The "hippy" elements of the town are not real and need not be propagated. We are the only real frontier town in the Vail area - build on that!
- Minturn is a small town, full of grit and passionate people.
- Minturn feels like an authentic, true mountain town (sense of community)
- Maintaining our identity and our own water service in spite of being between two mega dollar world class resorts.
- Long term residents.
- Long term homeowners who are a wealth of information and history! The Town has different opinions and tends to reinvent the wheel when doing projects.
- Locals town close to winter activities
- Lately not much... hardly any successful economic development or marketing strategies to improve small business.
- Keep Minturn a small mountain town, NOT a development. Keep it's character. Keep it's beauty. If the town does this it will be better in the future. Do not give into developers!
- It's not Vail
- It's quiet & small.
- It's not Vail and has a real history.
- It's not Vail
- It's not Vail
- It's my hometown and still for the most part a small town. But it has changed a lot.
- It's friendly and funky and is really the last small mountain community in Eagle County. My neighbors take care of each other and I feel safe.
- It's ability to stay true to what it stands for and not selling out. Growth is important and we do need to grow as a town (mainly in the sense of the businesses for tax reasons) so we can expand in other ways, but it is important to stay true to small town morals and not sell out to the big wigs that wants to change everything we stand for.
- It is one of the least ski resort esq. towns in the valley but still a resort town.
- It is not Vail! The little town feeling but still fun and cute.
- It is not associated with VR and seems to move to the beat of its own drum
- It has character
- Independents were not like the others

What makes you feel most proud about the Town of Minturn?

- Independent and struggling, but getting by.
- I love the main St and I love the community. Its important to me that I have an 80 year old neighbor on one side and an 8 year old neighbor on the other side
- I love that it is not on i70 and that there is a diverse population
- I have lived here for over Fourth years! I'm old school and miss old timers and history even walking to post office and see neighbors I am not into all the new second home owners I am a curmudgeon and don't understand one bit how it could behoove us to add more housing I think that's selfish and greedy!! Enough traffic on main st as it is!!! I'm sure you have heard enough form me!!!! Sorry
- I have always like the small town atmosphere and the beauty.
- I can walk thru town and always see a familiar friendly face!
- How you have a small town feel
- How much people care, the sense of community and full time residents here (not just second homeowners like Vail or Beaver Creek)
- Honest town council (finally)
- Great small town that is diverse and in a beautiful setting
- Funky town with a good sense of community
- Friendly, small town character
- Friendliness
- For a small town the activities are fantastic. Love the local trails.
- Everyone is friendly and helpful.
- Everyone is friendly
- Even with more 2nd homeowners and air bnb's we love the small town and local community.
- Ease of outdoor recreation when I walk out my door, conserving open spaces especially on areas like Maloit Park, and charm of an eclectic style - glad I don't live in a place that looks like Avon or Edwards
- Eagle river
- Conservative!
- Concern for "regular" people and their ability to live here.
- Community. Small Town feel. Not overcrowded.
- Community, little beach, cemetery
- Community
- Community
- Commitment to keep it's small town feel.
- Charm!
- Calling a mountain town "home" and then also the fact that we know our neighbors and share our lives with them throughout the year!
- Affordable lease

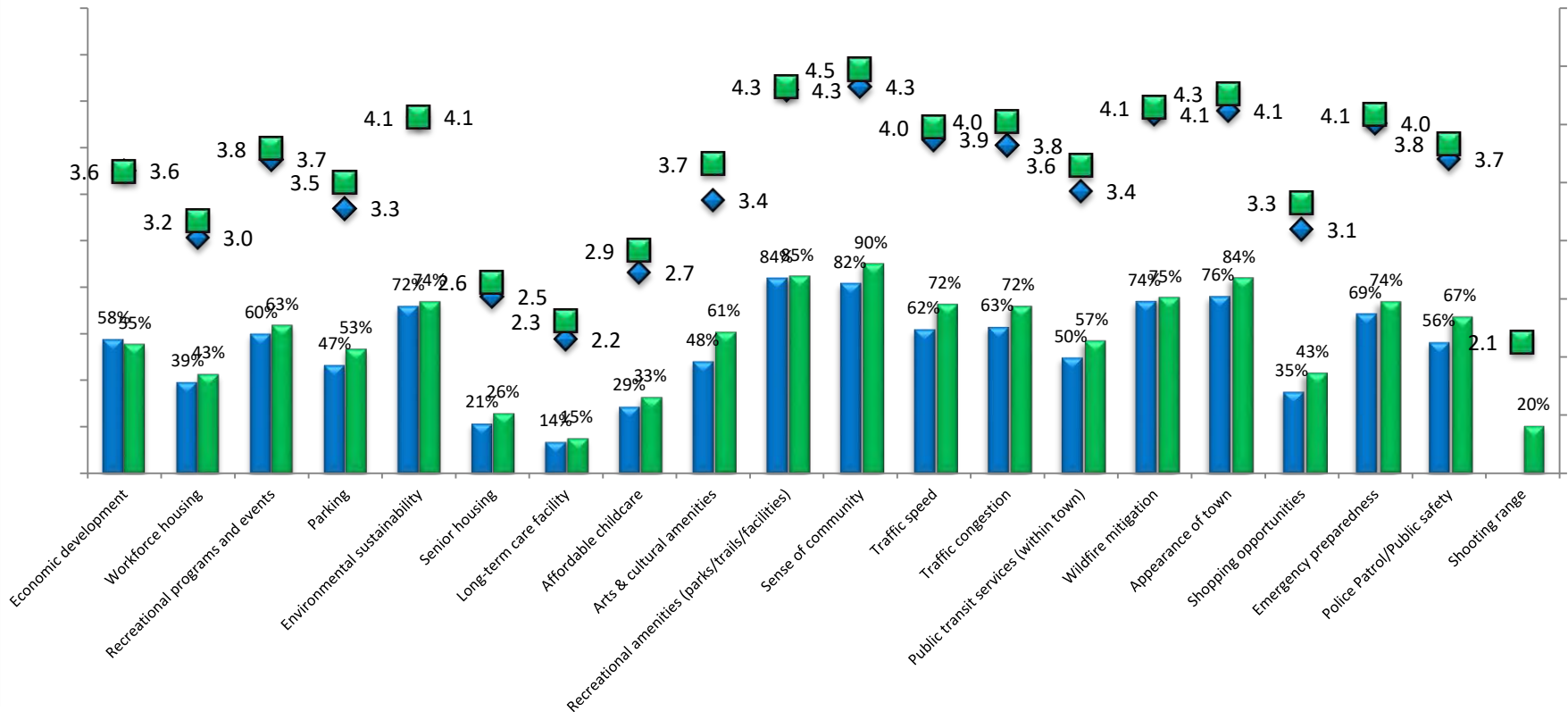
Importance vs. Performance



Importance of Town Attributes

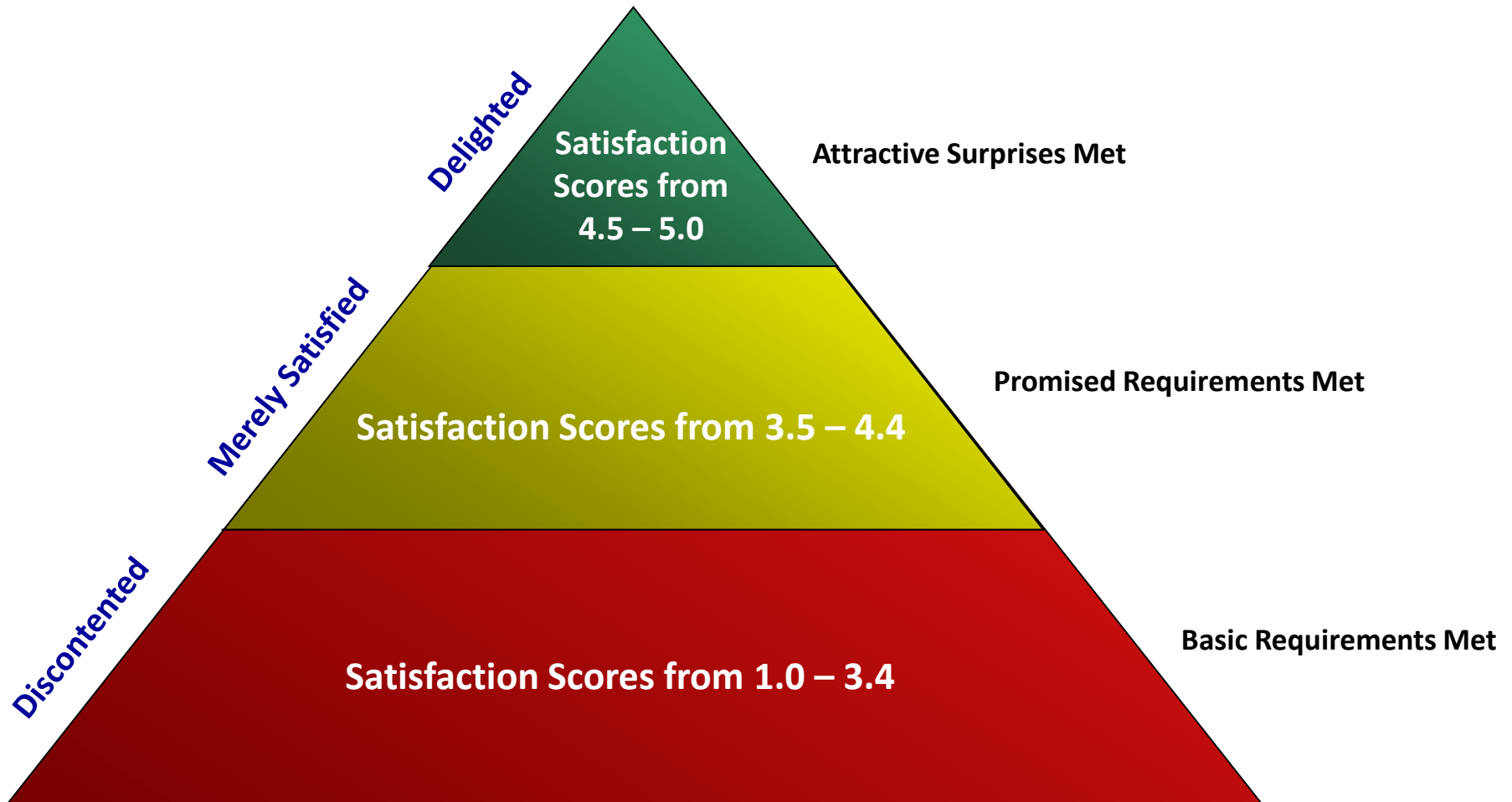
Please let the Minturn Town Council know how **IMPORTANT** the following items are to you on a scale of 1 to 5, where 1=Not at all Important and 5=Extremely Important

■ % Rated a '4' or '5' 2019 ■ % Rated a '4' or '5' 2020 ◆ Mean Rating 2019 ■ Mean Rating 2020



➤ Each person surveyed was asked to rate their importance level with several attributes regarding the Town of Minturn on a scale of 1 to 5, where 1=Not at all Important and 5=Extremely Important. This graphic displays the mean rating, and the percentage of those who rated each attribute a '4' or '5'.

Hierarchy of Customer Satisfaction Needs



The Customer Delight Principle was designed to identify shortcomings within a business and to improve satisfaction. Satisfaction can be measured along a continuum and can be broken out into three major points:

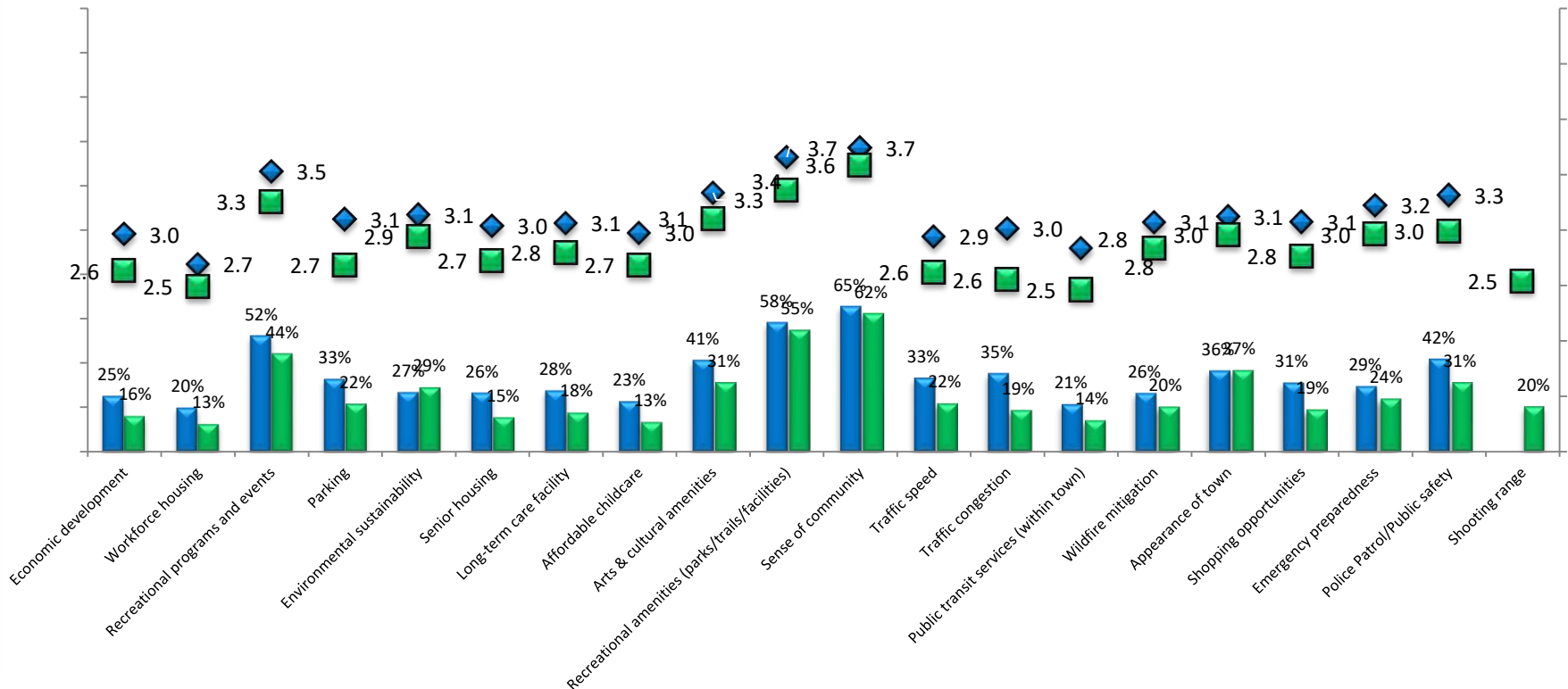
- Discontentment – customers needs are simply not being met.
- Merely Satisfied – meeting customers needs, but not doing enough to distinguish among competition.
- Delighted – meeting and exceeding the customers needs and expectations

Terry Keiningham and Terry Varva, 2001, The Customer Delight Principle, Google Book Search, viewed 6/23/2008, http://books.google.com/books?id=ot8oD9B2Ck8C&dq=cus+omer+Delight+Principle&pg=PP1&ots=VOXp3xEU0J&sig=9VbRwCSX8MN3xs2vDpmuS9muNk&hl=en&sa=X&oi=book_result&resnum=1&ct=result

Satisfaction with Town Attributes

Please rate how **SATISFIED** you are with the following items on a scale of 1 to 5, where
1=Not at all Satisfied and **5=Extremely Satisfied**

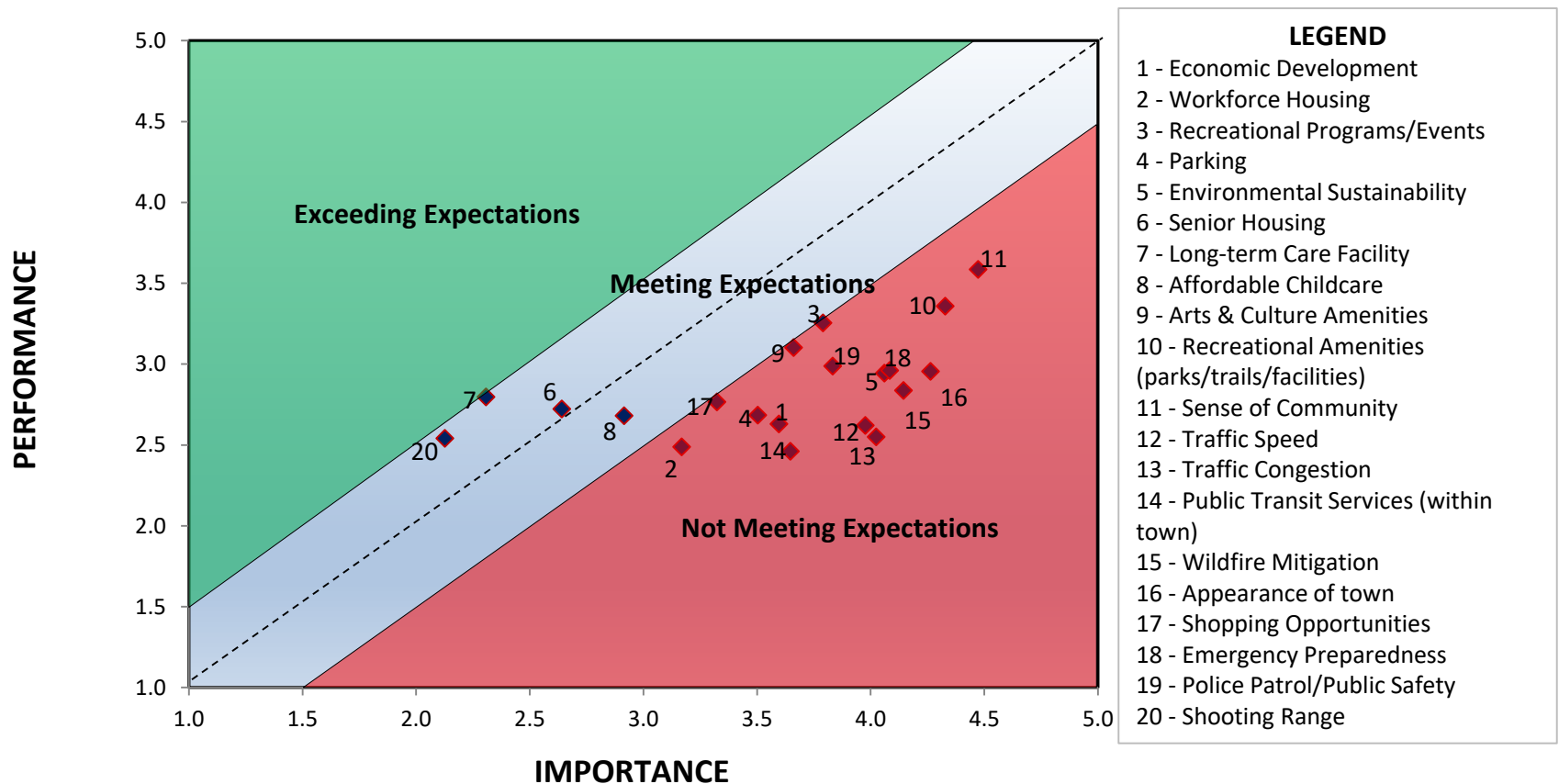
■ % Rated a '4' or '5' 2019 ■ % Rated a '4' or '5' 2020 ◆ Mean Rating 2019 ■ Mean Rating 2020



➤ Each person surveyed was asked to rate their satisfaction level with those same attributes regarding the Town of Minturn on a scale of 1 to 5, where 1=Not at all Satisfied and 5=Extremely Satisfied. This graphic displays the mean rating, and the percentage of those who rated each attribute a '4' or '5'.

Importance vs. Satisfaction

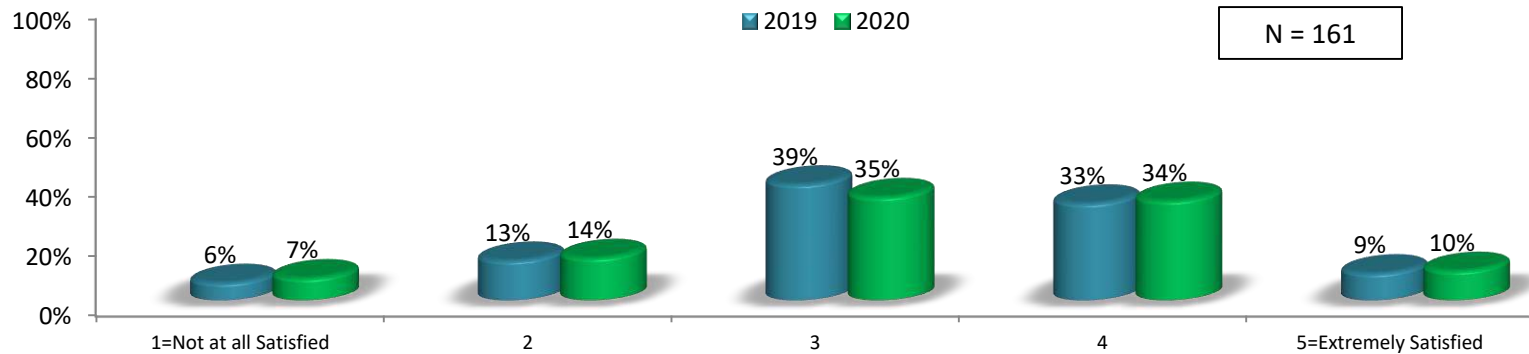
2020 Town of Minturn Community Study - Importance vs. Performance Gap Analysis



Performance

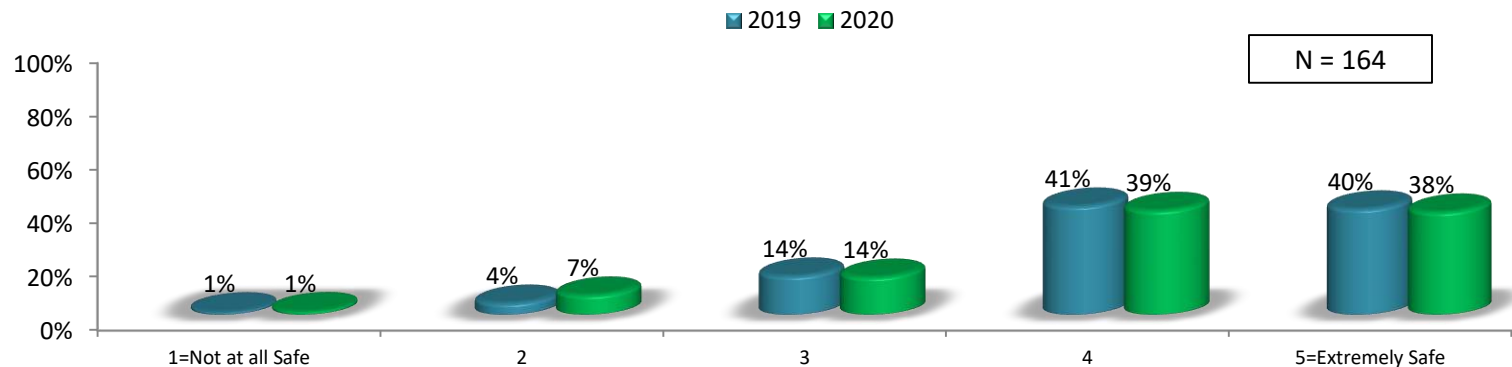
In general, how satisfied are you with how the Town of Minturn government operates?

(using a scale of 1 to 5, where 1=Not at all Satisfied and 5=Extremely Satisfied)



How safe do you feel in your neighborhood?

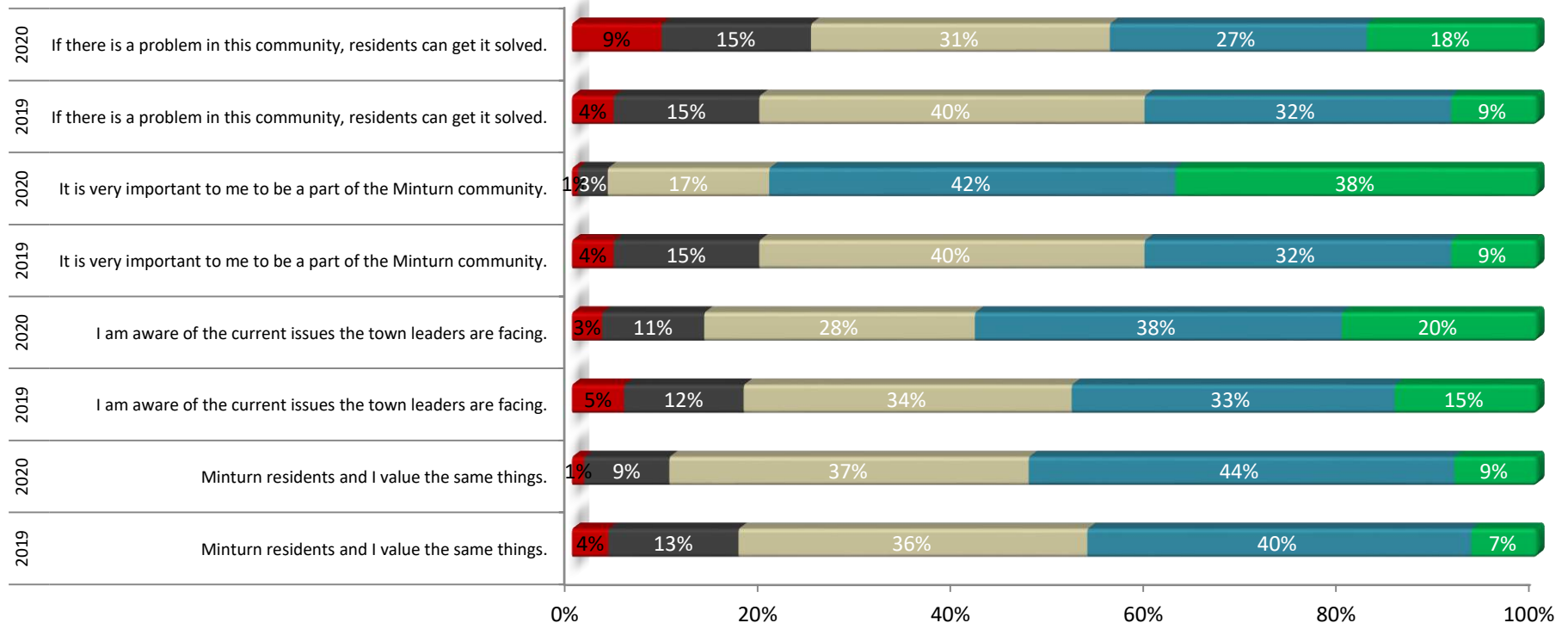
(using a scale of 1 to 5, where 1=Not at all Satisfied and 5=Extremely Satisfied)



Performance

How well do you agree or disagree with the following statements?

■ 1=Completely Disagree ■ 2 ■ 3 ■ 4 ■ 5=Completely Agree

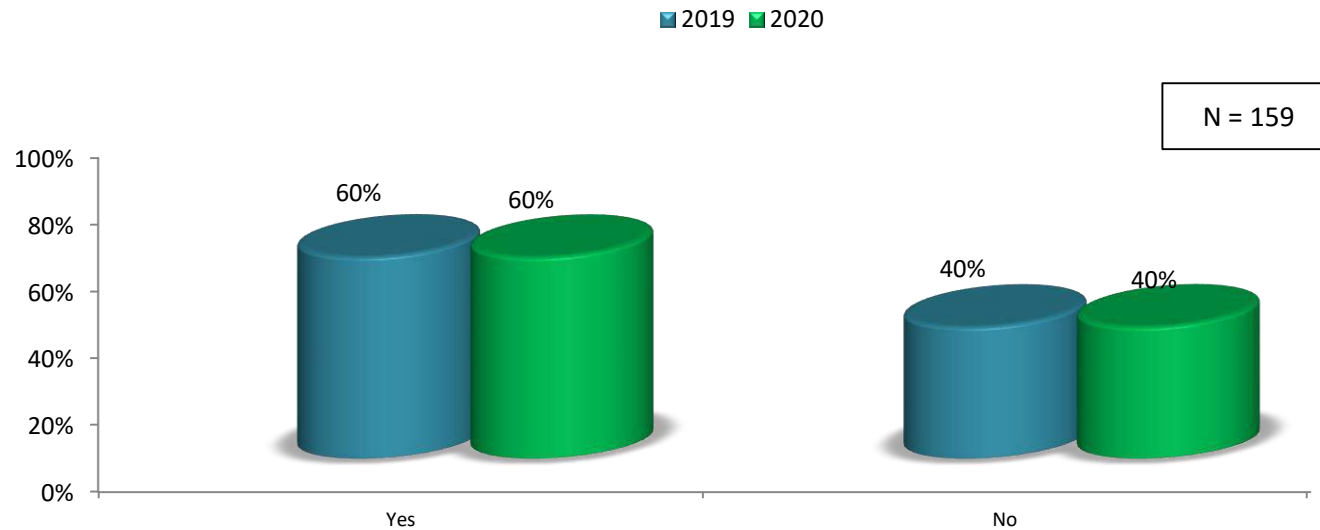


Recreation



Recreation

Does Minturn have enough recreational opportunities?



Recreation

Future Recreation Activities - "Other" Comments

- Whitewater park
- Whitewater park
- We have nature let's leave well enough alone
- They should have built a swimming pool at Maloit park.
- These are all good ideas if there is opportunity!
- SWIMMING POOL
- Swimming pool
- Swimming
- Special events and better vendors and more vendors including Food options Better advertising Better bus service
- Running/biking trail (flat)
- River tubing access
- Pool! Above all!
- POOL
- Pool
- Par 3 golf course
- musical events
- Minturn Mile (ski patrolled). Ski lift to back bowls.
- MFC more like Avon Rec
- Look to Leadville's Ice rink, we could have the same on the playing fields in Maloit.
- Kayak whitewater park
- Kayak white water park or put in?
- It would be great one day to utilized Bolts Lake and have water to play in!
- I don't think we need any of these things. There are plenty of options throughout the valley. KEEP OUT SMALL TOWN SMALL
- Hiking trails

Future Recreation Activities - "Other" Comments

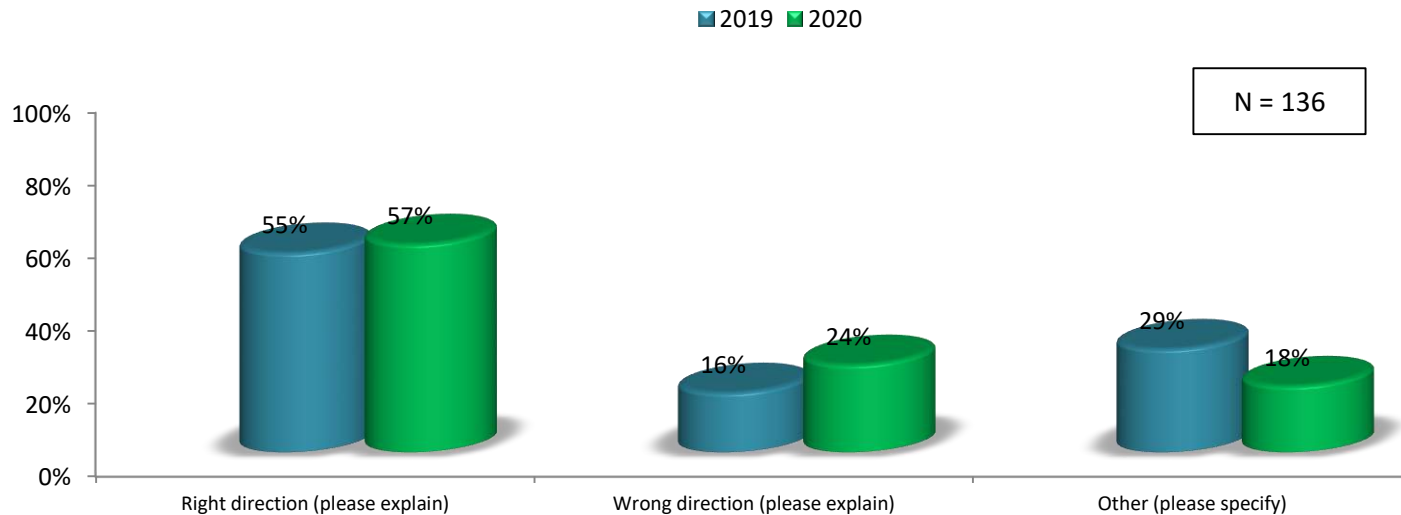
- Fishing and SUP paddle board area.
- Fine the way it is!
- Family oriented activities
- Exercise Park, more yoga in the park, bike path that connects all the way to Vail, drive-ins, theater in the park
- Dogs on leashes
- Dog parks
- Dog park
- Connecting bike path to Dowd Junction
- Community pool
- Bring back skijoring.
- Brewery, other dining options, more live music
- Bike/Walking Path connecting to Vail and Avon
- Bike trail all the way through town out to Maloit park
- Bike path to the highway. Additional mountain bike trails and hiking trails.
- Bike path
- Bike lanes and paths
- Better access to fitness facility
- Anything to keep kids busy so they don't get in to any trouble. At the dirt bike track also put a kick wall for soccer players and tennis players or a soccer goal net, the skate park, sledding hill and bike park mentioned above are great ideas!
- Any of these would be great additions. I'm just thinking about what is in short supply in the upper Eagle Valley.
- All of the above, sledding hill, mtn. bike park and skate park
- All of the above
- Ability to explore the environment we live in is enough for me
- A gravel or dirt trail on the rail road tracks

Direction of Minturn



Direction of Minturn

In general, do you think Minturn is headed in the right direction, or wrong direction?



Direction of Minturn

Town of Minturn Heading in the Right Direction - Comments

- Yes. We are engaged in making our own decisions for our town.
- The town does a good job of communicating with the residents. I am happy living here.
- Best Town Council we have had in 30 years, in particular Council Woman Armistead.
- I believe the town council listens to residents needs and desires to stay a small town.
- The town has a super strong staff, commission and council right now. Also staff is being very proactive on issues.
- I like that Minturn has been cautious to embrace large scale development that would greatly strainer break our infrastructure. the town needs to be thoughtful and slow in these types of irreversible changes
- Feeling good about the town BUT hating the more expensive water rates - think for our family it'll be over \$500 more for the year
- We are thinking long term solutions to major issues that the town faces like water, housing, development, community, the environment etc.
- The Town is making, "good of Minturn," decisions that puts the Town at CAUSE instead of effect. This allows the citizens of the town to make forward looking decisions instead of deciding on things by, "which is less harmful?" Everything comes at a price, but not deciding, waiting, and doing nothing is the most expensive by far.
- We seem to know the issues to address. Now we need to create the political will and consensus to act.
- Communication is very good
- I love how the town has stepped up to make our community better connected through terrific communication. I love how the town has improved it's property and made the town just look much better. And by doing so has encouraged others to clean up their properties. I love how the town listens and responds to the community. The leaders seem to have a much better vision for the future of our town by being proactive and engaging with other governing agencies and organizations.
- Right direction but it needs to be careful to stay on a positive path
- Keep out big development on Ginn property
- Yes, so far avoiding major development
- In general it is
- Always room for improvement but overall, there has been new ideas brought to the town that help it to grow and prosper.
- I.E. Getting sidewalks so kids can travel around without getting hit by cars.
- I like the community outreach, and activities. I am most worried about the traffic impacts of future development.
- Replacing our water system
- Change is difficult but I feel the town is making the right decisions
- Street improvements and new crosswalks and sidewalks are a huge improvement. Please try to keep the VRBO's to a minimum. They destroy our sense of community
- The town seems to be attracting the right people. Unlike old residents that used to live here just to party we are getting more professional people interested in their own personal growth and the towns growth
- I think it's sort of moving in the right direction. I think we need growth to survive. The town (govt and residents) need to take a realistic look at the long term economic viability of the town without growth
- I think that we, as a community understand "who we are", what this town means to us, and the direction that we think that it needs to go in. The largest gap that I see is the relationship between housing development and economic sustainability for the town. I don't think that most residents understand that relationship to the degree that they will vote in favor of more housing.
- Yes! Thank you for all that you do!!
- The bike part and the free bus passes were great!
- I think we're doing a good job of asking developers the right questions and taking the time to fine tune our sense of place when it comes to what Minturn "is". Love that the bike park could become a reality soon; love the improve ice rink at Maloit, love that we continue to have fund and funky events such as barstool races and free summer concerts. And thank you for placing an emphasis on being part of the Climate Action Collaborative!
- Environmental sustainability, transparency, listen to town people, dealing with the real world while trying to meet citizens vision of future.

Town of Minturn Heading in the Right Direction - Comments

- Getting and respecting public input on development issues
- Yes, if we continue to improve property, bring in new, interesting retail and restaurant however we are concerned about water issues
- I think town planners are steering it in the rt direction
- We Have a council that listens to the people. We can not continue to impact the environment with greedy developments. We must leave Dowd forest service open space!! This is a wildlife corridor.
- Controlling growth except on the 100 block
- Side walk and road repairs were critical. I like the direction of the bike park.
- Still a lot of work to do. Make sure that growth is responsible.
- As long as we can distance ourselves from the (original Ginn mess)
- I believe that growth, in moderation, will be good for the sustainability of our town. I'd love to see environmental minded growth focused on keeping locals and middle class in Minturn.
- Recently, yes three year ago no, wait on BM is not the right direction. no. The status quo
- Leader in environmental sustainability initiatives, water infrastructure and future housing opportunities
- Don't get too over zealous about tourism
- I think we're generally heading in the right direction, but there are many studies that say art/arts programs lead to economic development so I think we need a bit more focus on that end of things.
- Self determination
- In general I think board is listening; esp town manager
- Has improved somewhat, address the critical issues, water system, streets, police as a priority
- Forward is the right direction.
- Side walks installed
- This town has definitely made an effort to clean up but keep the small town charm. I have been happy thus far that the town has thought about the roads and size of our town in regards to the desire of big business and development
- Great council and staff
- It appears so, but still a long way to go
- Healthy growth opportunities, looking out for water rights and community interests.
- Finally fixing the sidewalks, a true government function
- Minturn remains gritty and rough compared to Avon and Vail
- Working on new development opportunities / planning more events
- Generally in the right direction
- The town has "upped their game" over the past few seasons and I hope it continues that way as far as community activities.
- Chugging along
- The town is working very hard to come up to speed with infrastructure, amenities, economic base, etc. There is a lot of work to do since previous councils ignored so much
- Planned growth balanced against small town atmosphere

Direction of Minturn

Town of Minturn Heading in the Wrong Direction - Comments

- Too much change
- We can't stop the fact that everybody wants to move to Colorado.
- Minturn will be developed. It's the last area to expand. Accept it and take what money is offered to you IE- Water Now we have to pay for it. We need better events planner and more events
- While I have faith in the current council, I also believe that there needs to be more that brings the community together in the way of rec. facilities. The fitness center is geared towards the students at VSSA and does nothing to bring the community together. A pool with a gathering space, a larger playground with a skate park, an ice rink with a sledding hill. This is what brings people out of their homes to enjoy their town environment and converse with other residents.
- We need to focus on keeping that land where the forest device station is and turning it into a productive money maker for Minturn
- Still speeding through town and the parking is a mess, not sure the answer. I feel employees need to use town lots and police need to run radar in town limits.
- Magusto's creates a bad atmosphere at night.
- We are trying to compete with large valley towns. We are a small town and need to offer more Minturn community events to help unify our residents. NO ONE seems to take increased traffic and lack of parking into consideration. I also don't believe spending money on additional recreational activities that other larger valley towns offer is a smart decision. They will probably cost more to maintain then they will make.
- Instead of providing incentive for building viable business on 100 block main, it seems like the town common folk don't want anything to happen there but complain that there are not many revenue/tax generating entities
- The proposed developments are too dense and will ruin our small town feel and create massive traffic problems.
- Big developments in town core. Taylor Street and Bolts.
- I think the town is trying to stop progress and improvements. I resent how Enclave residents are treated and marginalized.

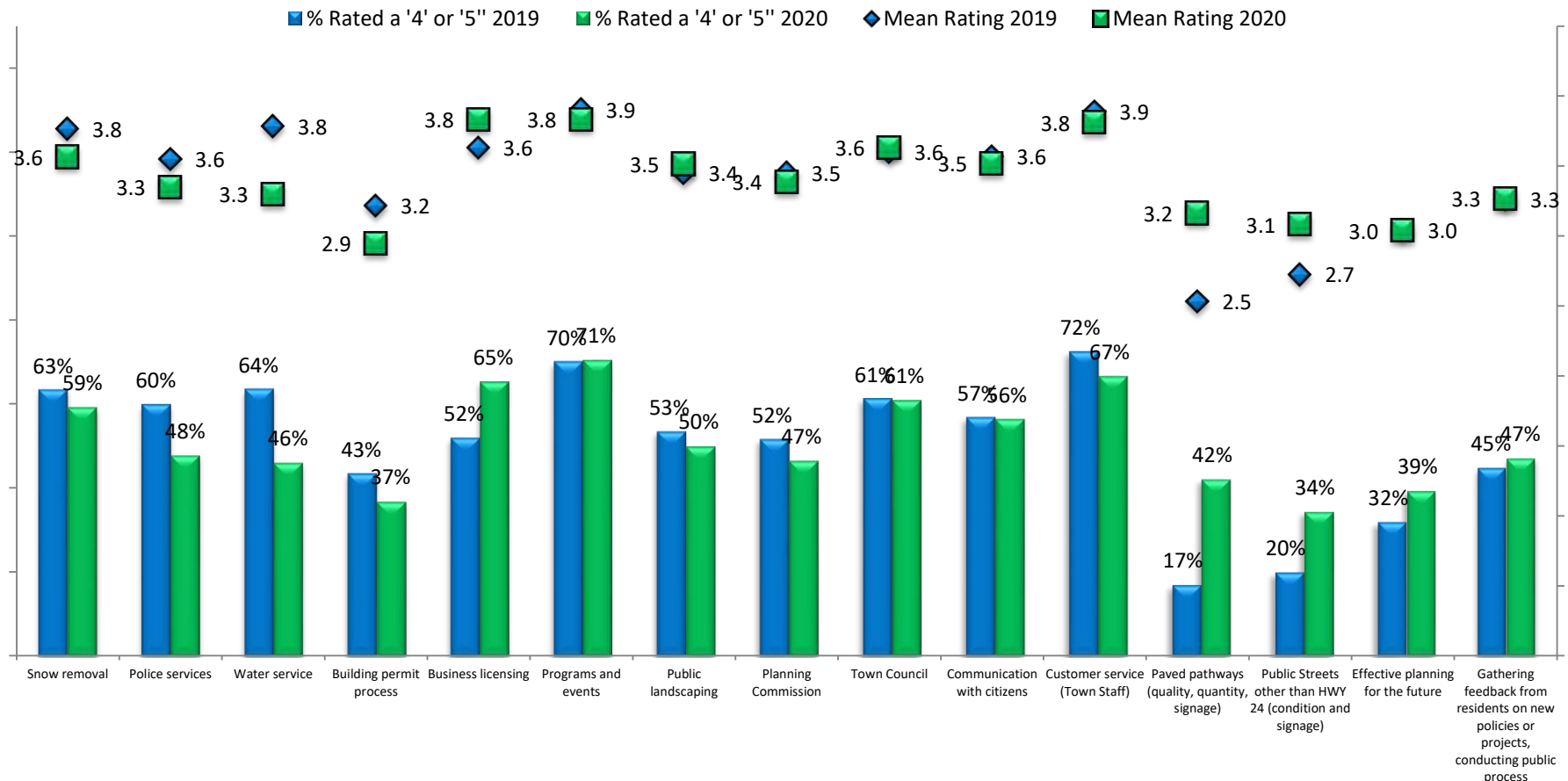
Direction of Minturn

Town of Minturn Heading in the Right/Wrong Direction - "Other" Comments

- Not sure: are you asking about the recreational activities or what?
- I work at night so I don't get to go to meetings and I am just hoping that we are keeping our green space not selling out for a profit and staying the small town we are
- For the most part its on the right track
- Worried about H2O stich
- Too soon to tell, all change that has been proposed has been vetoed by the locals which is fine, but I haven't seen much else in what the plan is to grow in other ways, and as we stand as a town I'd say we are pretty poor and need to do something to bring more money in. I think a lot of that has to do with getting business that want to thrive and stay open and want to be successful, less of what we have which is a big part of people who don't care anymore, so therefor are happy just coasting.
- Dogs off leach 🐾 Totally unsafe for dogs and people. Some folks are allergic to dogs. Doesn't matter if "your dog is friendly." Not cool..
- I haven't been a resident long enough to have an opinion.
- The town needs a master plan for certain areas that do not currently have one especially the gun range and mini-mile area

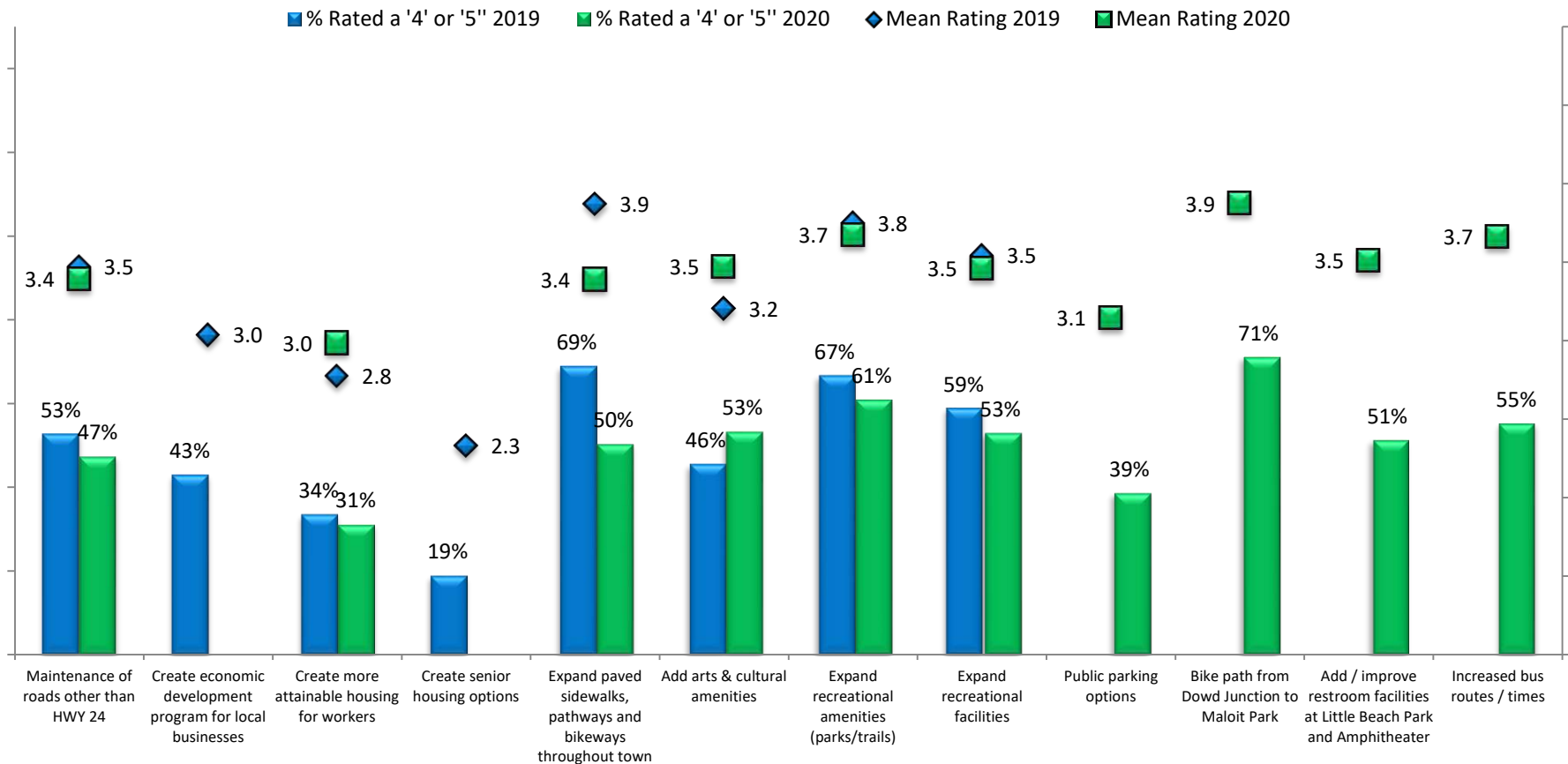
Performance of Functions/Services

Please rate the quality of service for the following functions/services of the town government on a scale of 1 to 5, where 1=Very Poor and 5=Very Good.



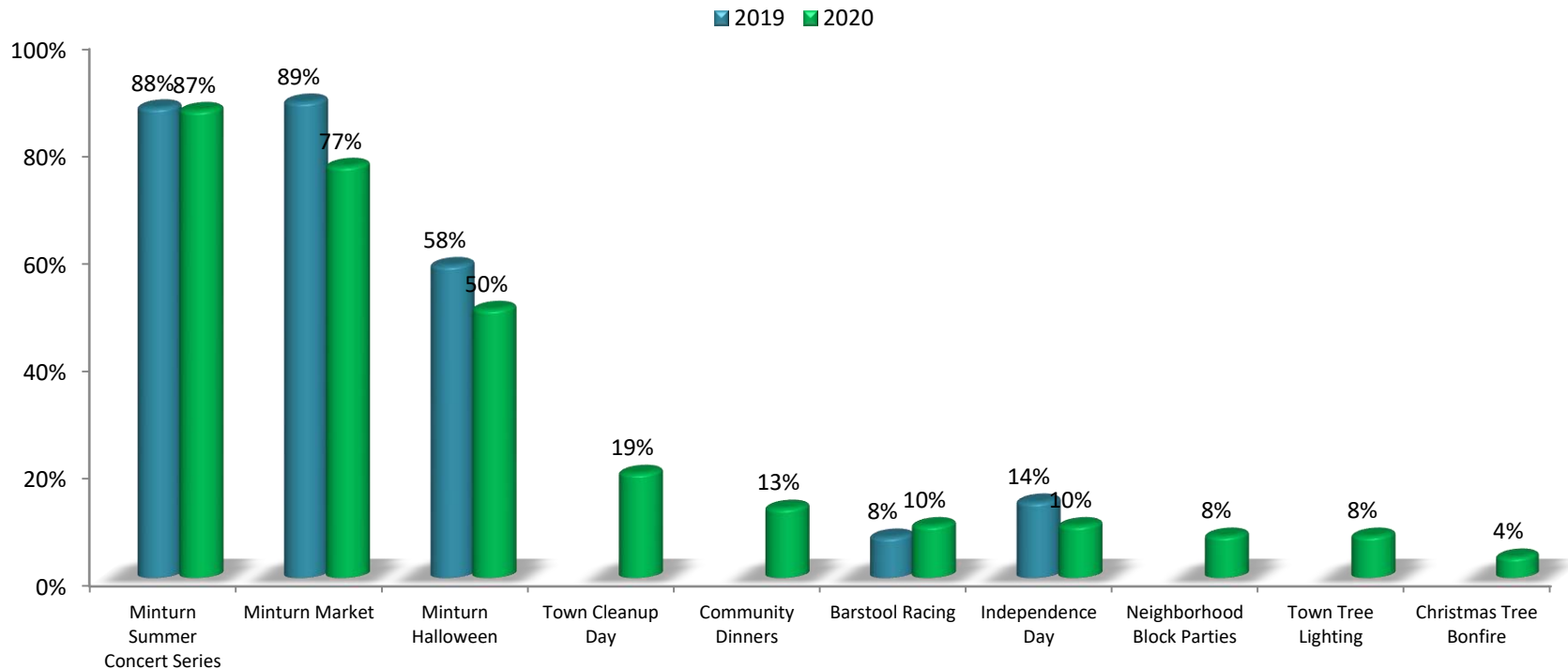
Performance of Functions/Services

We would like to get your opinion on how important it is for the Town of Minturn to fund the following PROJECTS over the next 5 to 10 years.



Minturn Events

From a community character/quality of life perspective, please check the top 3 events which you feel have the greatest positive impact on the Minturn Community.
(Multiple Response)

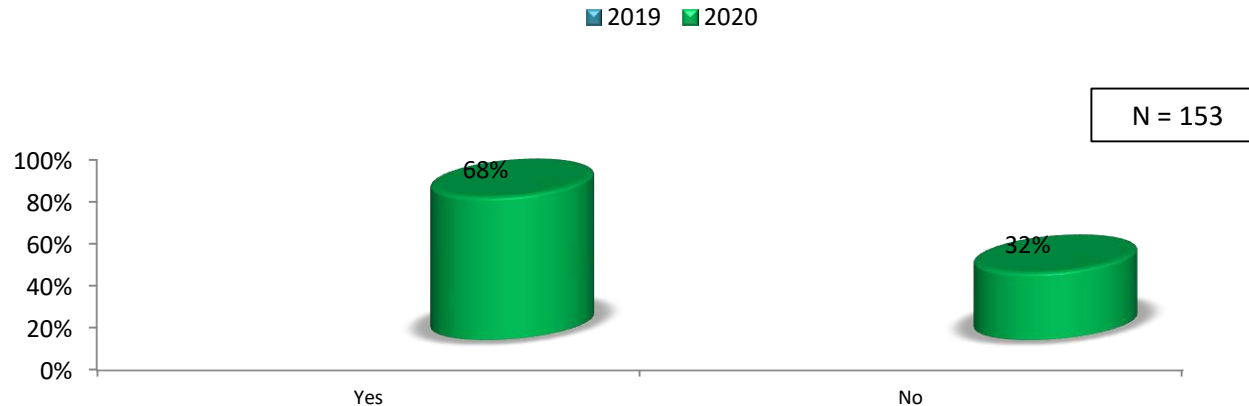


Minturn Fitness Center

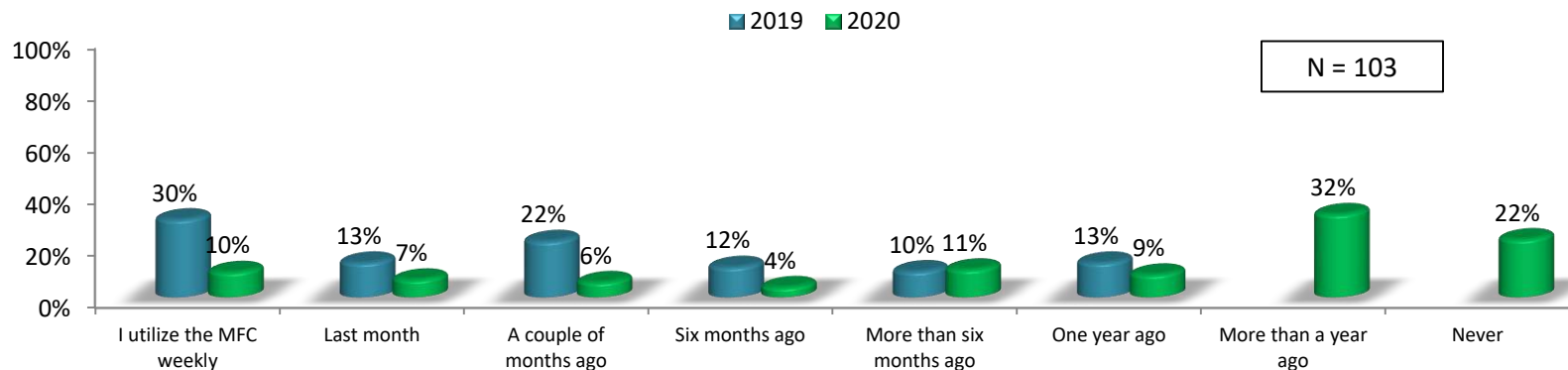


Minturn Fitness Center

Have you ever been inside the Minturn Fitness Center?

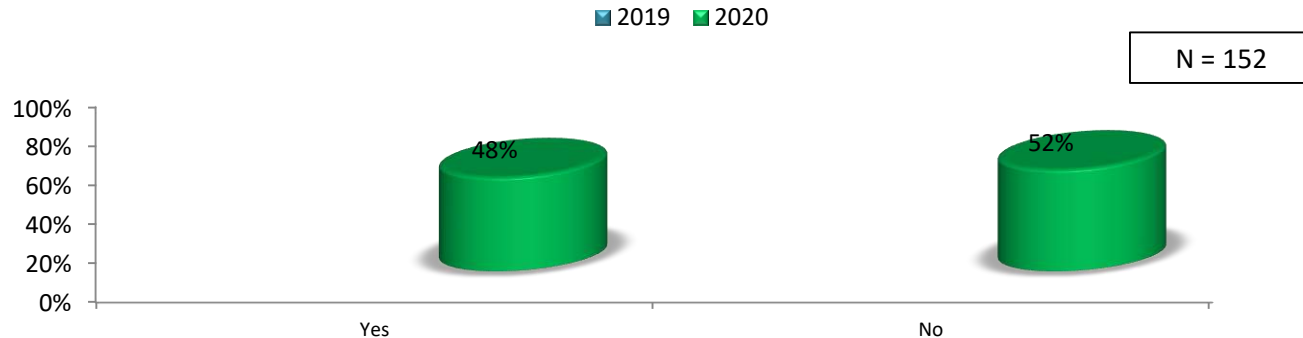


When was the last time you utilized the Minturn Fitness Center? (Asked only of those who have used the fitness center with the past year)

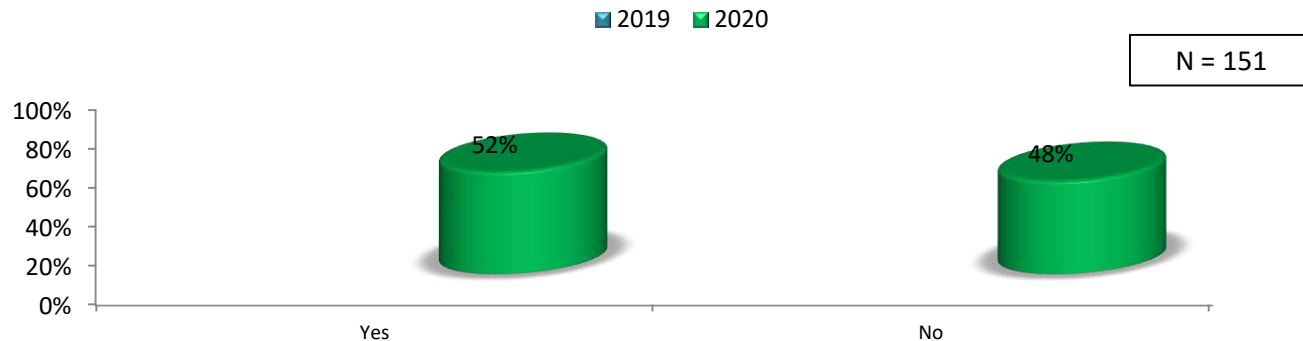


Minturn Fitness Center

Would you be more inclined to utilize the Minturn Fitness Center if the offered extended hours?

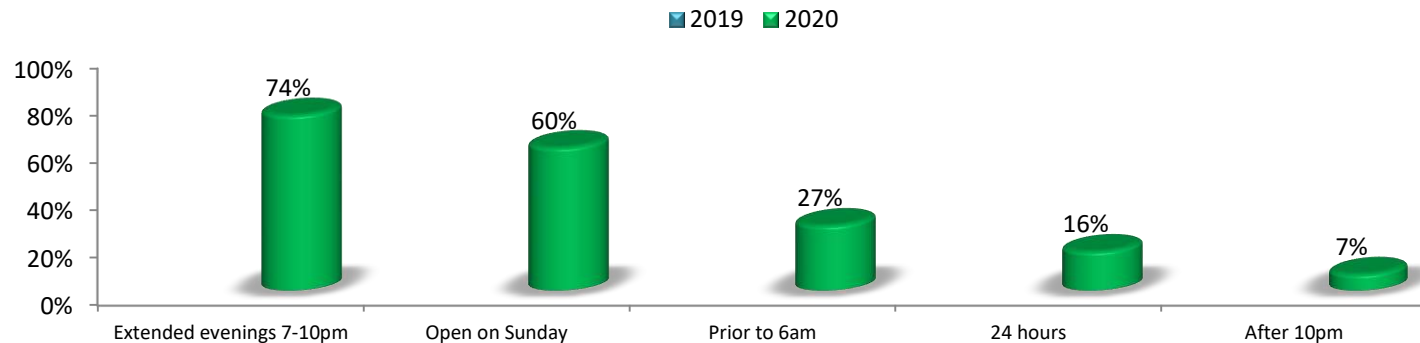


Would you be more inclined to utilize the Minturn Fitness Center if unmanned/unstaffed access (via a key fob/digital access) were an option?

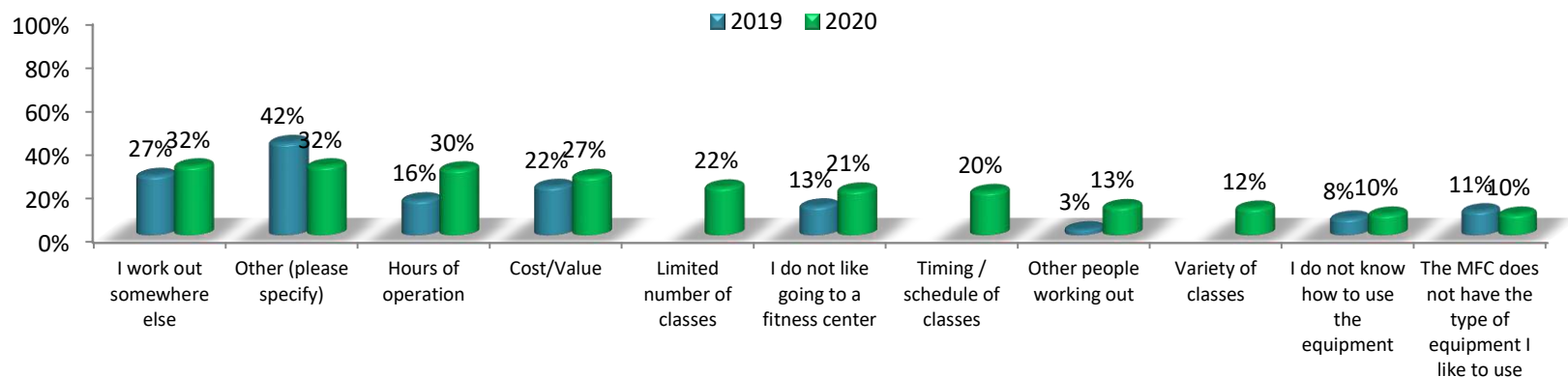


Minturn Fitness Center

What hours would you be most likely to utilize the Minturn Fitness Center? (Multiple Response)



What are some of the reasons you choose NOT to utilize the Minturn Fitness Center? (Multiple Response)



Minturn Fitness Center

Reasons for not Utilizing the Minturn Fitness Center - "Other" Comments

- Would like to use equipment like watt bike and bike trainers without having to pay an extra fee
- Work/belong to another gym
- When MFC closed at 8, I worked out many evenings until close, and employees would be packed up ready to go with their backpacks on at 7:55 and looking at me in frustration that I wasn't done working out
- We need a pool
- Unfriendly staff
- Too many kids during the day. Feels like Minturn just bought SSVA it's own facility.
- They scaled the hours back, and raised the prices. I USED to go from 7-8pm because I work a normal job. Now when I go it is over crowded with ski/snowboard club student athletes. These users do not respect the general paying public.
- The vibe given off their is that if you are not a VSSA student or a DIE-HARD athlete, they make you feel like you aren't welcome!
- The classes were offered when I had to be at work M-F 9-5. If a 6am circuit class is offered I'll be there! If a 6pm circuit class is offered I'll be there!
- Staff issues
- Spend more time exercising outdoors - running/skiing/skinning
- Showers and no Steam Room, locker rooms are cold and gross. They rarely get cleaned, at least when I was a member. If they expanded the locker rooms so it was nicer like other fitness centers in the valley I would go back. Also, I know there was talk about a pool/hot tub. That would DEFINITELY help as well.
- Showers and hot tub
- Seems to only cater to the vssa and athletes, not the average person.
- Seems geared towards the snowboard academy...use more than public
- Other facilities have better locker rooms, hot tub facilities, etc.
- Open during the same hours as all other businesses. Effectively, no time to work out
- Not welcome, very poor investment by the town.
- Not user friendly to average citizen
- Not public friendly.
- No pool no hot tub no steam shower
- Need a swimming pool
- My work hours

Reasons for not Utilizing the Minturn Fitness Center - "Other" Comments

- My travel schedule
- My schedule is the biggest reason why I don't utilize it
- Might go there if there were a swimming pool and it didn't cost too much.
- MFC is open and usable for anyone who does not have a job. FC is not for residents. Athletes have priority
- Location
- Life is busy during the day. From early to late. I get my primary exercise outdoors. If I were to use a gym, the MFC is a best option b/c it is located in town/easy to get there.
- Kids. Too many at once and during only hours available to me. They have taken over the gym...and don't care about the town people AT ALL!
- Its become the center for the school it always was.
- It seems more focused on vssa and Minturn residents are an afterthought
- It is in a terrible location for the town. Bad decision to subsidize VSSA work out facility
- I work from 10-8 every day
- I was excited that the Minturn residents were going to be offered a discounted membership when the fitness center opened. Then we were faced with the reality that the fitness center was really for the benefit of the Vail Ski & Snowboard Academy at the Town's shared expense. I have my own personal Pilates & yoga workout area in my home after seeing how disappointing the fitness center was.
- I use outdoors, thought it was for the children or should of been
- I don't live in Minturn
- I don't know where it is located. This is the first I have heard of it..
- I don't have time. Great facility
- I do utilize the MFC when I am in residence.
- I do not live in Minturn
- Feels like it caters more to VSSA than to my chubby needs.
- Doesn't feel like it is for Minturn residents. More for the extreme athletes. Intimidating
- Distance
- Add a hot tub and I will join.
- A sauna, steam room, soaking tub would increase the attraction for me.

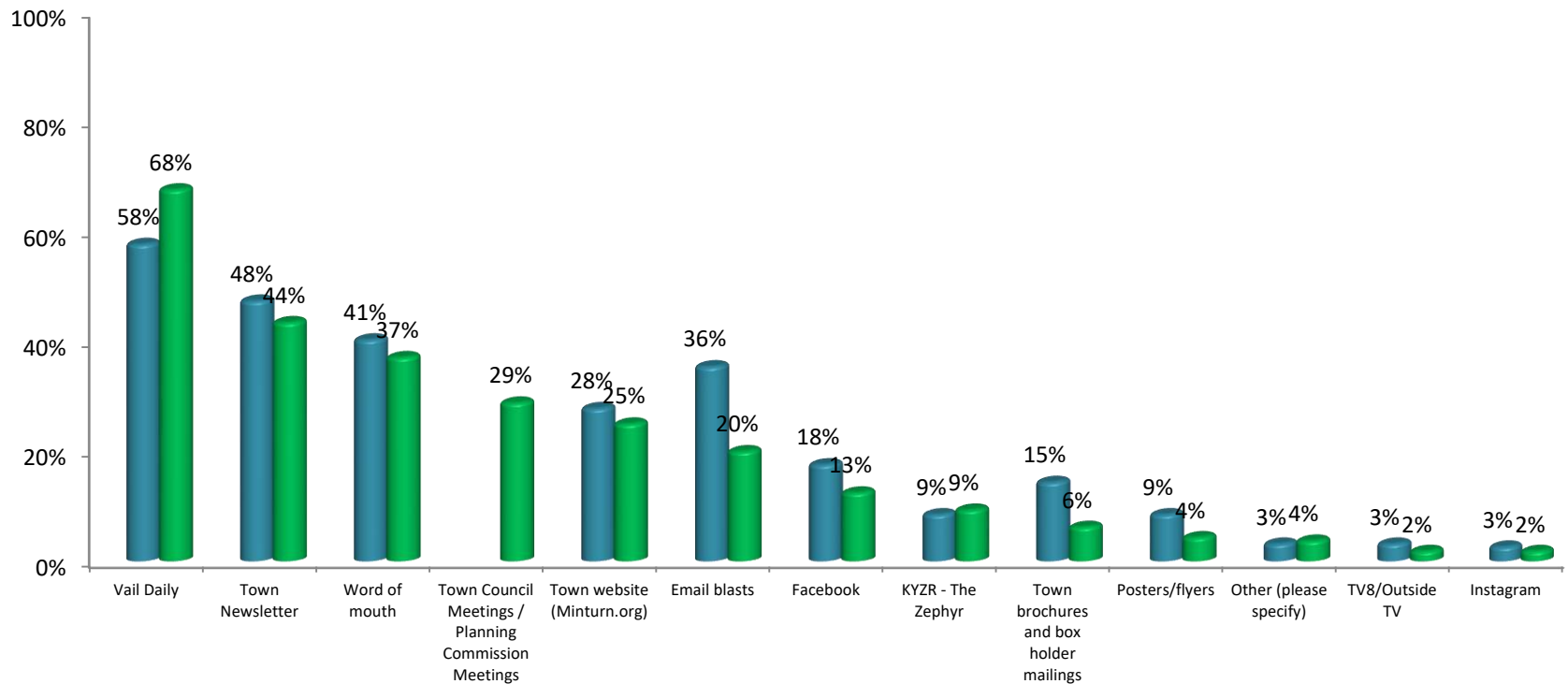
Communication Preferences



Communication Preferences

**Which of the following do you rely on most frequently for community news and information?
(Multiple Response)**

■ 2019 ■ 2020

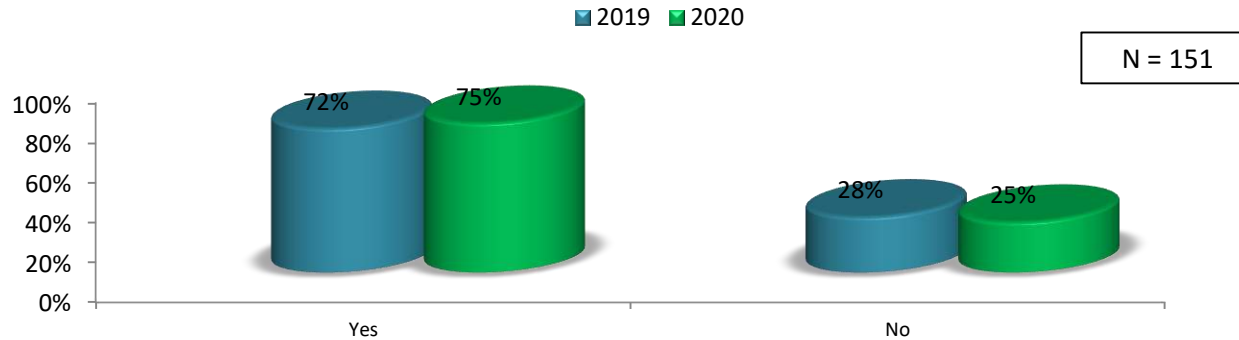


Demographics

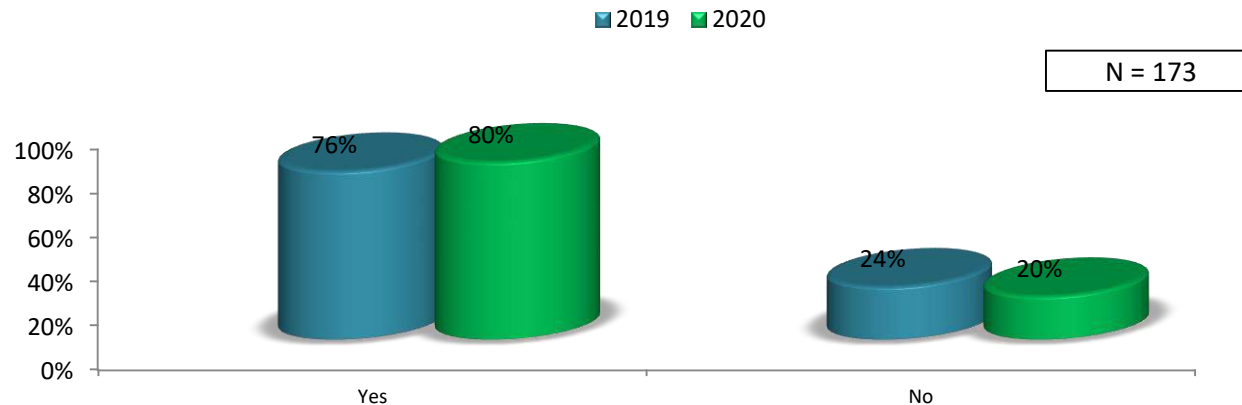


Demographics

Are you a registered voter?

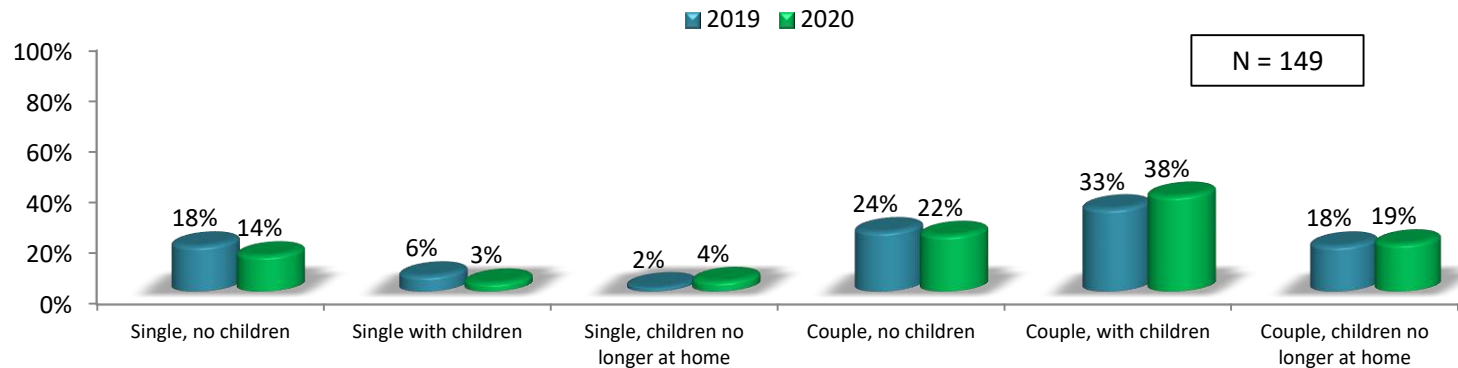


Do you own the home you currently live in?

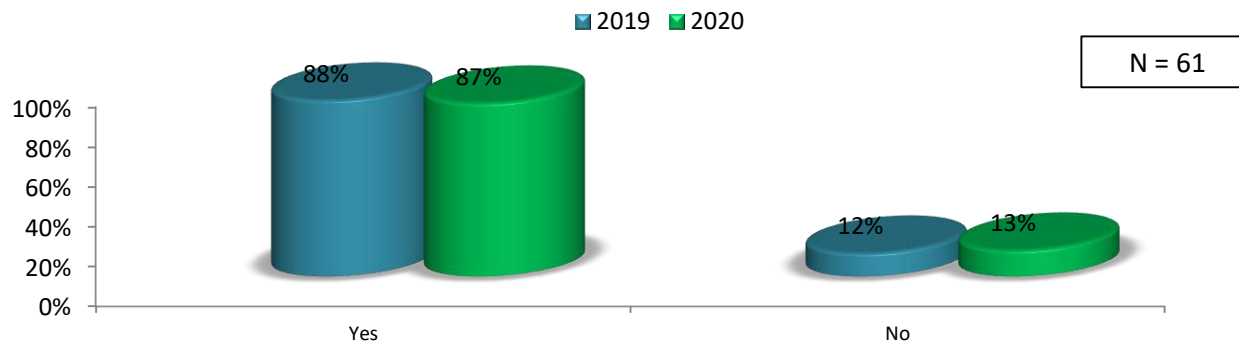


Demographics

Family Status

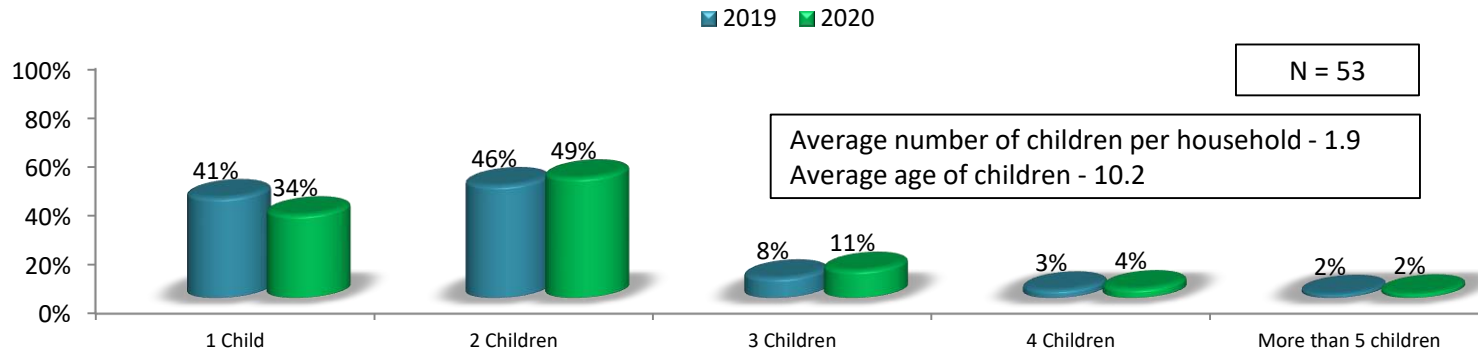


Do you have children under the age of 18? (Asked only of those who have children)

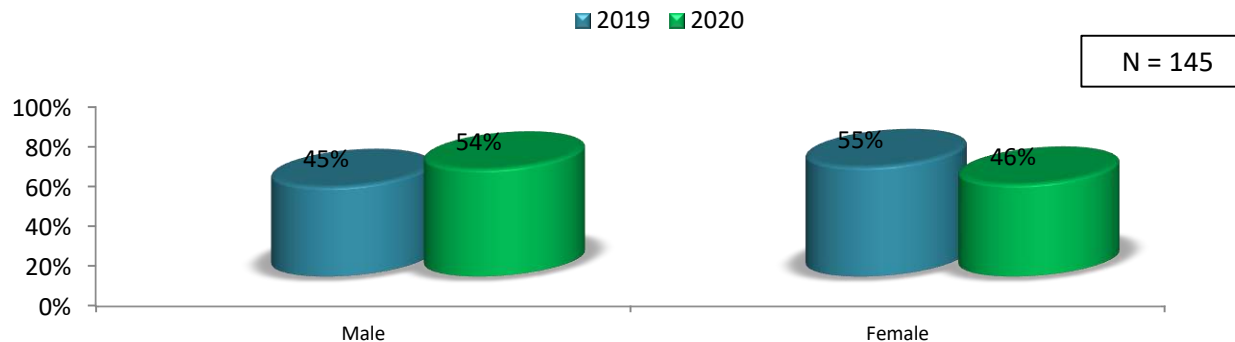


Demographics

How many children do you have under the age of 18 (Asked only of those who have children)

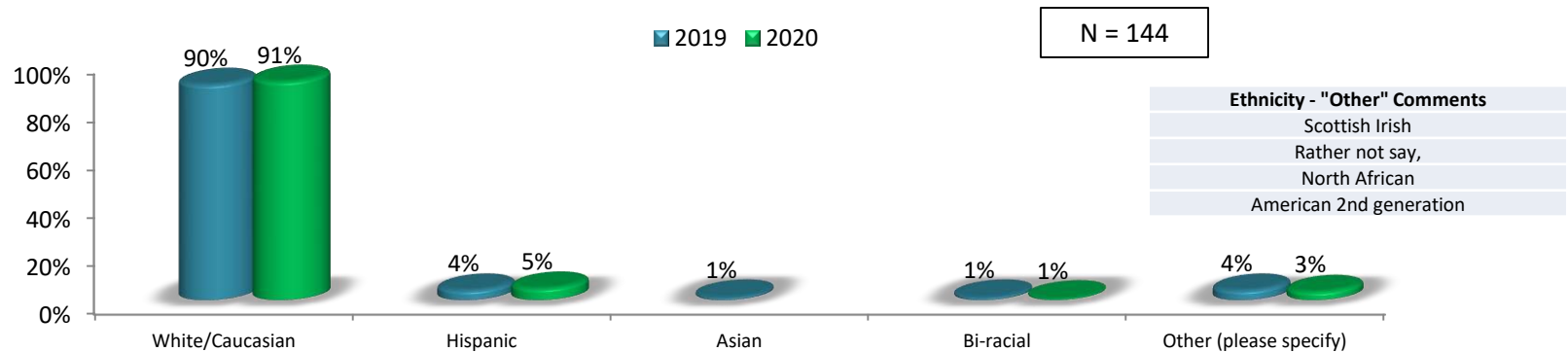


Gender

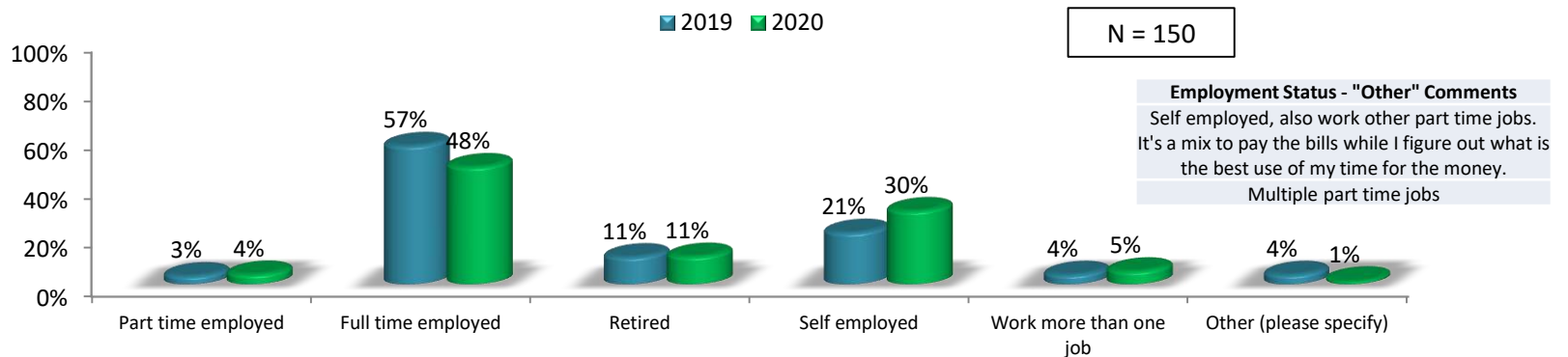


Demographics

Ethnicity



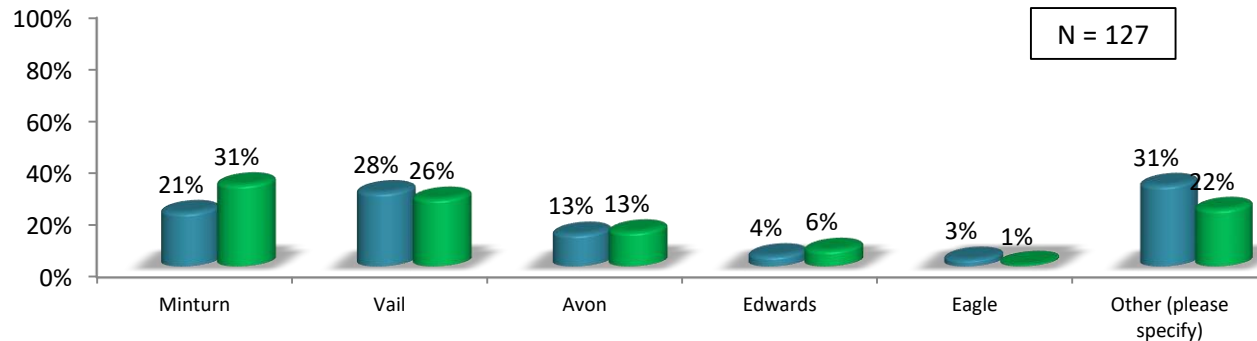
Employment Status



Demographics

Job Location

■ 2019 ■ 2020

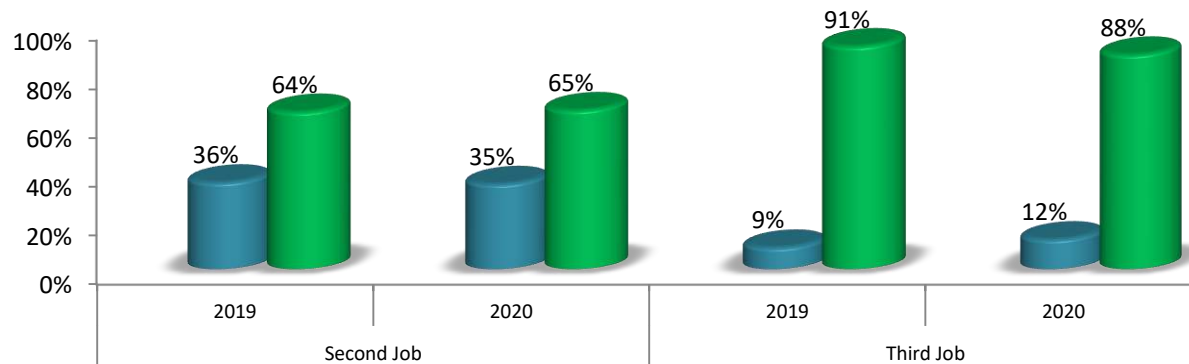


Primary Job Location - "Other" Comments

Work from home
Wolcott
Varies
Rental property
Palo Alto CA
Outside CO
Online
NY
Minneapolis/home
London
I work remotely for IBM; so work in Minturn but not for town/community
Home
Fairfax, VA
Eagle Vail
Eagle Vail
Denver/Weld County
Denver
Denver
Denver
Denver
Bookkeeping from home.
Beaver Creek
All over the world
All of the above
All of EC
2nd residence, out of town

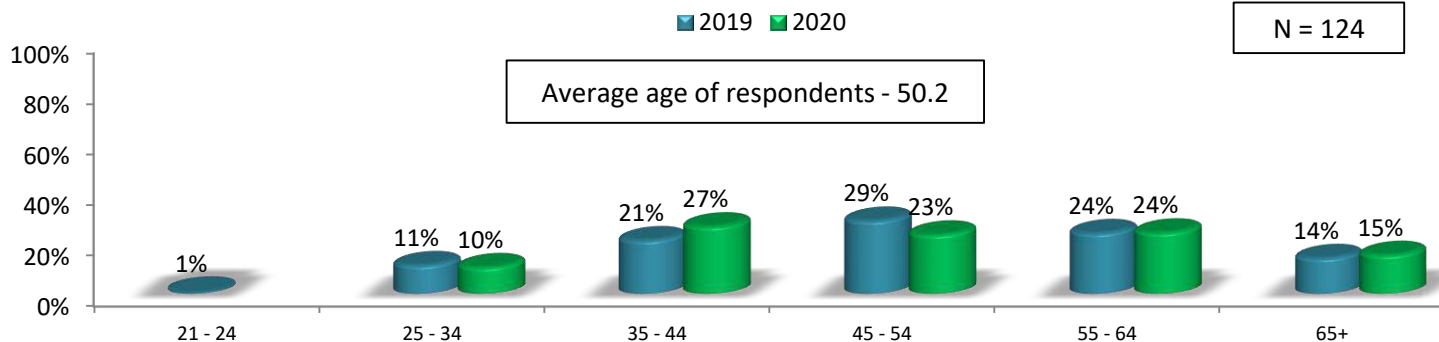
Additional Employment

■ Yes ■ No

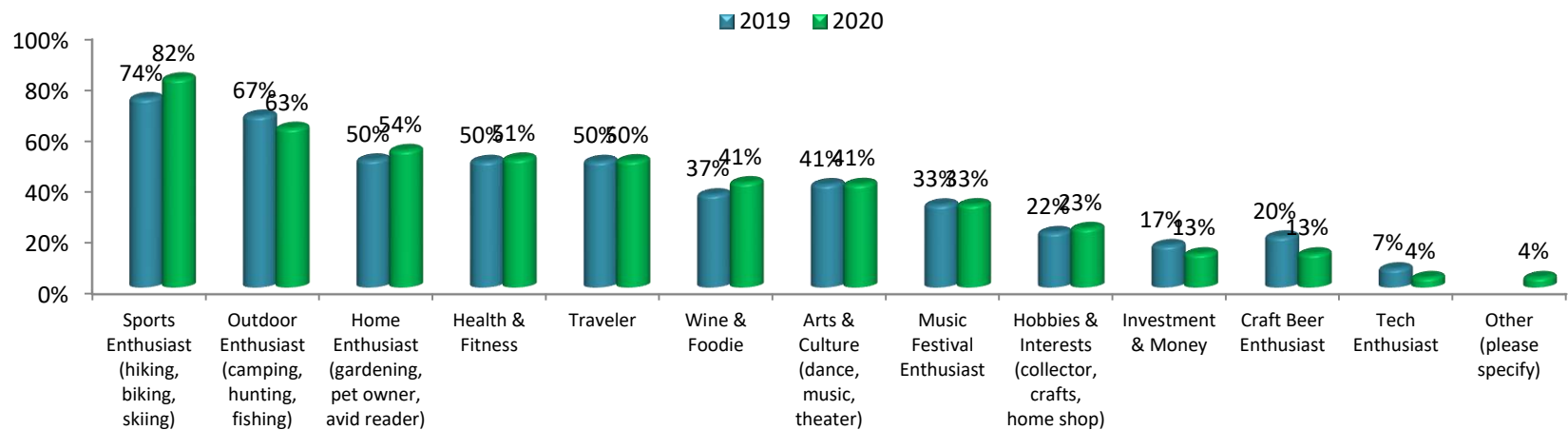


Demographics

Age Categories



Lifestyle Categories (Multiple Response)



Suggestions/Recommendations



Suggestions/Recommendations

Final Suggestions and Recommendations

- With your water rates too high we will not water our lawns. All residents and tourists will see is a brown town. With the new rates we are paying twice for water. 1st - Base 2nd - Every drop we use
- Why do cars continue to drive over the speed limit through Minturn. Can the Sheriff's dept. please figure this out. It is very insulting. Have them double the fines.
- We must have a bus stop at cemetery road. It makes no sense to have a bus stop on one side of the highway and not the other.
- Unfriendly dogs off leash, not in voice control at Little Beach, downtown etc.
- Try and stop all development in Minturn if possible. I don't want it to be another Avon or Edwards.
- Treat all locals fairly and the same. Listen when they talk.
- This town is extremely small. I'm having a hard time understanding why workforce housing is so important. We CAN NOT fit here. If there is some open space you would just absolutely have to fill up, put stores or light commercial to bring business to the town. Push for buses to get that business in and out of town. If the economy does not support such buildings at the time, then wait. Why is it that the petty or violent crime of bringing in so many people doesn't seem to be a factor when having these thoughts. We need long term thinking about the people that do live here, can live here or are going to live here. Not those who WANT to live here. Or those who are going to live here short term, buy and sell their house make their money and move on. Making changes to suit them while they are here and leave the then locals to pick up where they never wanted to be left off. I am all for those moving in and out to make some great cash, that's fine. Let's not have those same people making decisions that will leave a less than ideal situation for whomever is staying. Most of the long term locals are families that have been here for generations. We all understand change is going to happen. But those who are here because their past and heart are here, should be able to feel comfortable that their future can be also. Even when they themselves are not. Thank you for your service. Keep at it and keep us informed. As in everything, make good decisions!
- The Town should have been extremely more supportive of the Minturn homeowners who endured the sidewalk & road projects this past year. The sidewalk project was a disaster and now many homeowners have been left with incomplete and destroyed yards and driveways. The Town just gave us the run around of who to contact. The entire sidewalk project was so poorly supervised and handled. The Town must have direct and supportive communication with CDOT & ACC the GC, on behalf of the homeowners and residents! We have another summer ahead with their mess they need to come back and clean up. This past year was the worse summer in the history of Minturn!
- The more I read about the housing crisis and witness how housing has very direct impacts on local economies, our quality of life and community values throughout our town, this county, Colorado and many, many other places throughout our broader world, I have to say that I am concerned. We have spent an enormous amount of energy with Article 16 and the efforts have been fruitful. I just wonder if the building codes serve us as we need to be served. Do they encourage a more diverse, dense and useful community of buildings that drives economic factors that could better serve our community's needs? I know everyone has worked very hard to do the right thing with our new regulations. And I do not want to seem critical or offensive to anyone at all. I sincerely respect and appreciate all of the efforts our staff and volunteers have given. I just don't want Minturn to become an over-priced bedroom community to our neighboring resorts where we have such a limited economy and/or no coffee shop! There are help wanted signs in town that tell a very important story that we all need to take heed to. Remember how The Turntable was once the main gathering place for neighbors of all demographics to commune? These types of places make for the small-town community and character of all ages! We have lost businesses in this town because we do not have housing for employees. Please understand that this is critical. I sincerely believe the building code regulations are a key component in managing our future. It is through building regulations that affordability and market forces can work together. Affordable housing brings employees that serve all of our needs. I've heard people express their fears of overcrowding, a desire to keep development out, and that density is a bad thing. I am concerned that the NIMBY approach will deplete our quality of life in this valley. We may not have enough data from economics experts who could alert and guide us to information that could help us make
- Thanks for keeping Minturn weird
- Thank you for your efforts to gather community input to make big decisions for our community. It means a lot! Will the results be public? Again, thank you for all that you do. We know there have been some big issues in recent time that are not easy to solve, and we appreciate the time and thoughtfulness in finding a solution to them!!!
- THANK YOU for asking our opinions - ya'll are doing a GREAT job!!
- Support the local arts community!
- Support slow gradual growth, the town does not need to double in size.
- Snow removal needs to be a priority 7 days a week. No plowing on weekends eliminates parking and businesses suffer. There are plenty of private plow operators in town that could easily be contracted to be on-call if public works can't adjust their schedule to cover all week. The construction situation late summer was absurd. The work was done in a rush and is poor quality. My driveway is destroyed and come spring is going to be a nightmare. The asphalt was torn up but not replaced when they poured the concrete. With a partially dirt driveway now, water/mud is going to seep up under the brand new concrete and ruin it. Unfortunately, I'm a renter and the owners don't care so it will not get fixed.
- Sledding Hill is a GREAT idea! Also the skate park and bike park too, thank you.
- Sad see closed store fronts and restaurants. I understand that businesses need to close for the offseason but there are several locations that are always closed. When asked where to get breakfast in Town. Many times this year, we had to recommend outside of town. Turntable never open, now gone. Sunrise open only when they feel like it and unfriendly when they are.
- Respect as a mutual concept.
- Relax the building codes and height restrictions for 100 block of main to encourage a viable fun walkable downtown and quit bring up the supposed "parking problem" that doesn't truly exist
- Reclaim MFC. We have invested in a big commitment we cannot use.
- Put the community back into government
- Plowing could be improved. It is unfortunate that all these major snowstorms seem to hit on a Thursday night, after plowing and we have to wait till Monday. Obviously you can't control the weather. Perhaps not plowing on low snow days M-Th and saving those work-hours for bad snow days on the weekend? The Minturn Market leads to tourists parking on the road and blocking citizen's driveways. Maybe better signage could help- not sure if people understand that the Turntable Parking lot is huge and right next to the market.
- Plow when it snows.
- Please: new sidewalks throughout town; get electric power lines underground (we look like a 3rd World Country+it's not safe for operating around them); slow-down the highway traffic(!); get the neighbors to clean up their yards & be proud of where we live. :)

Suggestions/Recommendations

Final Suggestions and Recommendations

- Please get a speed indicating sign for the south/east end of town.
- Please control growth. Keep Minturn a small town. Make Minturn a Food Destination. Apply for grants to entice a visiting chef program.
- Parking is a big issue. It should be kept in better condition. The Turntable parking lot is awful. Bad signage too. There's going to be a bad accident ☹️ the road design is awful and should have never been changed. Dangerous welcome to come to Minturn
- On the public parking item - it would be great to more fully utilize existing town parking options through refurbishment efforts, signage, promotion, etc. Do we even need more parking? Meaningful addition of public parking only necessary if we actually need more for guests to more easily visit town/economic impact. I'd rather see parking infrastructure \$ spent to pursue better bus connectivity to Vail and Avon to and from Minturn, bike path to Dowd Junction, and the illusive access to Valley wide train service on the UPRR tracks, maybe all the way from Leadville to Glenwood!?
- Must grow to lower cost of water or give up water treatment altogether.
- Minturn needs to work with the fitness center to get extended hours
- Minturn needs to be open or appear to be more open to visitors in terms of having businesses that are open and remain open. Our hotel accommodations like the Eagle River Inn are jaded and don't bring in revenue. We need a small market like Natural Grocers to make the Town sustainable on it's own. Downtown businesses are pushed out by uncontrolled rent, art galleries, restaurants, etc. Minturn Market pushed out it's farmers to have an "artisan market" among other businesses because they were not posh enough. Thai kitchen, Magustos and to a faded degree Minturn Country Club are the main staples, and Kirby's. The north parking lot near the Turntable is not inviting and does not feel safe.
- Minturn is on the verge of some major growth. We are tasked with making sure history looks back on us with favor. We need to make sure the new projects in town are a benefit to the community. It is very important to preserve the downtown feel to Minturn. Turning the 100 block into a Riverwalk will be the death of downtown. People come to Minturn for the taste of the old west.
- Minturn is heading in the right direction: road and sidewalk improvements, pushing community events and recreation, and allowing further development. It will be important to find the balance of maintaining the small town character, but also keeping an open mind to new business and development opportunities. We need to expand tax revenue base for further maintenance projects, especially for the water system. The water costs in our town are atrociously high. I am a South Minturn resident (thus my bias) and would like to see a sidewalk extended to the Boneyard - at least on one side of the highway. A lot of kids live in South Minturn beyond where the sidewalk project ended, especially on Mountain Dr, and walking along the road remains a huge danger. Drivers also speed up dramatically once they get past the sidewalk areas.
- Minturn has a special place in Colorado History. The Homestake Valley used to be the most populous place in the State and Minturn supplied it. It was the gateway to Camp Hale. It's railroad history is very rich. The latter half of the 20th century were not good for the town and should not be a period to dwell upon.
- Main independence, autonomy for the Town. Stay in tune and engaged in the Eagle County regional community. Remember a lot of little steps are needed to achieve almost anything.
- Love this community - the only reason I see myself leaving the area is because of my desire to have a single family home with more land (looking at Leadville).
- Let us remember our Children! Pretty much everything oriented to 21+ group. Our teens are going to Edwards, Vail, and Avon...even the SSA at Maloit Park & MFC are not oriented to most Minturn youth.
- Keep up the great work!
- Keep the major development from happening
- Keep Minturn a small town with small-town values. Don't make it another Vail.
- Keep Minturn a small mountain community. Do not develop and spoil it's beauty or character. Think long term, not short solutions.
- It's important that the parking in front of businesses is kept clear of snow. Also, tell CDOT's plows to slow down. Today a plow driver flew by at probably 40 mph and covered my hanging sign, building, windows, and steps with slush. If they drive slower it won't spray 10 feet into the air.
- It isn't the town's job to fix the employee housing issue or the senior housing issue or the higher education issue or a work out facility for VSSA. It is the town's job to fix the sidewalks, fix the roads and provide police and fire protection. Once the sidewalks, pedestrian walkways, roads and gutters are fixed and the town has proven itself in those basic government services THEN and only THEN should it try to get involved in more complicated matters that require even MORE expertise and perhaps none of the town's business to begin with.
- It is imperative that the quality of life and considerations of locals are maintained as the inevitable development occurs. If the long term locals leave due to adverse congestion, traffic, costs, diminished sense of community related to development, then Minturn will just become a offshoot of Vail with all 2nd homeowners and no heart. I live this town and want to be here my whole life, but if infrastructure improvement does not precede development, it will lead to a variety of negative impacts on residents.
- Infrastructure! I am super worried about our water and sewer lines. They are old and not well thought out and costing residents lots of money. Can we fix these?
- I'd love to see more community dinners and block parties.
- I was slightly disturbed after watching the December town council meeting and hearing more about the proposed new development than the water issue facing the town. As a property owner in Minturn I feel that the H2O issue should be front and center as I have heard from a local developer that the situation is nearing dire. Few things could sink a town and hence property values faster than lack of quality water supply, or poor planning around future water supply.
- I think the town government has encourage an "us versus them" attitude regarding residents with more financial resources. Somehow instead of being seen as contributing to the beautification and tax basis for the town we are ostracized and seen as interlopers. The construction demands placed on the Enclave during the recent issues added significantly to the cost of the construction and seemed punitive. The town government has doing nothing to represent the condo owners. The town government has done nothing to improve property values and in fact has vetoed anything that would improve property values. There is so much fear and disdain for progress on the part of the government. It has handicapped all growth and improvement.

Suggestions/Recommendations

Final Suggestions and Recommendations

- I think a small deli/grocery with a lot of homemade prepared foods (i.e.. chicken salads, tuna salad, egg salad, meatloaf, soups, meats and cheeses for all kinds of sandwich options (hot & cold), vegan/gluten free options, eat in/carry out) is desperately needed for locals and those passing thru on their way home. Maybe the prepared foods could be locally sourced?
- I really feel that our town is listening to the community on it's wishes not to have huge developments come to town. We already face traffic issues with Leadville commuters and to add to this with potential school district development and Battle Mountain would make the issues worse. Personally, I love Minturn just how it is. We have great summer concerts, summer markets and so much access to outdoor recreation. I feel so lucky and blessed to have lived here for almost 2 decades. Would the town ever consider working with the Eagle County Historical society to build a historical museum-maybe in the old railroad depot. Durango has a wonderful historical museum in their depot and I feel like something like this could really bring in day tourists. Just a thought....
- I live here for the small and quiet local friendly town. Please do not push for development so hard. Minturn will be just fine if we take care of the infrastructure to support the current residents and businesses and stay small. You can't get what we have back once its overdeveloped.
- I have lived in Minturn for over 40 years and raised a family here. I have seen many changes and for the most part to me they are welcome. The one thing I do not like is the number of second homes and rentals as it limits the residents having ownership of our community. The Air B and B rentals make a huge impact on neighbors in areas of limited parking. I am please with the new sidewalks in town and feel they have made a very obvious improvement at the south end. Looking forward to that being extended. Biking through town needs to be single file, especially the downtown.
- I have been a Minturn resident since 2001. We have such an amazing proximity to our ski resorts as well as the opportunity to be a real attraction to both day/night tourists as well as destination travelers. This town needs to be more progressive to allow for building a better community as well as bringing in more income through business. It appears the town is too hard headed to actually get anything done.
- I feel we are going to feel the effects of the Crave development, it would be nice if we could work with them in order to benefit from their development. And others like them.
- I feel some of the questions are a little confusing. I support the proposed bike park by Little Beach.
- I do not like the renovated corner by the Saloon and inability to pull into the Minturn Country Club and Magustos. There needs to be a recycling facility.
- I don't think we need more sidewalks or bike paths on the south end of town after seeing the snow accumulation and snow removal problems that we've seen with our new construction projects. Highway 24 narrows and becomes dangerous in winter both directions.
- Has the Town considered soliciting someone from the Hispanic-American community to serve on Council? This would help provide a voice in the community where there currently is not representation.
- Grocery at Dowd for increased tax revenue. Better snow removal. Keep large development out of the town core - Taylor and Bolts are the capstones of the community. This Town cannot sustain that amount of density in those locations.
- Great community and Town. We need to find what we want to be when we grow up. We are not properly leveraging our biggest asset which, I believe, is our location between two world resorts. We need to figure out how to insure the long term fiscal survival of our town and not try to solve the housing problem of our neighboring very prosperous towns which is not necessarily in our long term financial benefit. We are in a different positions than they are.
- Glad to be a part of such a charming town. Glad my business can be a contributor to the town in any way (including taxes😊)
- Get the dogs on a leach!! Too many bad encounters with dogs when out hiking with our dog, who is on a leach!.. More people, more dogs. Seems like folks bring their dogs to Minturn BECAUSE they think it's okay to let them off leach ,when they're NOT under voice control!!! Not safe for dogs, adults or, children.
- Don't let big development in town.
- Doing a great job - thanks
- Control growth in town to infill.....get the Battle Mountain group out of town permanently. Protect downtown at all costs....do not let the developer ruin our town.
- Clean up the north end of town. The rail yard looks like a concentration camp
- Clean up the area around the old turntable. It's dirty and unsafe.
- Catch-up on road maintenance but otherwise let it be! The town is better off without meddling. Don't screw-up the laid-back small town feel
- Bike trail from Dowd junction to Maloit park is critical to safety as well as sidewalks, this will enhance residents and visitors. more public transportation is needed as well
- Bike path not on hwy 24. Solar farm
- Although we are getting some 2nd homeowners it's great that many sales are going to local families. Air b and b's are definitely becoming a problem. Worse than 2nd homeowners!! Mixing business development among current homes is unfair to residents. Shooting range is a disaster waiting to happen. Burning down for a very small group! Love that the council protected our water over development. Hwy 24 is too crowded already. To add large development on south end would drastically reduce quality of life for current residents.

End of Report





To: Mayor and Council
From: Michelle Metteer
Date: April 1, 2020
Agenda Item: Emergency Funding Requests

REQUEST:

The Eagle Valley Community Foundation has requested \$15,000 toward support of a local food bank.

INTRODUCTION:

Almost all aspects of daily life have been affected by the impacts of COVID-19 and the corresponding emergency response efforts. The Eagle County and Minturn communities have been hard hit from both a health and economic standpoint. With unemployment increasing and few businesses operating, the strain on residents and businesses is building.

The Eagle Valley Community Foundation has submitted a request for funding as part of their emergency response efforts.

ANALYSIS:

The impacts of COVID-19 are evolving (and growing). Residents and businesses alike are struggling during this unprecedented time. A world-wide pandemic is forcing adjustments in all aspects of daily life and the social, health and financial impacts are still unfolding but expected to be significant.

COMMUNITY INPUT:

Critical

BUDGET / STAFF IMPACT:

TbD

STRATEGIC PLAN ALIGNMENT:

Providing support to residents and organizations in a time of national, state, county and municipal emergency aligns with Minturn's Strategic Plan in the following ways:

ADVANCE DECISIONS/PROJECTS/INITIATIVES THAT EXPAND FUTURE OPPORTUNITY AND VIABILITY FOR MINTURN

PRACTICE FAIR, TRANSPARENT AND COMMUNICATIVE LOCAL GOVERNMENT

SUSTAIN AND INVEST IN THE THINGS THAT DEFINE MINTURN AS A PROUD, STURDY MOUNTAIN TOWN TO "KEEP MINTURN MINTURN"

RECOMMENDED ACTION OR PROPOSED MOTION:

Council to provide direction for policy guidelines pertaining to community funding.

Create an ad-Hoc committee of two Council members and staff for the purposes of reviewing anticipated budget projections under a variety of revenue loss scenarios to determine Minturn's capacity for community contributions, if any, and create a process through which potential funds can be distributed. Minturn's approved budget will undoubtedly be affected by this pandemic and fiscal responsibility needs to be considered in all future funding decisions.

Staff recommends any funding approvals be tabled until AFTER the above steps have been accomplished.

ATTACHMENTS:

- Eagle Valley Community Foundation Request
- Eagle Valley Community Foundation – COVID-19 Hunger Relief Response



March 21, 2020

Dear Minturn Town Council Members:

The COVID-19 virus is having a significant impact on all residents of Minturn and Eagle River valleys, but the impact is especially hard on financially vulnerable families. In this time of crisis, the Board of Directors at the Eagle Valley Community Foundation (EVCF) is focused on hunger relief. The board has seen the increasing demand for food among vulnerable people and has developed the EVCF COVID-19 Response Plan to address this need. At the same time, EVCF has launched the EVCF COVID-19 Response Fund to raise the significant capital needed to fund the plan. We are **requesting a grant of \$50,000 from the Town of Minturn** to help feed local families in crisis. Key facts include:

- The Food Program: EVCF operates The Community Market. The Community Market serves the people of Eagle County through 1) A warehouse and market in Gypsum, 2) 6 Pop-up Markets in vulnerable neighborhoods, and 3) Partner distribution relationships with the Magic Bus, the Salvation Army (which is providing food to about 100 people per week), and several church pantries or other community programs
- What is Happening Now: The Community Market opened its doors in late 2018 and demand has grown consistently each quarter. By February 2019 the market was serving 1,050 people per week on average, but that number surged to 1,900 in the past week. We are quickly depleting both our supply of food and our financial resources, with funding in place for only about 30 days of operations at these crisis levels.
- Scope of Need: In 2019, Feeding America estimated that 8,700 people in Eagle County were food insecure. That number is increasing due to the crisis. While The Community Market is the largest food recovery and distribution program in the valley, we are addressing only a fraction of the significant and increasing need for food.
- Updated 2020 Community Market Budget: The 2020 budget for operating The Community Market did not provide for a surge in demand caused by the virus, and the program is funded by periodic donations through the year. Given the crisis and related dramatic increase in demand, the 2020 budget has been revised. **The revised budget for April – December 2020 is \$950,000.** This funding will allow The Community Market to scale up to serve 4,200 people per week, 10 pounds of food per family, at a cost of *\$6.25/person/week*. While volunteers and canned food donation are helpful in ordinary times, in this time of crisis, only significant financial support will allow this plan to be executed.
- EVCF Funding of the COVID-19 Response Fund: EVCF was established by a handful of families to address the needs of the most vulnerable local residents. Currently, 35 local families provide the majority of program funding, 13 citizens serve on the Board of Directors, and 5 residents serve as advisors. The raising of funding for pre-crisis-level food services was in process when the virus hit the valley. With the increase in demand, the cash reserves funded from normal donations have been drawn down to \$125,000 which are sufficient to operate The Community Market for only about one

more month. EVCF is reaching out to our Founding Families this week and has raised \$100,000 from four early commitments to the EVCF COVID-19 Response Fund. These major pledges have come from Ron and Lucy Davis, Jesse and Betsy Fink, Merv and Laine Lapin, and Mike and Sue Rushmore. We expect additional support from Founding Families.

- **Town of Minturn Grant Request: EVCF is requesting a grant of \$15,000 from the Town of Minturn to be provided in two installments of \$7,500 immediately, and \$7,500 in the third quarter of 2020 when we have a better idea of the need. We will be requesting grants from other local government groups as follows:**

Eagle County - \$300,000

Town of Vail - \$300,000

Beaver Creek Resort Company - \$200,000

Town of Avon - \$200,000

Town of Eagle - \$50,000

Town of Gypsum - \$50,000

The Eagle Valley Community Foundation believes it is our responsibility to work with local governments, businesses and residents to address hunger in our community. In this time of crisis, we need the financial support of the Town of Minturn as one of our capital partners helping to feed local families in need.

“Together we can do the difficult” as our local government groups did in buying the 100-acre Miller Ranch and building the Castle Peak Senior Center. We hope you will join us now to address the hunger issue in our valley.

With sincere gratitude,

Susie Davis
Director of Community Impact

Mike and Sue Rushmore
Chairman of the Board, Advisor

Merv and Laine Lapin
Directors

Tax ID #: 47-1915583. www.eaglevalleycf.org

March 19, 2020

Eagle Valley Community Foundation (Eagle Valley Food Bank) COVID-19 Hunger Relief Response

Challenge

Financially vulnerable residents of the Eagle Valley will be negatively and dramatically impacted by COVID-19. Obvious areas of impact include:

- Lost income due to unemployment among service industry employees;
- Lost access to student meals due to closed schools;
- Increased crowding in homes as entire families stay home each day
- Potentially serious illnesses.

These challenges and others will combine to cause *increased hunger* among our neighbors in the valley. The magnitude and extent of these developments are unknowable, but we expect client demand for the Community Market may increase to 300% of the current service level, and last throughout 2020.

Proposed EVCF Response

We start with the following beliefs:

- The mission of EVCF is to respond to the most critical issues facing our community;
- Access to food and reducing hunger have been the primary goals of EVCF;
- EVCF is the organization best able to respond to hunger in our community with voluntary and paid professional staff.

For these reasons, EVCF has drafted a proposed organizational approach to this crisis.

In summary, the proposal is that EVCF assume additional responsibility for supporting family food security in the valley. This expansion will involve 1) Revising our existing programs to reflect new realities, and 2) Expanding our impact by increasing the scale of our food programs.

More specifically, EVCF has developed a COVID-19 Hunger Relief Response to rapidly address increasing needs at *The Community Market*, the food warehouse and distribution services operated by EVCF.

The COVID-19 Hunger Relief Response is designed to address known or likely food-related needs in the valley. The plan reflects several constraints and realities, including:

- Capacity of the Foundation: EVCF has limited financial resources. We currently have about \$140,000 in liquidity which is in line with our previous 2020 financial plan. The 2020 plan also requires additional funding from existing Founding Families, grants and new donors. The execution of COVID-19 Hunger Relief Response requires significant new capital resources. Our current estimate is that the Plan will cost about \$950,000 to execute through 2020. The 2020 COVID-19 Hunger Relief plan is a huge financial challenge that will only be met with extraordinary community support.

ASSUMPTIONS

The COVID-19 Hunger Relief Response Plan is being drafted with the understanding that the situation is evolving rapidly, and that the Plan will likely evolve with the environment.

HEALTH AND SAFETY

The health and safety of our staff is our highest priority. Our goal is to protect our people, including clients, while executing our programs to the best of our ability.

- Changes to Community Market Food Distribution: We are modifying operations at the Community Market in the interest of the health and safety of our community. Instead of offering “choice” shopping, we are distributing bags/boxes of fresh produce and dry food through drive-up access at The Community Market warehouse in Gypsum, and at our regular mobile market locations. Customers will remain in their cars, reducing the potential spread of the virus.
- Personal Safety: Procedures for social distancing, handwashing, rigorous sanitizing and all food safety protocol is in full practice and habitually carried out by all staff. Any staff person who is ill or has a family member who is sick will not come to work.
- Social Distancing for Volunteers: The number of volunteers at The Community Market will be limited to 3 at any time. Older volunteers will be allocated remote opportunities to allow them to comply with social distance guidelines.

FOOD AVAILABILITY

We are continuing to operate The Community Market using pre-crisis hours. However, we will closely monitor the environment and operations, and be prepared to revise these existing plans as appropriate.

- Warehouse: The Community Market Gypsum warehouse is open 6 days a week.
- Mobile Markets: The 6 mobile markets operate 4 days per week according to the following schedule:

Monday: Eagle Methodist Church, 4:30-5:30 PM

Tuesday: Edwards Interfaith Chapel, 4:30-5:30 PM

Wednesday: Aspens, Eagle Bend, and Riverview (all in Avon), 4:30-5:30 PM
Thursday: Two Rivers (Dotsero), 4:30-5:30 PM

- Red Cliff: Red Cliff & Mountain Temps continue to receive food bags weekly as part of the ongoing food distribution strategy.
- Other Services: We anticipate the need to distribute food to families that may not be able to reach existing distribution points. These plans are being developed in conjunction with other organizations.

PROCURING FOOD

Before the crisis, The Community Market secured about 50% of the daily food supply by operating the Grocery Rescue Program. This program involves staff and volunteers collecting excess food from local vendors. As there is now excess demand for food from these stores, there is limited food to be rescued at this time. This supply will need to be replaced with purchased and/or donated food.

- Increased Food Purchases: We anticipate a significant reduction of grocery rescue, from 25,000 pounds per month to likely less than 10,000 pounds per month. At the same time, we expect client count to increase by as much as 300%. The Community Market will be prepared to triple the volume of food orders including fresh produce and shelf stable food. This scaling up of purchases will reflect the actual change in grocery rescue volume, as well as change in market demand.
- Increased Reliance on Food Bank of the Rockies /Related Risk: We are expecting to place larger orders for shelf-stable food from Food Bank of the Rockies (FBR). One sensitivity is that there is potential for less availability of food from FBR, and therefore The Community Market staff will continue to look for alternative food sources.
- Restaurants: With the temporary closing of some restaurants, food on site is being distributed first to employees, and secondly to The Community Market. This is a transitional source of food at the Market, and not a long-term source.

COMMUNICATIONS

With a fluid environment, and the potential for changes in our services, EVCF will prioritize communications with the staff, board of directors, other service partners, and the community. Specific draft communication plans include the following:

- Food Hotline: The foundation is evaluating alternatives to creating a hotline that would allow members of the community to ask questions about food access and the Community Market programs. This might be a “pilot” program that tests the need for such a hotline.

- Weekly Staff Meetings: Internal staff will have a weekly telephone call, or more as needed, rather than the existing protocol of a weekly in-person staff meeting. These calls will include a Spanish interpreter.
- Community Engagement: The foundation currently engages with the community using Facebook posts, email (Constant Contact as management) and in some situations, signage. Mark Wurzer, publisher of the Vail Daily and a member of the Board is assisting in this area.
- Board Communications: Susie Davis and Mike Rushmore are in regular communication with the 13 member Board.
- Crisis Response Committee of the Board: The Board has created a COVID-19 Hunger Relief Response Committee to work on budget, finance, communications and messaging I partnership with the staff.
- Partner Engagement: There is regular communication with partner organizations in the community including Vail Health, Eagle County Government, the local Salvation Army office, and our Grocery Rescue partners. These will continue over the phone.

FUNDING

The foundation is, and will continue, to develop what we believe to be smart, effective and *fiscally responsible* responses to this crisis. At the same time, we will seek to raise new and very significant funding to execute the existing and potentially expanded programs. **In the end, the level of funding will drive the extent of our program response.** To maximize the possibility of being able to execute the expanded food security program in particular, we propose the following strategies:

- New Campaign: Develop a plan for the **Eagle Valley Community Foundation COVID-19 Hunger Relief Response Fund**. This will involve a document that describes our challenges and proposed local programs. We hope that the EVCF board and friends of the board members will consider sharing the Plan with their network of locals and support the plan personally. The Vail Daily will be an important distribution source for information on this appeal.
- Expanded Grant Requests: New grant requests will be submitted to all major potential sources of funding for the *Covid-19 Response Fund*. Potential funders include but are not limited to El Pomar Foundation, Rob & Elana Katz Family Foundation, Western Colorado Community Foundation, and Colorado Health Foundation, Rocky Mountain Health Foundation and others.
- It is politically and financially important that Eagle County, the Towns of Vail, Avon, Eagle, Gypsum, and Minturn are all involved in the success of the Covid-19 Response Fund as they have the ultimate responsibility for their citizens.



To: Mayor and Council
From: Michelle Metteer
Date: April 1, 2020
Agenda Item: Water CIP Update

REQUEST:

This is an update regarding progress of the Water Capital improvements Plan as approved through Resolution in 2019.

INTRODUCTION:

Minturn has started work on action items under the “Option 2” scenario in the Water CIP. Action items are separated into categories by timeframe (phases 1-3). This Discussion item is for the purpose of providing an update on progress made toward implementing action steps from phase 1 of the Water CIP timeline.

SGM ANALYSIS:

- Eagle River Well Field – Working with Cristy Radabaugh at Martin & Wood to review the Town’s water right on the Eagle River and exploring options to modify the right. The right is for groundwater wells in a discreet area – see the attached exhibit for the location. Looking to see if we can modify the right to take surface water in lieu of groundwater (i.e. pumping) and/or change the location.
- Tank and plant siting – This will be somewhat dependent on where the Eagle River wells will be ultimately located. We are looking at siting the tank and new WTP adjacent to the existing slow sand filters. Minturn representatives talked with Eagle County school district representatives to discuss the tanks and how they are part of the school districts development plans.
- Water Quality testing – Minturn is looking to contract with a local firm to collect and manage the data.
- Leak detection system being purchased.
- Copper compliance – the OCCT memo has been completed and issued to CDPHE.
- Well 4 pipeline – We are starting the process to gather info and develop a design.

COMMUNITY INPUT:

Received through a series of public meetings over the summer/fall of 2019.

BUDGET / STAFF IMPACT:

Total budget over 10 years estimated at \$17,000,000

STRATEGIC PLAN ALIGNMENT:

Making water infrastructure improvements aligns with Minturn’s Strategic Plan in the following ways:

ADVANCE DECISIONS/PROJECTS/INITIATIVES THAT EXPAND FUTURE OPPORTUNITY AND VIABILITY FOR MINTURN

PRACTICE FAIR, TRANSPARENT AND COMMUNICATIVE LOCAL GOVERNMENT

**LONG-TERM STEWARDSHIP OF THE NATURAL BEAUTY AND HEALTH OF MINTURN'S
ENVIRONMENT**

**SUSTAIN AND INVEST IN THE THINGS THAT DEFINE MINTURN AS A PROUD, STURDY
MOUNTAIN TOWN TO "KEEP MINTURN MINTURN"**

RECOMMENDED ACTION OR PROPOSED MOTION:

N/A

ATTACHMENTS:

- Minturn Water Capital Improvement Plan
- Tank Site Analysis
- Water Quality Data Collection Memo

WATER SYSTEM CAPITAL IMPROVEMENT PLAN

TOWN OF MINTURN



September 30, 2019

Prepared by



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WATER SYSTEM CAPITAL IMPROVEMENT PLAN

TOWN OF MINTURN

PREPARED BY

RYAN GORDON, PE

SGM Project # 2017-258.005

Contents

0.0 Executive Summary	0-1
1.0 Introduction	1-1
1.1 Document Scope and Purpose	1-1
2.0 Water Demand Analysis and Supply Comparison	2-2
2.1 Historical Connected SFEs	2-2
2.2 Historical Water Production	2-2
2.3 Unit Water Production Requirements	2-4
2.4 Development Projections	2-4
2.5 Current and Projected Future Water Production Needs	2-5
2.6 Sources of Water	2-6
2.6.1 Water Reliability and Redundancy	2-7
3.0 Raw Water Improvement Projects	3-7
3.1 Raw Water Screening Improvements	3-8
3.2 Well 4 Pipeline Improvements	3-8
3.3 Eagle River Wells	3-8
4.0 Water Treatment Plant Analysis	4-10
4.1 WTP Background Information	4-10
4.1.1 Existing Water Facilities	4-10
4.1.2 Existing WTP Unit Processes	4-10
4.2 WTP Improvements	4-12
4.2.1 WTP Process Upgrade Alternatives Summary	4-13
4.2.2 Clearwell Repairs	4-14
4.2.3 Water Treatment Plant Improvements Summary	4-14
5.0 Water Distribution System Analysis	5-15
5.1 Water Storage	5-15
5.1.1 Minturn Water Tank Inspection and Evaluation	5-15
5.1.2 Evaluation of Tank Replacement Options	5-15
5.1.3 Water Storage Analysis – Volume	5-22
5.2 Fire Flow Delivery	5-24
5.2.1 Fire Flow Analysis Criteria	5-24

5.2.2	Fire Flow Results and Recommendations	5-24
5.3	Velocity	5-26
5.3.1	Velocity Analysis Criteria	5-26
5.3.2	Velocity Results and Recommendations	5-26
5.4	Pressure	5-26
5.4.1	Pressure Analysis Criteria	5-26
5.4.2	Pressure Analysis Results and Recommendations	5-27
5.5	Redundancy	5-27
5.5.1	Redundancy Analysis Criteria	5-27
5.5.2	Redundancy Analysis Results and Recommendations	5-27
5.6	Water Loss Management	5-29
5.7	Water Main Line Replacement	5-29
5.8	Water Distribution System Improvements Summary	5-30
6.0	Recommended Improvements Summary	6-31

List of Tables

Table 1 Recent Annual Average SFEs	2-2
Table 2 Historical Water Produced (2014-2018)	2-4
Table 3 Development Summary	2-5
Table 4 – Overall Water Demands	2-5
Table 5 - Town Service Area Water Demands	2-5
Table 6 - Maloit Park Service Area Demands	2-6
Table 7 Raw Water System Improvements Summary	3-9
Table 8 Slow Sand Filter Hydraulic Loading Rates	4-11
Table 9 Water Treatment Plant Improvements Summary	4-14
Table 10 Tank Advantages and Disadvantages	5-17
Table 11 Tank Unit Costs	5-18
Table 12 Welded Tank Maintenance Costs	5-19
Table 13 Concrete Tank Maintenance Costs	5-20
Table 14 Tank Lifecycle Costs	5-21
Table 15 Existing Water Storage Analysis	5-23
Table 16 Future Water Storage Analysis	5-23
Table 17 Fire Flow Required by Zone	5-23
Table 18 Water Distribution System Improvements Summary	5-30
Table 19 Recommended Water System Improvements – Option 1	6-32
Table 20 Recommended Capital Improvements Projects - Option 2	6-33

List of Figures

Figure 1 Historical Monthly WTP Production	2-3
Figure 2 Minturn Raw Water System Schematic	2-7
Figure 3 - Well 4 Pipeline	3-8
Figure 4 - Eagle River Wells and Pipeline	3-9
Figure 5 - 4 th Avenue Loop Line	5-25
Figure 6 - Bellm Bridge Pipeline	5-28
Figure 7 - Town and Maloit Park Service Area Interconnect	5-29

0.0 Executive Summary

Supply and Demand

The Town's potable water production requirements have been steady over the past 10 years, or so. The Town is at a crossroads and has limited ability to serve additional demand with current water resources and treatment capacity. Additionally, the Town relies solely Cross Creek as their water supply.

Raw Water System

The Town maintains the ability to divert raw water from Cross Creek and groundwater from Wells 3 and 4. This plan identifies a number of projects to address multiple raw water system challenges and develop additional raw water sources.

- **Conveyance Pipelines.** As a result of the configuration of the Well 4 pipeline, the Town is limited in how Well 4 water is used and is not in compliance with the CDPHE. The reconfiguration of this pipeline will allow the Town to resolve compliance issues and more effectively use their groundwater resources.
- **Redundancy.** The Town does not have a redundant water source and if Cross Creek was impaired for some reason it would possibly be challenging for the Town to meet the water demand. Furthermore, the amount of water the Town can get from Cross Creek limits the amount of growth the Town can accommodate. By developing the Town's water rights on the Eagle River the Town can secure a secondary water source and additional physical supply.

Water Treatment Plant

The Town's water plant struggles to meet CDPHE regulations during spring runoff and is limited in the quantity of treated water it can produce. While currently able to meet demand, future demand will strain the plant, additionally, the plant may not be able to produce water if the raw water source changes.

- **Filtration.** The Town utilizes slow sand filtration which is a biological process and is difficult to control and is not adaptable to changing circumstances. Rehabilitation of the filters carries significant risk that the effort will not solve the issues at the plant. SGM recommends that the Town upgrade the filtration process to membrane filters which will allow the Town to utilize and adapt to different raw water sources and increase water production rates while maintaining high quality potable water.

Distribution System

The Town maintains 2 water tanks and approximately 7 miles of distribution piping.

- **Water Storage.** Evaluation of the Town's water storage indicates that the system is in need of significant attention. The Maloit Park Tank is currently undersized and does not meet the fireflow storage requirements and needs to be expanded to meet fireflow and

future development needs. The Minturn Tank, while currently sized adequately, is nearing the end of its useful life, is leaking and needs to be replaced.

- **Water Mains.** The Town's system is aging, water leaks have been a persistent problem and a replacement program have not been implemented to keep the system in good shape. To address the situation, the Town needs to implement a main replacement program that will systematically replace mains.
- **Redundancy.** This report includes recommendations to improve redundancy within the distribution system in order to increase water service reliability. These projects include connecting the Town Service area and the Maloit Service area.
- **Water Loss.** Beyond the water main replacement program, the Town should invest in a water loss detection system to effectively locate leaks that might be on the service lines or identify leaks that are not visible at the surface.

A prioritized summary of all of the recommended projects with estimated costs is provided in **Chapter 6**.

1.0 Introduction

1.1 Document Scope and Purpose

The Town of Minturn is a historic mining and railroad town incorporated in 1904. The Town owns and operates a potable water system to provide treated water to approximately 1,100 residents.

Previous water system planning studies include:

- 2009 Town of Minturn Water Master Plan

In 2017, the Town of Minturn selected SGM to be its water infrastructure engineer. In 2019, Minturn initiated this Water System Capital Improvement Plan project.

This document is not an evaluation of water availability or the Towns' water rights. This plan identifies and prioritizes critical water system capital improvement projects. The plan is intended to guide decision-making for the next 10 years as well as provide a basis for evaluating the suitability of Minturn's existing rates and fees and identifying many needed changes.

This document captures the results and recommendations compiled through a system-wide analysis. For this reason, design and cost estimates associated with each project are considered planning-level only. SGM advises Minturn to establish annual budgeting values for recommended projects it wishes to implement by initiating design in the year prior.

This document identifies projects based on the following:

- Existing and known upcoming regulatory requirements.
- Industry standards and/or AWWA recommendations.
- Staff-identified challenges.
- Water distribution system hydraulic modeling results.
- Anticipated development and projected demand associated with that development.
- Engineering judgement.

2.0 Water Demand Analysis and Supply Comparison

Chapter 2 presents historical and projected development and water demands and summarizes water sources and recommended improvements. Water demands are compared to existing water production capacity to verify that upcoming demands can be met.

2.1 Historical Connected SFEs

Minturn assigns Single Family Equivalents Equivalent Residential Units (SFEs) to its customers. Eagle River Water and Sanitation District (ERWSD) handles the billing for the Town and we are relying on ERWSD records for SFE counts. For water system planning, trends in the annual average number of SFEs are of most interest. SGM determined the average annual connected SFEs in Minturn's system by examining monthly billing records. Monthly billing records were obtained from Eagle River Water and Sanitation District (ERWSD). **Table 1** provides a summary of the historically connected SFEs for a recent 5-year period. Because the Town's water delivery system splits after the water treatment plant, we have made the distinction throughout this report between the "Maloit Park Service Area" and the "Town Service Area". Currently, there are approximately a total of 730 SFEs served by Minturn; 35.6 SFEs in the Maloit Park Service Area and 693 SFEs in the Town Service Area.

Table 1 Recent Annual Average SFEs

	Average Single-Family Equivalents					
	2014	2015	2016	2017	2018	5-Year Average
Town Service Area						
Commercial	83.8	84.9	84.9	84.5	87.7	104.8
Mixed Use	95.7	95.7	95.4	95.2	94.9	95.4
Residential	509	509.1	509.8	514.2	510.5	526.5
TOTAL	688.5	689.7	690.1	694	693	691
Maloit Park Service Area						
Commercial	15.5	20.6	20.6	20.6	20.6	19.6
Residential	16	16	16	17	15	16
TOTAL	31.5	36.6	36.6	37.6	35.6	35.6
Total						
Commercial	99.3	105.5	105.5	105.1	108.3	104.7
Mixed Use	95.7	95.7	95.4	95.2	94.9	95.4
Residential	525	525.1	525.8	531.2	525.5	526.5
TOTAL	720	726.3	726.7	731.5	728.7	726.6

2.2 Historical Water Production

Table 2 shows the monthly and total annual produced water volume for a recent five-year period. **Figure 1** graphically depicts the monthly data which has been recorded from the Town's master meters for each service area.

As with many water utilities, water production peaks in summer months when outdoor irrigation occurs. Peak day to average day production ratios for the Town Service Area

range from 2.0 to 3.0 for the period, which is within the range of normal peaking factors for other communities in which potable water is used for irrigation.

Peak day to average day production ratios for the Maloit Park Service Area range from 2.73 to 5.8 which are above the normal range, however, the ratios exceeded the norm in 2017 and 2018 which coincide with batching water due to challenges meeting disinfection requirements.

Figure 1 Historical Monthly WTP Production

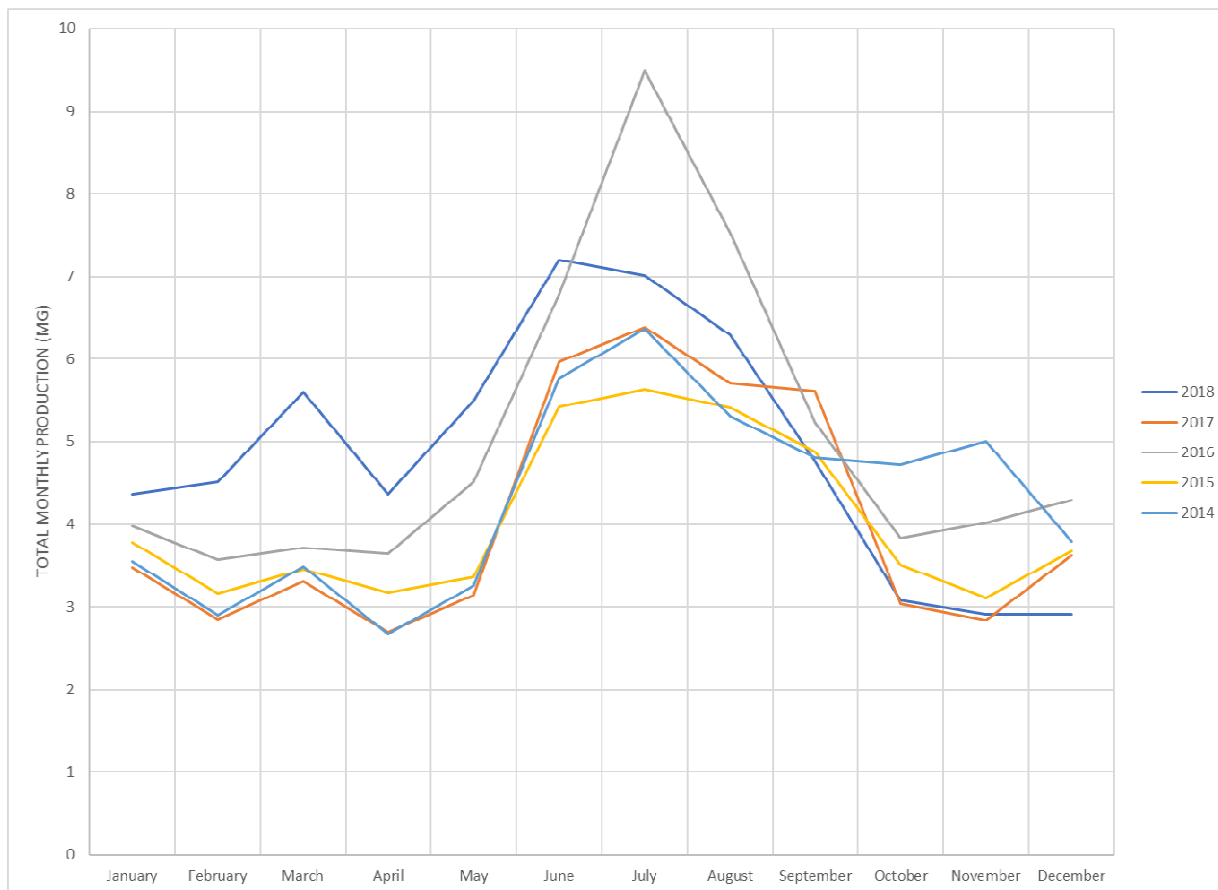


Table 2 Historical Water Produced (2014-2018)

Month	Total Produced Water (MG)									
	2014		2015		2016		2017		2018	
	Town Service Area	Maloit Service Area	Town Service Area	Maloit Service Area	Town Service Area	Maloit Service Area	Town Service Area	Maloit Service Area	Town Service Area	Maloit Service Area
January	4.63	0.12	3.63	0.14	3.87	0.11	3.38	0.09	4.27	0.09
February	2.78	0.13	3.05	0.12	3.47	0.09	2.77	0.08	4.42	0.09
March	3.34	0.14	3.28	0.17	3.60	0.12	3.22	0.09	5.50	0.10
April	2.54	0.12	3.02	0.16	3.55	0.09	2.62	0.08	4.26	0.10
May	3.10	0.16	3.12	0.24	4.38	0.14	3.00	0.14	5.36	0.14
June	5.57	0.20	5.12	0.31	6.60	0.18	5.77	0.19	6.98	0.22
July	6.14	0.23	5.20	0.42	9.31	0.18	6.22	0.17	6.81	0.21
August	5.09	0.21	4.91	0.50	7.37	0.16	5.56	0.14	6.14	0.16
September	4.60	0.21	4.36	0.52	5.10	0.13	5.47	0.13	4.59	0.16
October	4.56	0.16	3.31	0.20	3.71	0.11	2.93	0.11	2.92	0.16
November	4.86	0.14	2.99	0.12	3.93	0.09	2.74	0.10	2.72	0.19
December	3.66	0.13	3.52	0.16	4.19	0.11	3.51	0.12	2.77	0.21
Subtotal	50.87	1.95	45.51	3.05	59.08	1.52	47.19	1.44	56.75	1.83
Total	52.83		48.57		60.61		48.63		58.58	
Daily Production Statistics										
Peak Day (MGD)	0.278	0.019	0.285	0.023	0.367	0.014	0.395	0.023	0.368	0.022
Average Day (MGD)	0.139	0.005	0.125	0.008	0.161	0.004	0.129	0.004	0.156	0.005
Ratio	2.00	3.55	2.29	2.73	2.28	3.38	3.05	5.80	2.36	4.33

2.3 Unit Water Production Requirements

Unit water production requirements are defined as the daily volume of water the Town's treatment plant and wells need to produce to meet the demand of one (1) SFE of new development. SGM established the following recommended planning values based on current unit consumption rates in Minturn and other high-mountain communities as well as consideration of how water use in new development might compare to that within the existing Town, the potential impacts of a warming climate, trends in non-revenue water percentage with new development, system water loss etc. The recommended unit production values for planning are:

- Winter: 180 gpd/SFE
- Average Annual: 259 gpd/SFE
- Max. Month: 427 gpd/SFE
- Max. Day: 570 gpd/SFE

2.4 Development Projections

The Town provided SGM with information regarding two growth scenarios identified in **Table 3** as "Option 1: Cross Creek Only" and "Option 2: Cross Creek plus Eagle River

Wells.” The growth scenarios are largely tied to the availability of water to support the growth. These are described below.

- *Option 1: Cross Creek Only* – Under this option the Town would continue to rely solely on Cross Creek for its water supply.
- *Option 2: Cross Creek plus Eagle River Wells* – Under this option the Town would continue to utilize Cross Creek water and also develop additional water resources on the Eagle River through a well field. This option includes moderate growth.

SGM has not evaluated if the levels of growth described below in Table 3 can be supported by the Town’s water rights portfolio and augmentation supplies.

Table 3 Development Summary

		Option 1 Cross Creek Only	Option 2 Cross Creek plus Eagle River Wells
PROPERTY	Service Area		
Infill (Comm/Res/Ind)	Town	70	330
School District	Maloit Park	120	120
	Total	190	450

2.5 Current and Projected Future Water Production Needs

Tables 4, 5, and 6 showing projected additional, existing, and total future water production needs under the growth scenarios for the Town and Maloit Park service areas and the overall water system. Future water production figures are based on planning numbers and existing water production figures are based on actual data.

Table 4 – Overall Water Demands

Additional Required Water Production (GPD)				
	SFEs	Average Daily	Max. Month	Max. Day
Option 1	190	49,210	81,100	108,300
Option 2	450	116,580	192,300	256,400
Existing Water Production Requirements (GPD)				
	SFEs	Average Daily	Max. Month	Max. Day
Existing	728	147,700	233,500	333,000
Total Future Water Production Requirements (GPD)				
	SFEs	Average Daily	Max. Month	Max. Day
Option 1	918	196,900	314,800	441,300
Option 2	1,178	264,300	425,900	589,400

Table 5 - Town Service Area Water Demands

Additional Required Water Production (GPD)				
	SFEs	Average Daily	Max. Month	Max. Day
Option 1	70	18,130	29,890	39,900
Option 2	330	85,500	141,000	188,000

	Existing Water Production Requirements (GPD)			
	SFEs	Average Daily	Max. Month	Max. Day
Existing	691	141,700	224,500	314,400
	Total Future Water Production Requirements (GPD)			
	SFEs	Average Daily	Max. Month	Max. Day
Option 1	761	159,800	254,500	354,400
Option 2	1,021	227,200	365,600	502,500

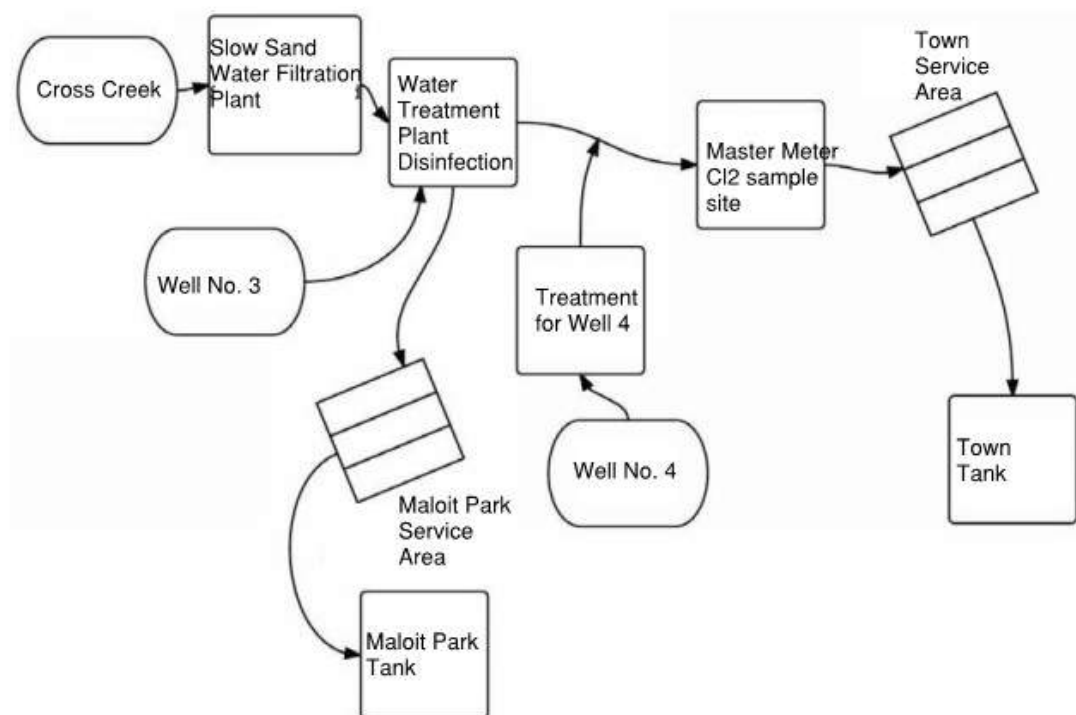
Table 6 - Maloit Park Service Area Demands

	SFEs	Average Daily	Max. Month	Max. Day
	Additional Required Water Production (GPD)			
	SFEs	Average Daily	Max. Month	Max. Day
	Existing Water Production Requirements (GPD)			
Option 1	120	31,080	51,300	68,400
Option 2	120	31,080	51,300	68,400
	SFEs	Average Daily	Max. Month	Max. Day
	Total Future Water Production Requirements (GPD)			
Existing	37	6,000	9,000	18,600
	SFEs	Average Daily	Max. Month	Max. Day
	Total Future Water Production Requirements (GPD)			
Option 1	157	37,100	60,300	87,000
Option 2	157	37,100	60,300	87,000

2.6 Sources of Water

The Town of Minturn's water supplies include surface water diverted and gravity fed from Cross Creek at a concrete diversion structure located approximately 1,600 feet upstream of the treatment plant in a 12-inch cast iron raw water pipeline.

The Town also has two groundwater wells (Well 3 and Well 4). Well 3 pumps water directly to the plant clearwell through a 4-inch pipeline. Well 4 waterline is connected to the existing transmission line from the plant to the town. This configuration does not meet CDPHE disinfection requirements and Well 4 has been classified as an emergency water supply until the Town can resolve and satisfy CDPHE disinfection requirements. **Figure 2** shows a schematic of the Town's current water system.

Figure 2 Minturn Raw Water System Schematic

2.6.1 Water Reliability and Redundancy

Currently the Town relies solely on Cross Creek and the groundwater wells for its water. Relying on a single water source carries risks to the Town in the event that Cross Creek water is limited either through low flow/drought conditions or the water quality is degraded through an event such as a forest fire or contaminated by a pollutant. It is advisable that the Town secure a secondary/redundant water source to be able to provide water to the Town if the primary water source is not available.

There are two options for a redundant water source as identified by the Town and their consultants and as presented to Council in September 2018; either develop the Town's existing Eagle River water rights or construct an interconnection to the ERWSD system. Developing the Eagle River water rights is presented in the next section. The infrastructure for interconnect with ERWSD is not analyzed in this document because future infrastructure is presumably to be provided by the future development.

3.0 Raw Water Improvement Projects

This plan includes three recommended projects to improve the raw water system. **Table 7** provides a cost estimate and proposed timing. A summary of the project is as follows.

3.1 Raw Water Screening Improvements

The existing inlet structure has a ½"x½" coarse screen to keep out large debris. The current screening openings is adequate for the slow sand filtration process, however if alternative treatment is used, better screening will assist to remove debris and protect treatment equipment.

3.2 Well 4 Pipeline Improvements

Well 4 connects to the main distribution pipeline to the Town service area. As previously discussed, CDPHE has determined this configuration is not acceptable. Additionally, this configuration does not allow Well 4 water to be delivered to the Maloit Park service area.

Constructing a new pipeline from Well 4 pump head to the existing clearwell will resolve the configuration issues and allow the Town to manage its water resources more effectively, see **Figure 3**.

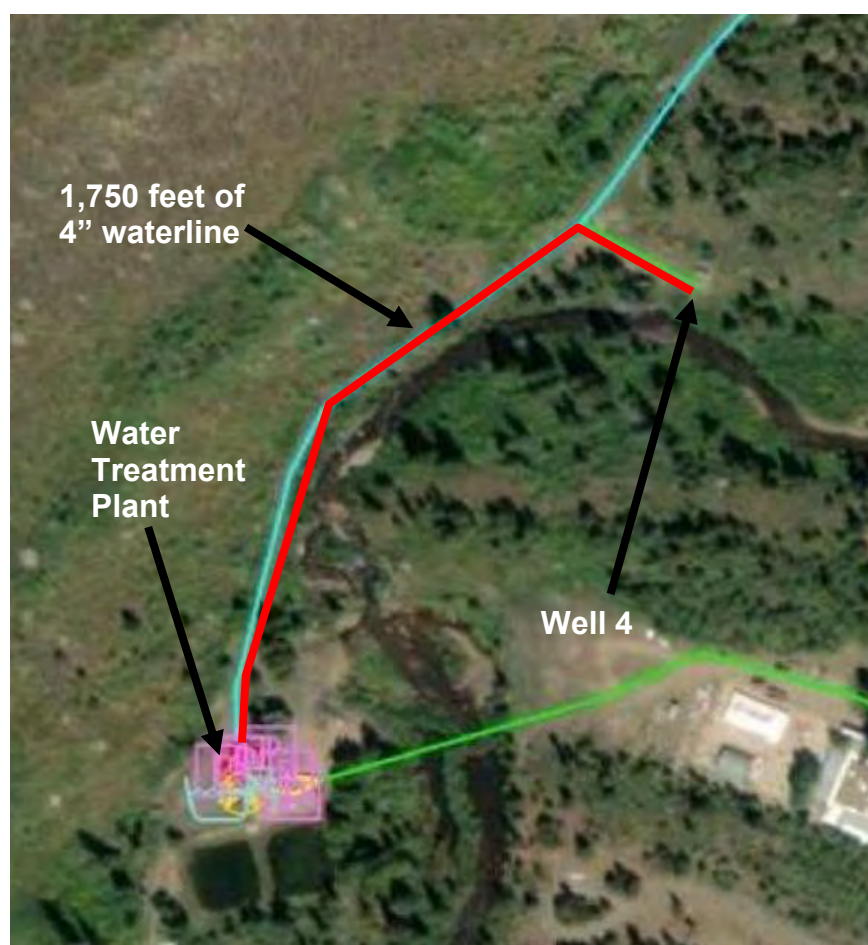


Figure 3 - Well 4 Pipeline

3.3 Eagle River Wells

Currently there is not a secondary or redundant water source available to the Town. Development of the Town's water rights on the Eagle River would provide this redundant

water supply through the development of a well field as well as provide additional water resources for future growth.

Wells would be drilled on banks of the Eagle River. Based on conversations with drilling companies, the wells would likely be drilled using a combination of air rotary and cable tool rigs. For the purpose of this CIP it is assumed that water would be pumped to the existing water treatment plant site for treatment and distribution. It is assumed that the wells would be drilled on the western bank of the Eagle River, see **Figure 4**.

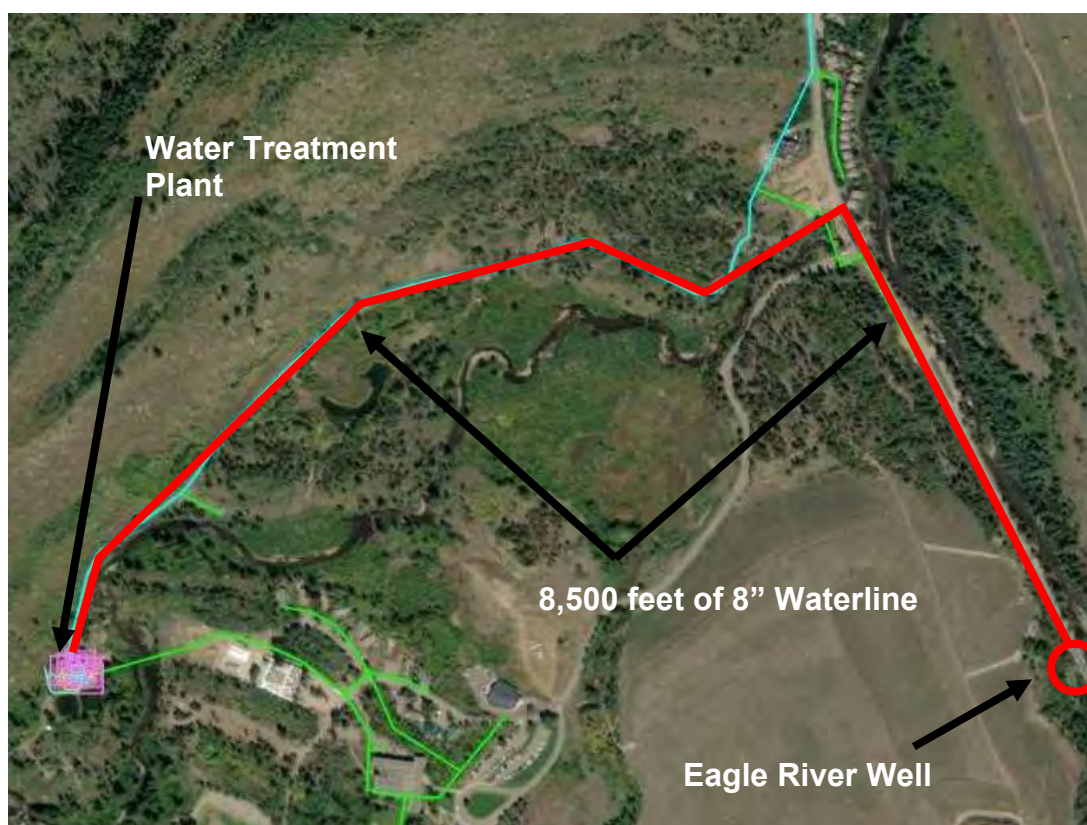


Figure 4 - Eagle River Wells and Pipeline

Table 7 Raw Water System Improvements Summary

Project	Purpose	Cost Est.
Raw Water Intake Improvements	Reduce O&M requirements and minimize sediment	\$25K
Well 4 Pipeline Improvements	Come into compliance with CDPHE regulations and to fully utilize groundwater resources.	\$230K
Eagle River Well Field and Pipeline	Provide additional water supply to support future growth and provide the Town with a redundant water supply	\$5.2M

4.0 Water Treatment Plant Analysis

This chapter summarizes background, challenges and recommended projects associated with the Town's Water Treatment Plant (WTP).

4.1 WTP Background Information

4.1.1 Existing Water Facilities

The existing WTP consists of an intake structure off of Cross Creek, two groundwater wells (Well 3 and 4), three slow sand filters (filters 1 and 2 are located outdoors and filter 3 is indoors), a 25,000 gallon clearwell, sodium hypochlorite disinfection system and distribution pumps that deliver treated water to the Town and Maloit Park. All three filters discharge to a common clearwell through separate pipes. Sodium hypochlorite is dosed into the clearwell for disinfection.

Well 3 discharges directly to the clearwell. Well 4 feeds directly into the distribution line between the WTP and the Town. Well 4 is disinfected by sodium hypochlorite at the well pump, however, CDPHE has determined the piping configuration does not meet current regulations with regard to disinfection credits and has been categorized as an emergency supply. Well 4 cannot discharge into distribution system as currently operated unless under emergency conditions.

There are two separate distribution systems, Town Service Area and Maloit Park Service Area, that are fed from the clearwell. These systems have separate pumps, tanks and distribution pipelines.

4.1.2 Existing WTP Unit Processes

Filtration

Based on existing drawings titled "Water Treatment Plant Filter Addition," dated 1991, and discussions with Minturn staff, the filters consist of the following (note that the filters have not been deconstructed, rebuilt or rehabilitated since 1991 to allow for field verification):

- All filters have perforated PVC underdrain laterals supported in a 1 foot gravel layer.
 - Filters 1 and 2 laterals are 6"-diameter and spaced every 6 feet. The size and spacing of the perforations is unknown.
 - Filter 3 laterals are 4"-diameter and spaced every 5.5 ft. The size and spacing of the perforations is unknown.
- A geotextile fabric is provided above the gravel/laterals.
 - Filters 1 and 2 have a single layer of fabric.
 - Filter 3 has two layers of fabric with 2-inch of coarse sand between the fabrics.
- Approximately 3 to 3.5 feet of sand is provided above the collection laterals.
 - Filter 3 has a geotextile fabric between the sand layers at approximately 2 feet above the laterals.
- All filters have an overflow which sets the depth of water above the top of sand.
 - Water depth in Filters 1 and 2 is approximately 5.0 feet.
 - Water depth in Filter 3 is approximately 5.6 feet.

- Existing drawings and documentation do not provide the specifications for the gravel or filter sand. However, staff replaces sand that is removed during cleaning operations and this sand has an effective size (ES) of 0.15 to 0.3 mm and a uniformity coefficient (UC) of 3.0. These specifications meet the CDPHE criteria for sand.

The configuration of Minturn's slow sand filters generally follows accepted design practices in published design guides and literature. This includes the depth of the sand and height of water above the sand, both of which are critical components.

Filters 1 and 2 are located outdoors and are excavated into the existing ground. The filters are trapezoidal in cross section with 3:1 side slopes (horizontal:vertical). The various layers in the filters have different plan areas:

- Bottom of sand layer is 42 ft x 42 ft (1,764 sf)
- Top of the sand layer is 60 ft x 60 ft (3,600 sf)

Filter 3 is indoors and within a concrete basin. The concrete basin is 80 feet long and 40 feet wide (3,200 sf); all layers in the filter have the same area.

CDPHE design guidelines limit the maximum allowable filtration rate to 0.1 gpm/sf. **Table 5** shows that current hydraulic loadings for the existing filters are well below this maximum. Note that the CDPHE maximum loading rate does not imply that all slow sand filters can be operated successfully at that rate. It is an upper bound above which CDPHE believes the technology's application would create an unacceptably high risk to public health based on its inherent limitations.

Table 8 Slow Sand Filter Hydraulic Loading Rates

Filt. No.	Filter Area (ft ²) ¹	Filter Area (ft) ²	Current Loading Rate (GPM/sf) ¹	Current Loading Rate (GPM/sf) ²	Max. Loading Rate (GPM/sf) ³	Current Flow-rate (GPM) ¹	Max. Allowed Flowrate (GPM) ³
1	3,600	1,764	0.0167	0.034	0.1	60	360
2	3,600	1,764	0.0167	0.034	0.1	60	360
3	3,200	3,200	0.018	0.018	0.1	60	320
Total Slow Sand Filter Capacity						180	1,040
1. Area based on top of sand layer 2. Area based on the bottom of sand layer 3. CDPHE Design Criteria for Potable Water. Water Quality Control Division. 2013.							

Disinfection

Disinfection is achieved using hypochlorite to maintain a residual at the point of entry. Water from the filters and Well 3 discharged to the clearwell where chlorine is added. The clearwell is 25,000 gallons and does not have any baffling and therefore has a baffle factor of 0.1. The configuration and the size of the clearwell is not sufficient to achieve the required 1-log Giardia inactivation and 2-log virus inactivation. To achieve the required inactivation, the transmission pipelines and batching has been employed, further discussed below.

Town Service Area

The Town Service Area achieves the required disinfection requirements through the clearwell and the transmission pipeline. However, as described above, Well 4 is not able to operate due to lack of disinfection compliance.

Maloit Service Area

The Maloit Service Area cannot meet inactivation requirements using the clearwell and transmission pipeline due to contact time. In order to meet disinfection, water is “batched” in the clearwell. The clearwell is filled with filtered water and dosed with hypochlorite and held for the requirement time to achieve the required inactivation.

4.2 WTP Improvements

The slow sand filtration has served the Town well for many years, however, there are several factors and indicators that suggest this technology is not sustainable to reliably produce high quality drinking water to meet CDPHE regulations and future growth. However, it is clear that the following contributing factors warrant that the Town make significant improvements to the WTP to ensure efficient, manageable operations and reliable regulatory compliance.

- Water Quality Challenges are present during spring runoff with elevated turbidity levels in Cross Creek. The existing slow sand plant struggles to meet the permit turbidity limits during high turbidity events seen in spring runoff and the Town has had to shut down the slow sand filter plant and utilize the wells during runoff. This has been workable for the current demand but severely limits the ability of the Town to serve additional demand.
- Seasonal Operating conditions can have a significant impact on the operations, required maintenance and performance of slow sand filters. These impacts are generally more acute than for more highly engineered filtration systems and must be considered when evaluating the future use of these filters to serve the Town.
 - Winter- The outdoor filters can potentially freeze, potentially prohibiting their use for water production during the winter months. Ideally, outdoor filters should be drained and taken offline during winter to prevent ice from damaging the underdrain piping and/or disturbing the sand bed. CDPHE recommends that outdoor sand filters be enclosed.
 - The biological action of the filters, which is the key to their filtration performance, is reduced with low water temperatures. Operating at a slower filtration rate can help to counteract the effects of lower water temperature.
 - Spring - Spring runoff conditions often generate higher turbidity raw water, which typically yields shorter filter run times. Historically, Minturn has not seen turbidities greater than 5 NTU, or so, in water from Cross Creek. That said, spring runoff conditions are still the most challenging and they are concurrent with the start of the high water demand season in Minturn. Additionally, if water sources to the WTP are changed, or if there are disruptions to the Cross Creek watershed, such as a forest fire, spring runoff conditions may become more challenging in the future.
 - The filtration plant will need to be operating at peak flows during peak demand season, which occurs during the summer months. Plant operations will need to be carefully planned to ensure that the filters are cleaned and fully operational

prior to peak demand. When one of the Town's slow sand filters reaches the end of its filter run, drying, cleaning, and ripening, can require that the filter be off-line for 4+ weeks. This leaves the Town without a critical production source.

- As described in Section 3.1.2, the amount of water that the filters can produce is less than observed in other slow sand filter plants and the maximum permitted limit. The reasons for the low production is not known but could be due to blockage or clogging within the filter and it is possible the production rate may continue to fall without significant rehabilitation.
- Meeting regulatory requirements will continue to be challenging and will likely become more stringent in the future. Multiple tests are being conducted in 2019 to determine the ability and extent of the slow sand filters to produce water. While preliminary results suggest the filters are performing well, future performance will need to be validated and it is likely additional water quality testing will be necessary.

4.2.1 WTP Process Upgrade Alternatives Summary

In order to address changes to influent water quality at the WTP, a planning-level analysis was conducted to evaluate potential alternatives. The alternatives are summarized as follows:

Alternative 1. Filter Rehabilitation and Upgrades

Filter rehabilitation would entail completely removing and replacing all media, filter underdrain piping and the liner. Rehabilitation would attempt to address the low production rate and address regulatory and water quality challenges. However, rehabilitation does not guarantee that the filter issues are resolved. Slow sand filters are not mechanical, rather they are biological and there are significant risks that rehabilitation will not solve the issues and may lead to the filters not performing as designed which has been observed with other slow sand filter rehabilitations in Colorado.

CDPHE design criteria states the filters are to be indoors and while CDPHE has stated that they won't require them to be enclosed, there is a possibility that they will be required in the future. The large footprint associated with slow sand filters limit the ability to expand production in the future.

Alternative 2. Filter Replacement (Membrane Filters)

Membranes represent state-of-the-art filtration technology, are highly automated, and offer robust treatment and can handle a wide range of influent water quality conditions. Membranes have a small footprint which would fit within the existing plant site. Membranes are skid mounted and are module based therefore the capacity can be expanded easily. The systems are generally automated which simplify operation compared to conventional water filtration treatment plant.

It is assumed that existing clearwell would be repaired and kept in service as well as the Town and Maloit Park service pumps. The existing outdoor filters would be abandoned, and a new engineered metal building would be constructed in the footprint of one of the outdoor filters. The other filter would be repurposed to serve as the backwash holding pond for the membrane waste.

This analysis evaluated MEMCOR CPII low-pressure membrane ultrafiltration System. Two membrane trains, 1 duty and one standby, would be installed. Each train would house a 24 L40N membrane module capable of treating approximately 450 GPM.

Based on this information, SGM recommends that the Town pursue Alternative 2 – membrane filters. Given the costs and the risks of filter rehabilitation, the ability of membranes to manage a wide range of variable raw water parameters and the ability to easily expand plant capacity membranes are the most reliable technology to produce water for current and future conditions.

4.2.2 Clearwell Repairs

Existing clearwell has settled and groundwater is seeping in at pipe penetrations and at cracks in the concrete walls. Repairs to the existing clearwell are necessary to repair spalling concrete in the basin and repairs to ensure the clearwell is water tight. The interior of the clearwell should be repaired and recoated.

4.2.3 Water Treatment Plant Improvements Summary

Table 9 presents a summary of the water treatment plant improvement recommendations identified in this chapter.

Table 9 Water Treatment Plant Improvements Summary

Project	Purpose	Cost Est.
Construct new membrane filter plant	Improve the reliability of the water plant to deliver the quality and quantity of water needed for current and future growth	\$3.8M
Construct new water plant building	New building to house membrane filtration equipment	\$475K
Repairs and Modifications to the clearwell	Clearwell is cracked and needs repairs to extend the service life of the structure. The piping and controls need to be upgraded to improve the operations	\$250K

5.0 Water Distribution System Analysis

Minturn maintains over 7 miles of potable water distribution piping, 2 water storage tanks, and 1 PRV station.

This chapter documents the capital improvements related to the water distribution system. Included in each improvement category is a description of the analysis criteria, assumptions and methodology used to develop recommendations.

5.1 Water Storage

Minturn maintains 2 water storage tanks (Minturn and Maloit Park tanks) and 708,000 gallons of combined stored water. The following summarizes the analysis and recommendations associated with water storage.

5.1.1 Minturn Water Tank Inspection and Evaluation

A dive inspection by Marine Diving Solutions was performed on October 3, 2015 and SGM performed an in-service floating inspection on May 7, 2019. The result of the inspection was that the existing Minturn Tank is near the end of its useful life and either significant rehabilitation or replacement is necessary. It is our recommendation to plan for a replacement of the tank as rehabilitation is a short term fix and deterioration will continue. Replacement analysis and options are presented in Section 5.1.2.

5.1.2 Evaluation of Tank Replacement Options

SGM evaluated three types of tanks: bolted steel tanks, welded steel tanks and concrete tanks.

Bolted Steel Tank

A factory-coated bolted carbon steel tank for water storage meeting the requirements of American Water Works Association (AWWA) D103.

A bolted steel water storage tank is composed of rolled steel tank panels connected at the lap joint by a bolted connection. A row of bolts, along with gasket material and sealant are used to seal each horizontal and vertical lap joint. The capacity of a bolted steel tank can be as large as 8 million gallons and typically includes an aluminum geodesic dome roof and a concrete foundation. Bolted tanks are typically factory coated for an ideal coating and curing environment, then transported and erected in the field.

Welded Steel Tank

A welded steel tank for water storage meeting the requirements of AWWA D100.

Similar to a bolted steel tank, a welded steel tank is composed of rolled carbon steel sheets or panels connected together by lap or butt-jointed welds. Due to the high strength of a welded connection, welded steel tanks are constructed to capacities up to 25 million gallons. Larger capacity welded steel tanks require roof framing members to support lateral and vertical loads. Typical foundation types include a concrete ringwall or deep foundation.

Concrete Tank

There are three design and construction methods for concrete tanks which include conventionally reinforced meeting the requirements of American Concrete Institute (ACI) 350, Wire- and Strand-Wound, Circular, Prestressed Concrete Water Tanks meeting the requirements of AWWA D110, and Tendon-Prestressed Concrete Water Tanks meeting the requirements of AWWA D115. Conventionally reinforced concrete tanks are typically designed for capacities less than 250,000-gallon capacities.

AWWA D110, Type III Strand-Wound, Prestressed Concrete Tank

D110 Type III tanks are constructed with a continuous steel diaphragm which is permanently embedded in the finished tank wall. The diaphragm acts as a water barrier within the tank wall, providing assurance of water tightness. The tanks are constructed with bonded wire prestressing applied to the exterior wall, providing multiple layers of continuous prestressing. These tanks are typically constructed with a free-standing concrete spherical dome roof eliminating the needs for internal columns and roof framing. Wall and roof sections are cast-in-place in “casting beds” and erected similar to tilt-up construction prior to installation of the bonded wire prestressing. Shotcrete is applied to the bonded wire for protection and an aesthetic finish.

AWWA D115 Tendon- Prestressed Concrete Tank

D115 tanks do not utilize a steel diaphragm within the wall, instead waterstop materials are installed at all joints to provide a water-tight tank. Tendons are placed internal to the tank wall, which is threaded through a plastic duct and hydraulically jacked. Corrosion protection is applied by injecting grout into the plastic duct. D115 tanks are typically constructed with a column-supported, moderately sloped roof.

Advantages and Disadvantages

There are advantages and disadvantages applicable to all tank construction methods. A few of each are summarized in the table below. It is SGM's opinion the greatest disadvantage with bolted and steel tanks are the continual maintenance required throughout the life-span of the tank. Concrete tanks require very little maintenance in comparison. All construction methods have challenges related to weather. Welding and coating operations are highly affected by low temperatures and moisture. Similarly, there are challenges with on-site pre-casting of concrete panels in inclement weather.

Table 10 Tank Advantages and Disadvantages

Tank Type	Advantages	Disadvantages
Bolted Steel (AWWA D103)	Lowest capital cost	Anticipated 30- to 45-year life-span
	Reduced construction duration from factory applied coatings and quick field erection	Gaskets and sealants at bolted connections deteriorate over time; very difficult to replace and maintain
	Aluminum dome roof as a design option allows for elimination of roof framing	Very difficult to recoat
	Tanks are typically designed by the in-house tank fabrication engineer utilizing modeling software	Poor construction Multiple contractors needed for site work, pipeline installation and foundation construction
Welded Steel (AWWA D100)	Full replacement tank designed to current regulations and codes	Steel tariffs have increased the price of steel; steel tanks are no longer as affordable as in previous years
	Numerous qualified steel fabrication and construction companies in the industry which improves competitive pricing	Requires interior and exterior surface preparation and recoating every 15 years for life of the tank
	Full penetration welding for water-tightness	Anticipated 75-year life span; requires maintenance beyond typical sandblasting and recoating, i.e., floor plate scanning and repairs, pitting repairs and roof framing repairs and replacement
	Exterior color selection available to camouflage with surroundings	Susceptible to corrosion for life of the tank
		Dome roof is not likely an option of the size of the tank; significant roof framing required to support vertical and horizontal loads which become cumbersome for maintenance and cleaning
		Additional expense associated with internal, external and below floor plate cathodic protection
		Longer construction duration for fabrication, erection, and field coating
Concrete Tank AWWA D110 Wire-Wound Tank	100-year life-span; minimal maintenance required	Specialized design and construction; Preload and DN Tanks are industry leaders which reduces competitiveness in the market, i.e., limited contractors in the industry compared to steel tanks
	Improved insulation; can be buried	Longer construction duration needed for casting of wall and roof panels and cure time
	Dome roof eliminates roof framing and internal columns; improves ease of cleaning	Some spall and crack repair may be needed during life of the tank
	Watertight steel diaphragm within the wall	
	Streamlined construction	

	process, i.e., simultaneous construction of the tank walls and floor	
	Concrete can be colored, and/or architectural finishes can be used for aesthetics	
Concrete Tank AWWA D115 Tendon Prestressed Tank	100-year life-span; minimal maintenance required	Specialized design and construction; D115 tanks are typically designed by a structural engineer, constructed by a general contractor and post-tensioned by a specialty contractor
	Watertight joints provided by internal waterstop material and joint sealant	Joints may require rehabilitation during life-span
	Improved insulation; can be buried	
	Concrete can be colored, and/or architectural finishes can be used for aesthetics	

New Construction Costs

The table below summarizes anticipated tank construction costs for a 0.60 MG tank, which are applicable to the tank construction only and exclude all items typical to the site which include access, foundation, site piping, site security. All appurtenances associated with the tank such as vents, access hatches, handrail, and ladders are included in the tank construction cost.

Table 11 Tank Unit Costs

Bolted Steel Tank	Welded Steel Tank	Prestressed Concrete Tank
~\$1.05/gallon	~\$1.20/gallon	~\$1.45/gallon

Life Cycle Analysis

While bolted steel tanks may be the most cost effective for initial capital costs, the life-span of a bolted tank is not comparable to a welded steel or concrete tank primarily due to the need to replace the tank based on the useful life of the tank.

Bolted Steel Tank Maintenance

As seen in the existing bolted steel tank, the gasket and sealant materials have deteriorated at the bolted connections causing a number of leaks. Numerous repairs have been performed on the tank by underwater dive teams. To properly rehabilitate a bolted steel tank, the gasket and sealant materials should be replaced during recoating operations which can be a significant undertaking.

Maintenance costs for a bolted steel tank are extremely difficult to estimate as it is challenging to estimate the rate of corrosion at joints and bolts, required relining/coating for corrosion protection and replacement of gaskets. It is also extremely difficult to estimate the extent of the rehabilitation as each tank tends to be somewhat unique. For this analysis, it is assumed that the tank will need to be replaced every 45 years and that the gaskets and the interior liner needs to be replaced once before the lifespan of the tank expires. We have assumed that this effort is approximately \$200,000 per repair event.

Welded Steel Tank Maintenance

A welded steel tank will need to be taken offline approximately every 15 years throughout the life of the tank to replace the internal and external coating system and perform steel pitting repairs and potentially roof framing repairs and/or replacement. Anticipating a 75-year life of a welded steel tank and maintenance scheduled every 15 years, the table below summarizes the anticipated costs associated with steel tank maintenance and are listed for the 0.60 MG tank. Traditionally construction costs would be escalated when projecting; however, for simplicity, recoating costs are recorded the same for each maintenance cycle. Applicable to both steel and concrete tanks, the Town is required to inspect and clean their tanks every 5 years per the requirements of Colorado's Primary Drinking Water Rule. These costs are applicable to either construction method and are therefore excluded from the lifecycle analysis.

Table 12 Welded Tank Maintenance Costs

0.60 MG Steel Tank Maintenance Schedule and Costs			
Year	Maintenance Scheduled	Total Price	Total 1st Maintenance Cycle Cost \$380,100
15	Full abrasive blast and re-application of interior coating	\$187,000	
15	Full abrasive blast and re-application of exterior coating	\$175,000	
15	Engineering / Inspection Cost (estimated as 5%)	\$18,100	
Year	Maintenance Scheduled	Total Price	Total 2nd Maintenance Cycle Cost \$401,100
30	Full abrasive blast and re-application of interior coating	\$187,000	
30	Full abrasive blast and re-application of exterior coating	\$175,000	
30	Magnetic Flux Leakage (MFL scan) of floor plate	\$15,000	
30	Floor plate repairs	\$5,000	
30	Engineering / Inspection Cost (estimated as 5%)	\$19,100	
Year	Maintenance Scheduled	Total Price	Total 3rd Maintenance Cycle Cost \$456,750
45	Full abrasive blast and re-application of interior coating	\$187,000	
45	Full abrasive blast and re-application of exterior coating	\$175,000	
45	Magnetic Flux Leakage (MFL scan) of floor plate	\$15,000	
45	Floor plate repairs	\$8,000	
45	Roof framing repairs	\$50,000	
45	Engineering / Inspection Cost (estimated as 5%)	\$21,750	
Year	Maintenance Scheduled	Total Price	Total 4th Maintenance

60	Full abrasive blast and re-application of interior coating	\$187,000	Cycle Cost \$401,100
60	Full abrasive blast and re-application of exterior coating	\$175,000	
60	Magnetic Flux Leakage (MFL scan) of floor plate	\$15,000	
60	Floor plate repairs	\$5,000	
60	Engineering / Inspection Cost (estimated as 5%)	\$19,100	
75	Tank Replacement		
Total Life Cycle Maintenance Cost			\$1,639,050

Concrete Tank Maintenance

Little to no maintenance is required for AWWA D110/D115 tanks; however, concrete tanks should be inspected routinely following initial construction. Inspections should include examination of the surfaces to locate signs of possible deterioration or corrosion, including rust stains, efflorescence, cracks or leaks. The below table estimates the maintenance costs associated with a pre-stressed concrete tank.

Table 13 Concrete Tank Maintenance Costs

Concrete Tank Maintenance Schedule and Costs			
Year	Maintenance Scheduled	Total Price	Total 1 st Maintenance Cycle Cost \$84,000
30	Minor crack and concrete spall repair	\$75,000	
30	Replacement gaskets and bolts on shell manways and roof access hatches; replacement vent screening	\$5,000	
30	Engineering / Inspection Cost (estimated as 5%)	\$4,000	
Year	Maintenance Scheduled	Total Price	Total 2 nd Maintenance Cycle Cost \$141,750
60	Crack and concrete spall repair	\$75,000	
60	Replacement gaskets and bolts on shell manways and roof access hatches; replacement vent screening	\$5,000	
60	Replacement anchorage for exterior and interior ladders and roof handrail	\$5,000	
60	Exterior shotcrete repairs	\$50,000	
60	Engineering / Inspection Cost (estimated as 5%)	\$6,750	
Year	Maintenance Scheduled	Total Price	Total 3 rd Maintenance Cycle Cost \$186,375
90	Crack and concrete spall repair	\$75,000	
90	Replacement roof access hatches and	\$30,000	

	roof vents		
90	Replacement exterior and interior ladders	\$20,000	
90	Replacement shell manway gaskets and bolts	\$2,500	
90	Exterior shotcrete repairs	\$50,000	
90	Engineering / Inspection Cost (estimated as 5%)	\$8,875	
100	Tank Replacement		
Total Life Cycle Maintenance Cost			\$412,125

The tables above show the costs to maintain a steel tank can far exceed the cost of a prestressed concrete tank.

Cost Summary

It is assumed that a new bolted steel tank will be replaced at year 45, and a new welded steel tank will be replaced at year 75. When the tank is at the end of the design life (every 45 years for a steel bolted tank, 75 years for a welded steel tank), the replacement cost is the present day tank cost with an assumed 1.5% yearly inflation – the replacement costs shown are future costs.

The lifecycle maintenance costs summarized in the tables above are added to the initial capital cost associated with the construction of a bolted steel, welded steel or concrete tank. The following table summarizes the 100-year lifecycle costs for different asset lifespans. It is important to note, the replacement costs listed are for the tank only.

Table 14 Tank Lifecycle Costs

100-Year Lifecycle Cost Summary			
Cost Analysis over 100-Year Lifecycle	Bolted Steel Tank	Welded Steel Tank	Prestressed Concrete Tank
New Construction	\$627,000	\$720,000	\$870,000
Replacement of Bolted Steel at Tank- Age 45	\$1,230,000	N/A	N/A
Replacement of Welded Steel Tank - Age 75	N/A	\$2,000,000	N/A
Replacement of Bolted Steel at Tank - Age 90	\$2,500,000	N/A	N/A
Maintenance Costs	\$600,000	\$1,639,050	\$412,215
Total Cost	\$4,957,000	\$3,223,450	\$1,282,215

SGM recommends the Town consider prestressed concrete tanks for the future replacement of the existing 0.60 MG tank and the Maliot Tank. SGM recommends performing a tank selection study and perform preliminary design to analyze an AWWA D110 vs D115 prestressed concrete tank and perform a constructability review to address operational needs based on ability to construct a new tank concurrent with the existing operational tank or removing the existing tank from operation during construction and supporting the system needs with by-pass piping.

5.1.3 Water Storage Analysis – Volume

5.1.3.1 Water Storage Volume Analysis Criteria

SGM evaluated water storage using the concept of “tank service area.” A tank’s service area is defined as the pressure zone on which the tank floats plus the pressure zones below if those lower zones do not have storage.

Sufficient water storage capacity should be prepared for industry-standard criteria which are determined using the volume components of demand equalization, emergency supply and fire suppression. A description of these components is as follows:

- *Equalization storage* – the volume needed to meet the instantaneous water demands in the area served by a given tank (or tanks) that occur at a rate which is greater than the capacity of available water production and pumping facilities serving that area. The difference in instantaneous water demand and delivery capacity is typically calculated as peak hour demand (PHD) less maximum day demand (MDD) since production and pumping systems are often designed with a firm capacity that meets MDD. In this study, the duration of this event is taken as 6 hours. Since PHD is often calculated as two times MDD, the target *equalization volume was set to 25% of MDD*.
- *Emergency storage* - the volume needed to meet water demands during emergency conditions or a planned maintenance activity, which reduces or eliminates the ability to deliver water to an area served by a given tank (or tanks). Such an event might include:
 - a power outage
 - a mechanical failure of a production/pumping facility
 - a break on a critical water transmission line
 - preventative maintenance activities on a production/pumping facility or critical water transmission line

Recommendations for emergency storage volume vary. Appropriate emergency storage is site-specific because it involves balancing risk, costs, and water age. The most often cited recommendations for emergency storage volume are to meet either ADD or MDD conditions for a 24-hour period. In order to minimize water age and chlorine residual decay, SGM will target *an emergency storage volume equal to ADD*.

- *Fire storage* – the volume required to meet the controlling firefighting needs in the area served by a given tank (or tanks). For this water system, SGM met with Mick Woodworth of the Eagle River Fire Protection District (ERFPD) on June 5, 2019. Mr. Woodworth indicated that fire flow needs for Minturn would follow the International Fire Code (IFC) - latest edition; Minturn’s code matches the IFC. For fire storage requirements, target fire flows are

multiplied by duration, estimated using Appendix B of the 2017 International Fire Code (IFC). Fire storage volumes assume that only one fire event occurs at a time in the service area of a tank (or tanks).

5.1.3.2 Water Storage Volume Analysis Results and Recommendations – System Wide

Table 15 summarizes the current water storage capacities versus calculated storage needs. **Table 16** provides the same information under anticipated future demand conditions. **Table 17** Fire Flow Required by Zone outlines the fire flow requirements for each tank zone.

As shown in **Table 15**, the storage requirements vary depending on which growth option is used. However, as detailed in section 4.1, the Minturn Tank should be replaced due to structural and leakage concerns.

Table 15 Existing Water Storage Analysis

	Storage Required for Current Conditions				
Tank (Capacity, Gal)	Emergency (Gal)	Equalization (Gal)	FireFlow (Gal)	Total (Gal)	Deficit
Minturn Tank (600,000)	150,000	83,000	270,000	503,000	0
Maloit Park Tank (108,000)	5,000	6,000	270,000	281,000	173,000

Table 16 Future Water Storage Analysis

	Tank (Capacity, Gal)	Emergency (Gal)	Equalization (Gal)	FireFlow (Gal)	Total (Gal)	Deficit
Option 1	Minturn Tank (600,000)	198,000	109,000	270,000	577,000	0
	Maloit Park Tank (108,000)	38,000	22,000	270,000	330,000	222,000
Option 2	Minturn Tank (600,000)	228,000	126,000	270,000	624,000	24,000
	Maloit Park Tank (108,000)	89,000	51,000	270,000	410,000	302,000

Table 17 Fire Flow Required by Zone

Service Area	Maximum Fire Flow Location	Max. Fire Flow Required (GPM)	Duration (Hours)	Volume (MG)
Town	Entire Service Area	2,250	2	0.27
Maloit Park	Entire Service Area	2,250	2	0.27

5.2 Fire Flow Delivery

5.2.1 Fire Flow Analysis Criteria

Fire flow delivery is the ability of the system to transmit target fire flows under conservative operational and demand conditions. For this evaluation these conditions are:

- Demand condition: MDD
- Minimum tank levels: 5 feet

The recently created water distribution system model was used to predict fire flow delivery throughout the system. Adequate fire flow delivery through firefighting equipment depends on maintaining residual pressure at the local fire hydrant. Furthermore, when large fire flow rates are pulled from the system, pressures drop zone-wide. Maintaining a minimum pressure throughout the distribution system is critical to keep positive pressure and eliminate potential contaminant intrusion. These two considerations lead to the following two pressure criteria, which constrain the maximum available fire flow in a given area:

- Minimum residual pressure at flowing hydrants: 20 PSI
- Minimum pressure elsewhere in the system: 20 PSI

5.2.2 Fire Flow Results and Recommendations

Simulation results indicate that 83% of nodes meet the required fireflow target of 2,250 gpm under current maximum day demand conditions. The percentage decreases for Options 2 and 3, decreasing to around 71%. Critical nodes with the lowest available fireflow are located at the end of Taylor Street, near Cross Creek Road, and throughout the lower portions of Maloit Park. Fireflow deficit in these areas can be mitigated by implementing the following improvements:

- **Taylor Street:** Install a new pipeline under 4th Avenue or 4th Street which ties into the proposed 12" line to Dowd Junction (if the interconnect is built) or extend the existing waterline from Taylor St/Minturn Rd to 4th St (See **Figure 5**). This loop would reduce hydraulic resistance between Minturn's primary storage tank and Taylor street, increasing available fire flow.
- **Cross Creek Road:** Install a PRV station near the intersection of Cross Creek Road and Highway 24 which provides water from the Maloit Park pressure zone via the new Maloit Park Tank.
 - Installing a PRV station would only be beneficial if distribution piping in Maloit Park were upsized or looped to facilitate delivery of fireflow.
 - Installing a PRV near Cross Creek Road could provide a redundant pathway for delivering finished water to the Town Zone. It would possibly reduce the Town's storage requirements by allowing emergency storage to be provided from multiple Tanks.

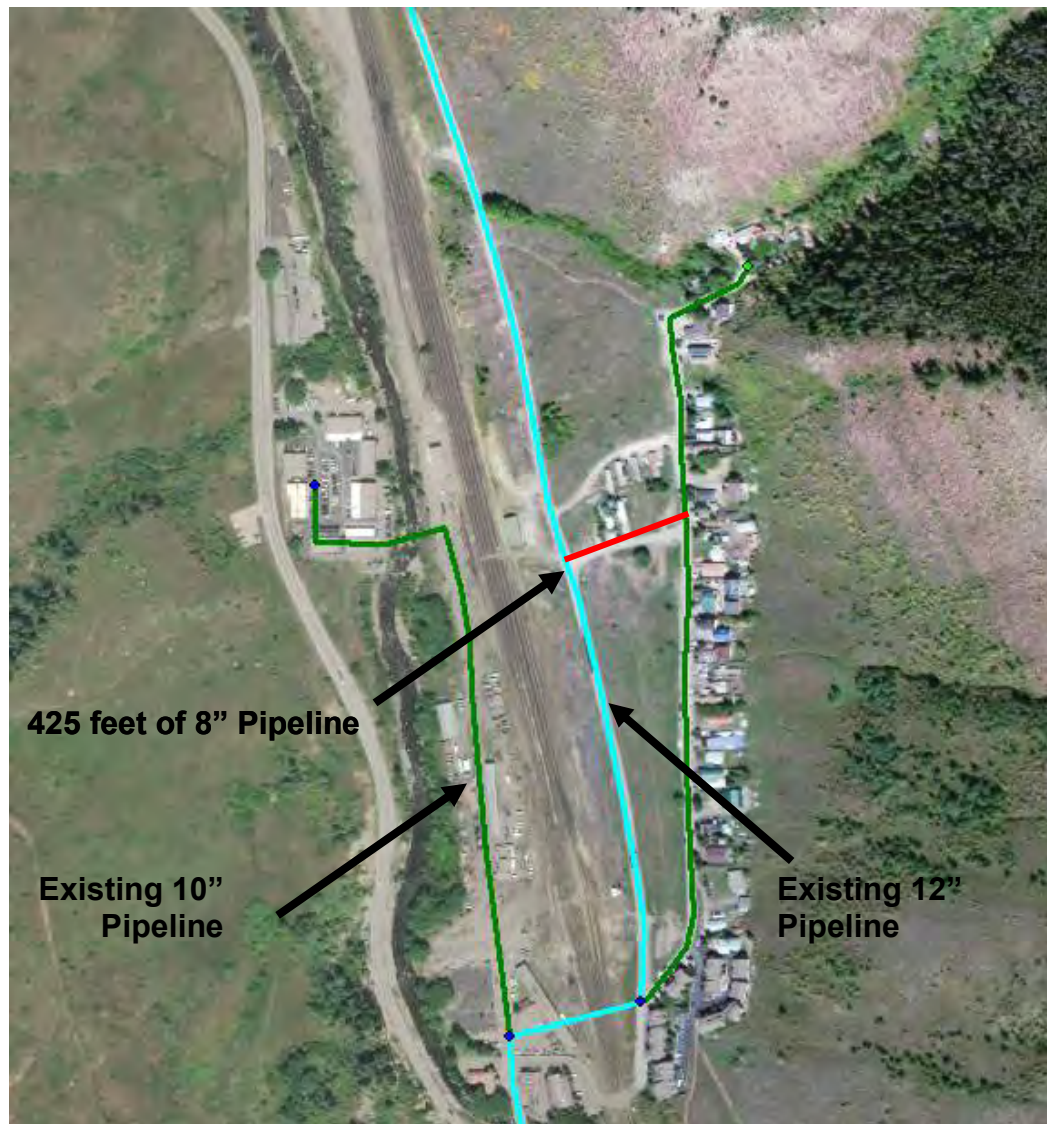


Figure 5 - 4th Avenue Loop Line

5.3 Velocity

5.3.1 Velocity Analysis Criteria

High flow velocity in pipes is undesirable because it (1) increases the potential magnitude of pressure transients, which can increase the risk of contaminant introduction or infrastructure damage (2) increases head loss and required energy consumption and (3) causes stress and wear on fittings and connections, increasing the potential for leaks and main breaks.

Recommended maximum velocity is as follows:

- Maximum day demand conditions: Velocity < 5 FPS (ideal), 7FPS (maximum)
- Peak hour demand conditions: Velocity < 10 FPS

The recently created water distribution system model was used to predict velocity in pipes throughout the system. Velocity analysis was conducted under MDD conditions with pumps running.

5.3.2 Velocity Results and Recommendations

Flow velocities throughout the Town service area and Maloit service area are generally below recommended maximums for MDD and fireflow. The only instance where pipe velocities are outside the maximum recommendations are in the Maloit Park service area during fireflow events where they exceed the maximum by approximately 10% which does not impair the ability to deliver the quantity of water necessary during a fire. Therefore, there are no projects proposed to mitigate velocity concerns.

5.4 Pressure

5.4.1 Pressure Analysis Criteria

Both insufficient and excessively high pressures within the distribution system are undesirable. Low operating pressures provide less protection against backflow, increasing the possibility of system contamination. Low service pressures also can lead to customer complaints, especially regarding domestic service pressure and proper irrigation system function. High pressures increase water use, water loss, energy consumption, buried infrastructure and pump wear, work hazards, and the risk of property damage. The benefits of system design using tight pressure ranges must be balanced against the associated infrastructure costs to create the pressure zone breaks. The appropriate design pressure range for a given system is often site-specific.

Colorado Department of Public Health and Environment (CDPHE)'s 2013 Design Criteria for Potable Water Systems indicate that:

"The system must be designed to maintain a minimum pressure of 20 PSI at ground level at all points in the distribution system under all conditions of flow. The normal working pressure in the distribution system must be at least 35 PSI and should be approximately 60 to 80 PSI. Near storage tanks, the water main pressure will be less than the required pressures stated above. The Department expects water systems to mitigate the low pressure around storage tanks and to minimize the amount of distribution main impacted."

SGM recommends the following normal working pressure range:

Minimum: 20 PSI
Maximum: 120 PSI

5.4.2 Pressure Analysis Results and Recommendations

Modeling results indicate that operating pressures range between **32** and **110** psi under both current and future demand conditions. The only area which fails to meet the minimum recommended pressure criteria of 55 psi is near the intersection of Highway 24 and Cross Creek Road, which is the highest point in the Town service area. Considering that the elevation of this location limits the maximum service pressure to 33 psi, model results do not indicate a supply deficiency. Therefore, the existing distribution system is adequately sized to convey system demands under current and future operating conditions.

5.5 Redundancy

5.5.1 Redundancy Analysis Criteria

A water distribution system design should minimize the likelihood and duration of service interruptions to the extent practicable. The majority of taps should be able to receive water even during planned maintenance activities and unplanned repairs or equipment failures. The Town system was analyzed with consideration given to:

- Piping - Looping and parallel piping networks
- Water storage - Gravity water storage (versus pressure tanks) and ability to take tanks offline for maintenance
- Production - Multiple water production sources

A critical component of system redundancy is having a secondary water source to supply raw water if the primary source – which is Cross Creek is limited. The secondary water source has been identified as the Eagle River Wells as described in Section 3.3 of this report.

5.5.2 Redundancy Analysis Results and Recommendations

Piping –

As with all distribution systems, elimination of all dead-end lines is not feasible. Minimization of dead-end lines, however, should be the goal. The Minturn system generally has a well-looped network outside of the primary transmission mains. However, there are areas that are limited to water delivery by a single main. Those include the following:

- The north end of Town north is fed by a single 12-inch pipe that is exposed and runs across the Eagle River at Bellm Bridge. The pipe is at risk of scour or damage from the Eagle River. It is recommended that the line be replaced – or a parallel line be installed – to mitigate the potential of a failure of this waterline, see **Figure 6**. Waterline can be bored beneath the Eagle River, hung on the existing bridge or installed across the river with an aerial crossing.



Figure 6 - Bellm Bridge Pipeline

Water Service Redundancy –

The Town and Maloit Park Service Areas are not connected and there needs to be a way to deliver water to either area if the primary feed is compromised. Additionally, water storage tanks should be drained for maintenance occasionally. However, single tank zones that are present in Minturn this can be challenging. SGM recommends:

- Interconnecting the Maloit Service Area and the Town Service area at approximately Cross Creek Drive and Highway 24 at a new PRV/BPS vault and installing a 12-inch line in Cross Creek Road to the Maloit Park service area, see **Figure 7**.
 - Recommend installing a 8-inch PRV with a 2-inch by-pass in parallel.
 - It is recommended that the vault has sufficient space to allow for pump connections to facilitate pumping water between the zones either by installing pumps in the vault or a portable pumping system.

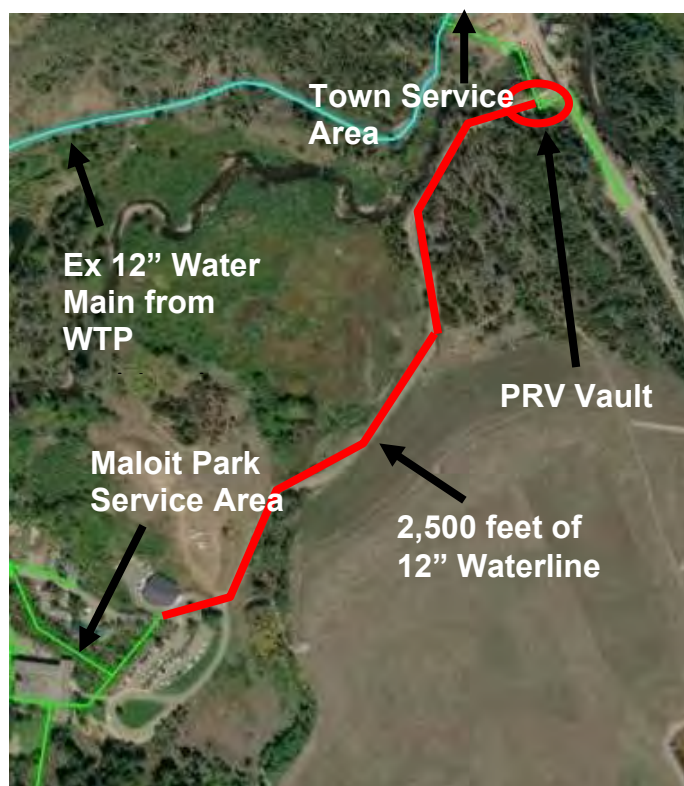


Figure 7 - Town and Maloit Park Service Area Interconnect

5.6 Water Loss Management

Water loss has been a persistent problem for the Town with water loss ranging from 30-60% which is well outside of the typical range of 10-15% for municipalities. While the Town has aggressively tracked and repaired leaks (and recent water loss figures suggests that these efforts have generally been successful), it is likely higher than normal water loss will persist. Generally, leaks have been located and repaired on service lines and not on the water mains. Furthermore, water meters on service lines have not been upgraded or calibrated and might be leaking or recording water used potentially incorrectly leading to a “paper water loss”. The following water loss management projects are recommended:

It is recommended that the Town utilize leak detection equipment to efficiently detect and locate leaks that are not observable from the surface. This will allow Town staff to find and repair leaks that would otherwise go undetected.

It is recommended that the Town initiate a water meter replacement program to upgrade the water meters to current technology.

5.7 Water Main Line Replacement

The majority of the Town's water mains are aging. The Town has not had a pipe replacement plan in place to systematically replace waterlines as they reach the end of their useful life. By delaying the replacement of aging infrastructure, there is risk of line breaks and disruptions to the system.

It is recommended that the Town establish a yearly replacement budget to be used to systematically replace aging pipes. This will help to address water leaks on the mains as new waterlines have very low permissible water loss. Additionally, the corporation stops and service lines to at least the curb stop would be replaced which would address leaks on this section of the system. It is recommended that the Town allocate \$250,000 per year to fund the water main replacement plan.

5.8 Water Distribution System Improvements Summary

Table 18 summarizes the distribution system improvements detailed in the previous sections and provides a summary of the water system improvements recommended in this section.

Table 18 Water Distribution System Improvements Summary

Project	Purpose	Cost Est.
Maloit Park Tank	Address storage requirement needs	\$1.67M
Minturn Tank	Address leaks and storage requirement needs	\$1.55M
Bellm Bridge Waterline Replacement	Provide redundancy to the north part of Town	\$570K
Maloit Park and Town Interconnect	Allow water to be moved between service areas	\$1.31M
Leak Detection System	Locate leaks	\$50K
Water Main Replacement Program	Replace aging watermains	\$2.5M
Water Meter Replacement Program	Upgrade aging water meters	\$250K

6.0 Recommended Improvements Summary

This chapter summarizes the recommended water system improvements identified in Chapters 2 through 5. The description of the development options are listed below.

- Option 1: Cross Creek Only – Under this option the Town would continue to rely solely on Cross Creek for its water supply.
- Option 2: Cross Creek plus Eagle River Wells – Under this option the Town would continue to utilize Cross Creek water and also develop additional water resources on the Eagle River through a well field. This option includes moderate growth.

Table 19 Recommended Water System Improvements – Option 1

Projects	Category	Description	Cost
1 TO 3 YEAR TIME HORIZON			
Construct a new Minturn Tank	Tank	Replace existing Minturn Tank with a 600,000 gallon tank	\$ 1,600,000
Construct new Maloit Park Tank	Tank	Construct a new 250,000 gallon concrete water tank on the existing tank site. Project would include the demolition of the existing tank.	\$ 900,000
Connect Well 4 to existing clearwell	Treatment	Construct approximately 900 feet of 4" pipe from Well 4 to the existing clearwell	\$ 230,000
Systematic Waterline Replacement Program	Pipeline	Systematic replacement of the Town's waterlines	\$ 2,500,000
Invest/Install leak detection system	O&M	Implement a leak detection system	\$ 50,000
Develop a Town GIS system	O&M	Create a comprehensive GIS mapping system of the Town's water and public infrastructure	\$ 15,000
Water Meter Replacement Program	O&M	Replace water meters throughout Town	\$ 250,000
3 TO 5 YEAR TIME HORIZON			
Construct new membrane plant at existing plant site designed to treat Cross Creek and Eagle River water	Treatment	Install membranes in a new pre-engineered building at the existing WTP site. New components will include pre-treatment system, booster/feed pumps, membranes, clean-in-place chemical system and compressed air system. The existing clearwell and distribution pumps will remain in service.	\$ 4,290,000
Repairs and Modifications to the clearwell	Treatment	Make repairs to the existing clearwell and modifications to piping and controls.	\$ 100,000
Raw Water Intake Improvements	Treatment	Install finer screening	\$ 25,000
5 TO 10 YEAR TIME HORIZON			
Connect Maloit Park Service Area to Town Service Area	Pipeline	Construct approximately 2,500 feet of 12" waterline from the Minturn Community Center to the intersection of Highway 24/Cross Creek Road. Project includes the construction of a pressure reducing/sustaining station in a buried vault to include the ability to install booster pumps or connect an electric or diesel powered pump to supply water to either zone.	\$ 1,310,000
Replace waterline in Eagle River at Bellm Bridge	Pipeline	Construct approximately 150 feet of 12" waterline across the Eagle River at Bellm Bridge	\$ 570,000
			\$ 11,840,000
10 TO 20 YEAR HORIZON			
Loop Taylor Street	Pipeline	Construct approximately 425 feet of 8" pipe from the new 12" Dowd Junction waterline to the existing 8" water line in Taylor St in 4th St.	\$ 130,000
			\$ 130,000
			\$ 11,970,000

Table 20 Recommended Capital Improvements Projects - Option 2

Projects	Category	Description	Cost
1 TO 3 YEAR TIME HORIZON			
Construct a new Minturn Tank	Tank	Replace existing Minturn Tank with a 650,000 gallon tank	\$ 1,670,000
Construct new Maloit Park Tank	Tank	Construct a new 250,000 gallon concrete water tank on the existing tank site. Project would include the demolition of the existing tank.	\$ 900,000
Connect Well 4 to existing clearwell	Treatment	Construct approximately 900 feet of 4" pipe from Well 4 to the existing clearwell	\$ 230,000
Systematic Waterline Replacement Program	Pipeline	Systematic replacement of the Town's waterlines	\$ 2,500,000
Invest/Install leak detection system	O&M	Implement a leak detection system	\$ 50,000
Develop a Town GIS system	O&M	Create a comprehensive GIS mapping system of the Town's water and public infrastructure	\$ 15,000
Water Meter Replacment Program	O&M	Replace water meters throughout Town	\$ 250,000
3 TO 5 YEAR TIME HORIZON			
Construct new membrane plant at existing plant site designed to treat Cross Creek and Eagle River water	Treatment	Install membranes in a new pre-engineered building at the existing WTP site. New components will include booster/feed pumps, membranes, clean-in-place chemical system and compressed air system. The existing clearwell and distribution pumps will remain in service.	\$ 4,290,000
Construct pretreatment system to pretreat Eagle River water	Treatment	Build concete basins and chemical feed systems to address Eagle River water quality issues.	\$ 429,000
Repairs and Modifications to the clearwell	Treatment	Make repairs to the existing clearwell and modifications to piping and controls.	\$ 100,000
Raw Water Intake Improvements	Treatment	Install finer screening	\$ 25,000
New Well Field and pipeline to connect wells to WTP	Water Supply	Drill 3 new wells at the decreed location of the Eagle River Wells. Includes property acqusition, drilling wells, constructing well building, well pumps and pipeline to the existing WTP site.	\$ 5,220,000
5 TO 10 YEAR TIME HORIZON			
Connect Maloit Park Service Area to Town Service Area	Pipeline	Construct approximately 2,500 feet of 12" waterline from the Minturn Community Center to the intersection of Highway 24/Cross Creek Road. Project includes the construction of a pressure reducing/sustaining station in a buried vault to include the ability to install booster pumps or connect an electric or diesel powered pump to supply water to either zone.	\$ 1,310,000
Replace waterline in Eagle River at Bellm Bridge	Pipeline	Construct approximately 150 feet of 12" waterline across the Eagle River at Bellm Bridge	\$ 570,000
			\$ 17,559,000
10 TO 20 YEAR HORIZON			
Loop Taylor Street	Pipeline	Construct approximately 425 feet of 8" pipe from the new 12" Dowd Junction waterline to the existing 8" water line in Taylor St in 4th St.	\$ 130,000
			\$ 130,000
			\$ 17,689,000



MEMORANDUM

TO: Michelle Metteer
FROM: Ryan Gordon
DATE: December 17, 2019
RE: Minturn Tank Site Evaluation

Dear Michelle,

SGM has identified and evaluated potential tank sites for a new water tank. The governing criteria for identifying potential tank locations were to maintain a similar hydraulic grade line as the existing tank; which translates to keep system operating pressures consistent and to continue utilizing the existing pumps at the water plant.

With input from the Town, SGM identified 6 sites (including the existing site) that fit the elevation criterion. These sites were evaluated and ranked using a weighted numerical scoring system. The evaluation criteria used for the ranking is based on the following:

1. Proximity to existing infrastructure – How close is the site to existing pipelines to connect the tank to the system.
2. Environmental considerations – Are there wetlands or water courses to mitigate? Are there wildlife issues to address?
3. Property ownership – Who owns the parcel? Are easements or land swaps needed to build the tank?
4. Constructability – Are there steep slopes that require retaining walls or slope stability measures? Are there challenges with coordination/permitting with local, state or federal agencies (i.e. Army Corp, CPW, railroads, CDOT)?
5. Accessibility – Are there existing roads to the site or are new roads needed to provide access the site? Do existing roads need to be upgraded?
6. Operational considerations- How does the existing system operate while the tank is being built?

Figure 1 (attached to this memo) shows the locations of the potential tank sites. Figures 2 and 3 map the elk and mule deer ranges and Figure 4 shows mapped and delineated water courses and water bodies in the area.

Table 1 shows the ranking of the tank sites using the evaluation criteria above. The lower the total score the more advantageous the site is deemed to be. Each criterion is given a weight factor determined based on professional judgement and with input from

the Town. Each site is assigned a ranking that is an index of the relative impact for that criterion; if two or more sites are of equal impact, they are assigned the same ranking.

Table 1: Tank Site Ranking

Evaluation Criteria	Weight Factor	Tank Site No 1		Tank Site No 2		Tank Site No 3		Tank Site No 4		Tank Site No 5		Tank Site No 6	
		Rank	Score	Rank	Score	Rank	Score	Rank	Score	Rank	Score	Rank	Score
Proximity to Existing Infrastructure	5	2	10	4	20	3	15	1	5	3	15	4	20
Environmental Considerations	15	2	30	3	45	3	45	1	15	3	45	3	45
Property Ownership	10	1	10	2	20	2	20	3	30	2	20	2	20
Constructability	25	2	50	3	75	1	25	2	50	2	50	1	25
Accessibility	20	1	20	2	40	3	60	4	80	3	60	4	80
Operational Considerations	25	2	50	1	25	1	25	3	75	1	25	1	25
Total Score		170		225		190		255		215		215	

Below summarizes the pros and cons for the tank sites identified and ranked.

Tank Site 1

Pros:

1. The Town owns the land.
2. Additional site security is not required.
3. No need to modify access road to the site.
4. Close to existing infrastructure, minimal amount of piping required.
5. Can interconnect the Town and Maloit Park zones eliminating the need for:
 - a. New Maloit Park Tank
 - b. Separate interconnection between the Maloit Park area and the Town area.
 - c. CT upgrades at the plant for Maloit Park, would resolve CT concerns in the Town area.
6. Current system operation will not be impacted to construct the tank.
7. No wetlands or streams in the area.

Cons:

1. Potentially steep slopes and the need for retaining walls.
2. Site is in elk severe winter range and a winter concentration area. Expect CPW comments and concerns which might result in mitigation requirements.
3. A line break in the main line from the tank to the Town service area would result in no water for the Town.

Tank Site 2

Pros:

1. There is an existing road that could be utilized for construction. Some minor regrading will be necessary as the road has a maximum slope of 25% over a short distance (average slope is 10%).
2. The Town owns the land.
3. Water could be provided to the cemetery and Public Works Building.
4. Current system operation will not be impacted to construct the tank.
5. No wetlands in the area.

Cons:

1. Existing waterline is far from tank site (2,400-3,400 LF)

2. Need to construct pipeline under railroads.
3. Need to go across Eagle River by hanging off of existing bridge or beneath the river
4. Need waterline easement from railroad.
5. Potentially steep slopes and the need for retaining walls.
6. Buried high pressure gas line in the area which may impact the project.
7. Site is in elk severe winter range and a winter concentration area. Expect CPW comments and concerns which might result in mitigation requirements.

Tank Site 3

Pros:

1. Relatively flat site (6-9%).
2. Land swap with the US Forest Service might not cost the Town money.
3. System operation will not be impacted

Cons:

1. Site is located on US Forest Service land which can be a long process (~2 years) to get an easement or land swap and could require Congressional approval.
 - a. Will require NEPA review ~1-2 years to perform.
2. Access is via a private road and would require easements.
3. Easement is needed for pipeline.
4. ~2,000 LF of pipe required to connect to the existing pipe network.
5. Access road would need to be constructed to the site.
6. Possible wetlands along access road

Tank Site 4

Pros:

1. No need for additional piping, assuming existing pipeline is in good shape.
2. Tank site is already owned by the Town
3. No environmental concerns.

Cons:

1. Access road is private, and easements will be required.
2. Access road will need significant improvements to allow for construction traffic.
3. On-going issues with adjacent property owners
4. Significant issues with the existing system operation when taking the existing tank off line to build new tank.
 - a. Need to consider a bolted steel tank to reduce construction time.

Tank Site 5

Pros:

1. There is a dirt road that gets close to the tank site and minimal improvements would be needed.
2. Current system operation will not be impacted to construct the tank.
3. No wetlands or streams in the area.

Cons:

1. Site is owned by Vail Corp and would require easements for the tank, access and pipeline.
2. Site would require ~1,500 to 2,300 LF of pipeline to connect to existing network.

3. Site is in Eagle County and would need to go through the county permitting process.
4. Potentially steep slopes and the need for retaining walls.
5. Site is in elk severe winter range and a winter concentration area. Expect CPW comments and concerns which might result in mitigation requirements.
6. Buried high pressure gas line in the area which may impact the project.

Tank Site 6

Pros:

1. Relatively flat site (6-9%).
2. Current system operation will not be impacted to construct the tank.

Cons:

1. Site is located on private property and would require easements.
2. Access is via a private road and would require easements.
3. Easement is needed for pipeline.
4. ~2,500 LF of pipe required to connect to the existing pipe network.
5. Access would need to be created to the site.
6. Site is in Eagle County and would need to go through the county permitting process.
7. Potential wetlands at the site.

Sincerely,

Ryan Gordon, PE
Project Manager

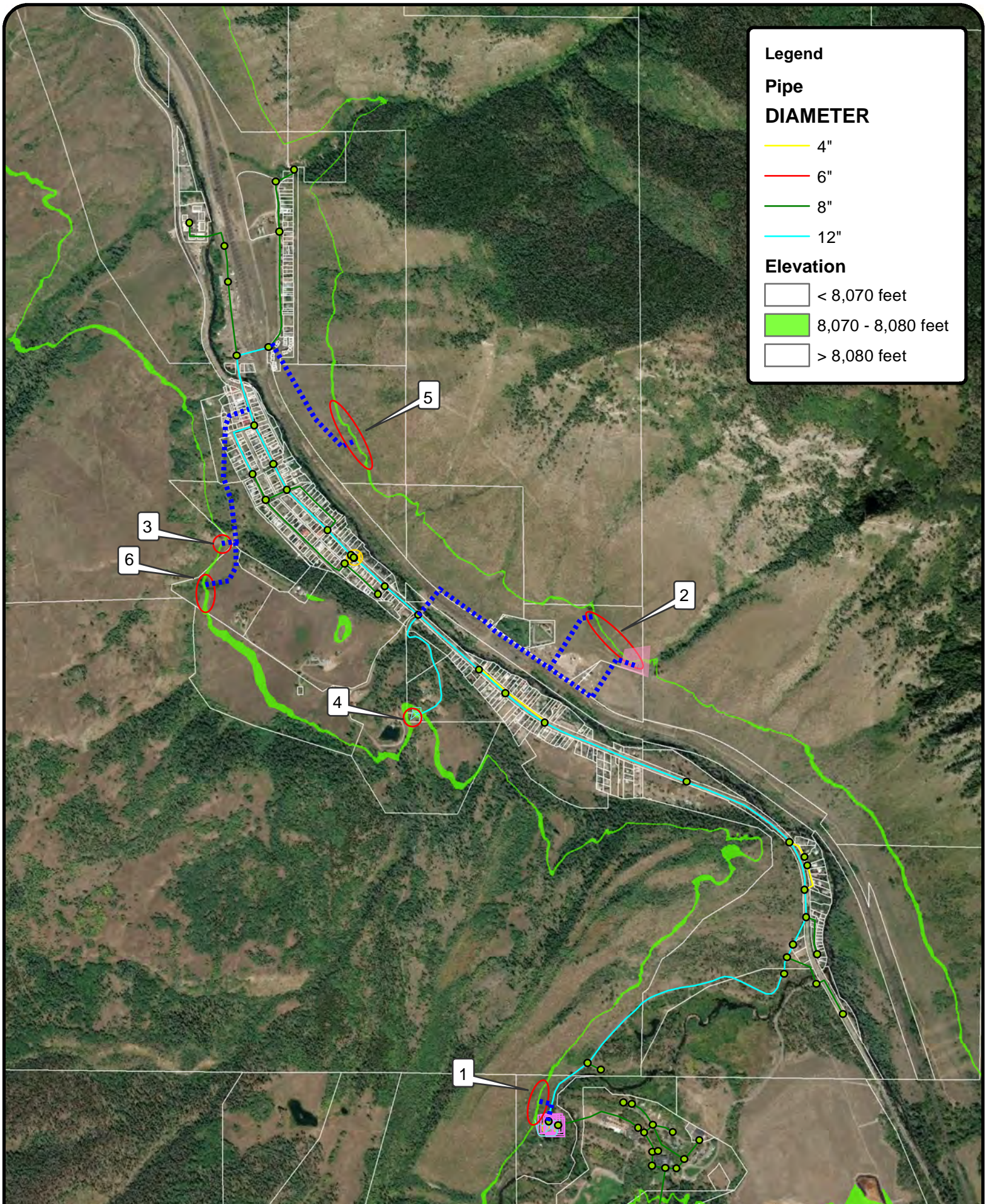


Figure 1
Town of Minturn
 Potential Tank Sites

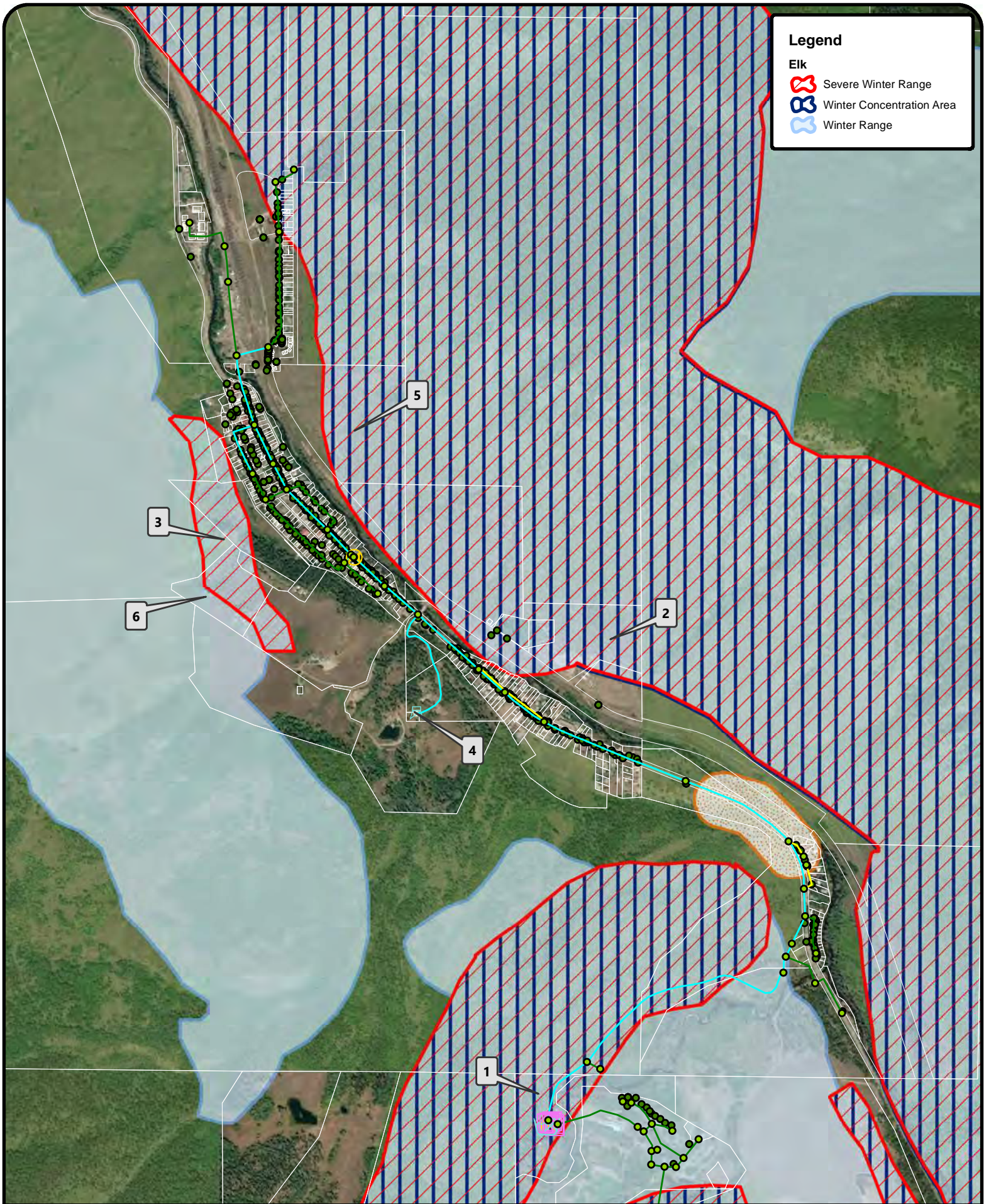
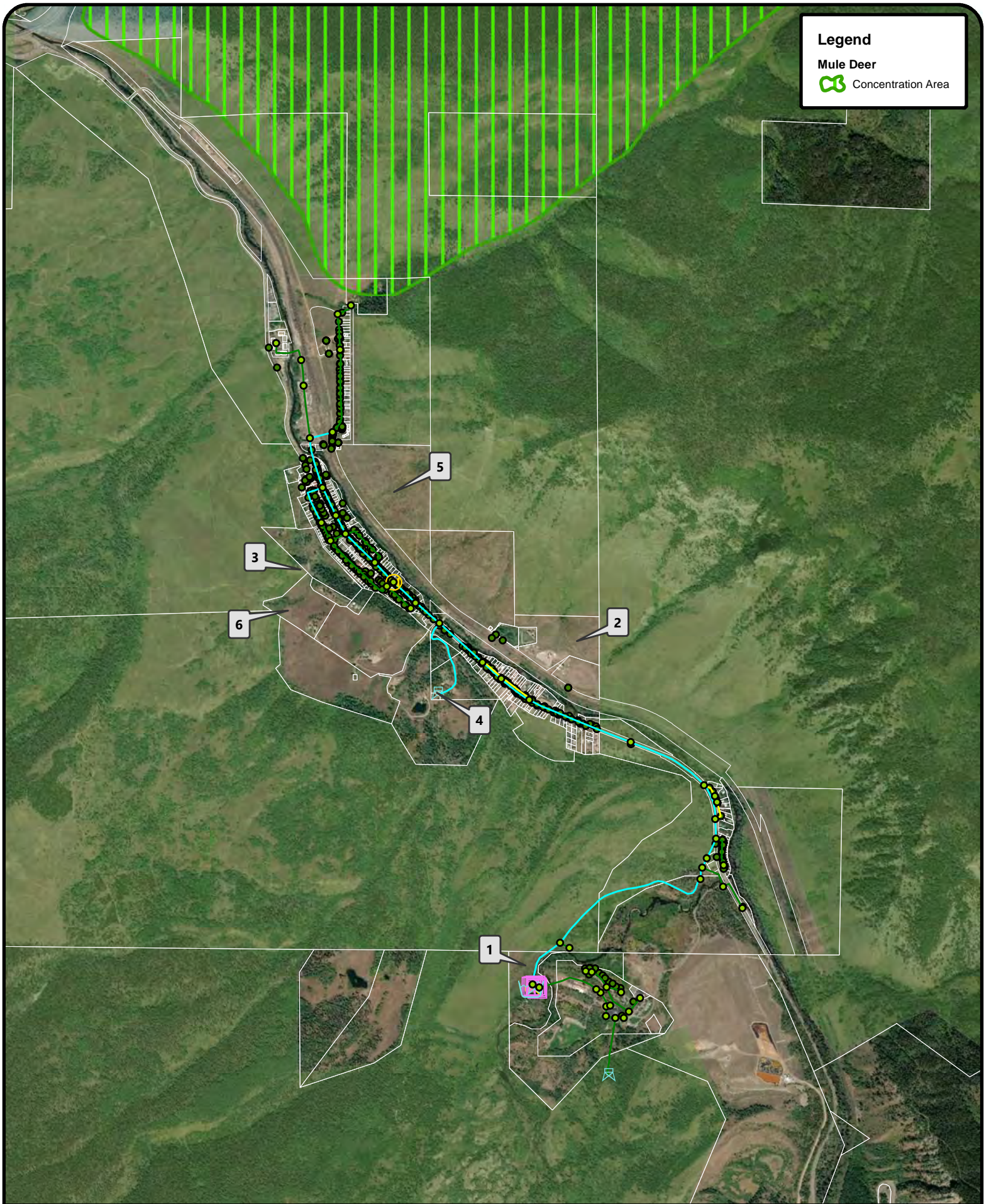


Figure 2
Town of Minturn
 Potential Tank Sites
 Elk Habitat



Legend

Mule Deer


 Concentration Area

Figure 3
Town of Minturn
Potential Tank Sites
Mule Deer Habitat

Date:	12/3/2019	Job No.	2017-258.007	Map by:	JDF
Coordinate System:	NAD_1983 StatePlane_Colorado_Central_FIPS_0502_Ft_US			Projection:	Lambert_Conformal_C
Data Sources:	ESRI, USGS			Page:	4
File:	I:\2017\2017-258-TownofMinturn\005-CapImpPlan\H-Dwgs\GIS\MXDs\Minturn_EnvironmentalReview_Wildlife.mxd				
The information displayed above is intended for general planning purposes. Refer to legal documentation/data sources for descriptions/locations.					

0 890 1,780 Feet
1 inch = 200 feet







Memorandum

To: Bill Hoblitzell, Lotic cc: Michelle Metteer, Minturn

From: Cristy Radabaugh

Date: March 13, 2020

Subject: Sampling along the Eagle River for the Town of Minturn

Overview

Minturn is planning to utilize Eagle River water supplies, via groundwater wells, in the future and is evaluating the water quality of the Eagle River to aid in the design of a treatment plant. Martin and Wood Water Consultants, Inc. (M&W) and SGM Inc. (SGM), along with Town staff, identified up to four sampling locations associated with water quality data needs. SGM recommended a sampling schedule to the Town and provided information on analyte lists. Minturn staff are working to determine if any of the needed data can be obtained from the past work of other entities, but for now, Minturn is perusing the collection of the data independent of other efforts.

Minturn would like the water sampling to begin in March if possible and has contacted Lotic Hydrological about obtaining a cost for doing the sampling work for at least one year.

Analytes and Sampling Frequency (per February 4, 2020 email from Ryan Gordon to Michelle Metteer)

Monthly Data (with Weekly Collection of pH, Temperature, and Turbidity if possible)

There are specific parameters that SGM believes are critical to the design and size of the membranes and pre-treatment components of the future treatment plant. Samples for these parameters should be collected monthly for one year. (If it would be helpful, Michelle or I can provide past analytical reports, in pdf format, of Cross Creek sampling results for parameters 1 through 9.)

1. Bicarbonate
2. Carbonate
3. Chloride
4. Nitrate Nitrogen

5. Sulfate
6. Total Alkalinity
7. Total Dissolved Solids
8. Total Organic Carbon
9. Total
 - a. Calcium
 - b. Iron
 - c. Magnesium
 - d. Manganese
 - e. Sodium
 - f. Total Hardness
10. Additional data
 - a. Color (monthly)
 - b. UVA-254 (monthly)
 - c. Aluminum (monthly)
 - d. pH (weekly, if possible)
 - e. Temperature (weekly, if possible)
 - f. Turbidity (weekly, if possible)

Quarterly Data

Samples for the following should be collected quarterly for at least one year. The quarterly sampling should be conducted at the same time as the monthly sampling when possible.

1. Total Coliform
2. Nitrate/nitrite
3. Inorganic chemicals (see attached pdf in section 11.19 for the list and more detail)
4. Organic Chemicals (see attached pdf in section 11.21 for the list and more detail)
5. Radionuclides (see attached pdf in section 11.22 for the list and more detail)

Additional Information

All samples should be collected in the proper containers, transmitted to a state-certified laboratory as needed with appropriate protocols, and analyzed within the hold times.

Sampling Locations

Minturn currently has water rights for an area known as Well Field No. 2 along the Eagle River (see attached figure). The future wells are likely to be in this area and water quality data from within this area would be ideal. In addition, the Town has a shallow monitoring well east of the Eagle River that was installed in 2009 that could be sampled for the purpose of evaluating groundwater quality. The monitoring well (shown as MW3 on the attached figure) would need to be developed prior to sampling.

Three proposed surface water sampling locations and one groundwater sampling location are shown on the attached figure. If funding allows, Minturn would like all locations comprehensively sampled per the “Analytes and Sampling Frequency” information. Please review these locations and let us know if there are any concerns regarding access, safety, or otherwise.

If you are aware of water quality data already available for this area, please share this information with Michelle Metteer. And if you have reasons to suggest alternate sampling locations, please also share that with Michelle.

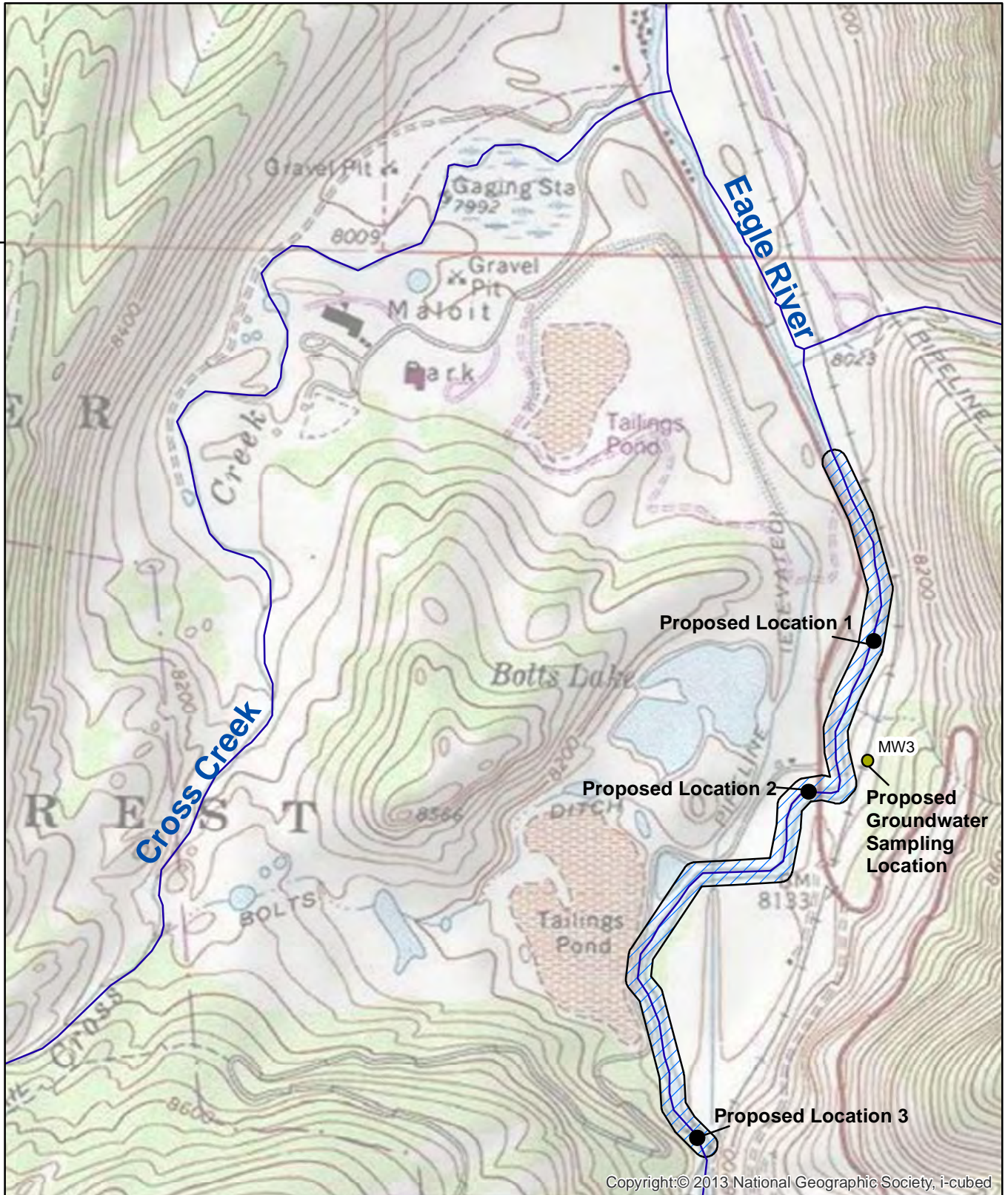
Reporting and Additional Information

SGM will utilize the water quality data for their design work and may ultimately provide the data to CDPHE. The results should be provided to the Town in an electronic format (preferably a spreadsheet) that includes all of the data collected, and for laboratory results standard information such as the analytical method, method detection limit, and other data typically provided in an electronic data deliverable is requested.

It is anticipated that summary reports prepared by Lotic following the quarterly sampling may be helpful, along with scanned field notes. The Town would like a cost for providing this information and will discuss this need further with Lotic after having a better understanding of the potential costs involved.

R81W

T6S T5S



● Monitoring Well Locations

▨ Well Field No. 2 (Eagle River)

0 500 1,000 2,000
Feet



Job No.: 649.1
Date: 3.9.2020
Drawn: CRR

Town of Minturn

Eagle River
Water Quality
Sampling Locations



538 Commons Drive
Golden, CO 80401
(303) 526-2600
www.martinandwood.com

166

Water Tank Questions submitted by George Brodin

How come our water tank needs replacement so soon?

What is the most common type of Water Tank constructed in the US?

In other countries?

I have heard it said the freeze / thaw cycle of our climate shortens the lifespan of the tank. There are tanks all across the country with more severe climates; do they replace their's every 20 years?

Can the Town, at buildout, (infill, Dowd, Maloit Park, and Bolts area) be served from one location? If yes, Where and how big would it need to be?

What additional costs would be estimated if the Tank was located in a different location?

What kind of challenge is it to keep water service while a tank is removed and replaced? How would this work?

What is the difference in, "Time to Construct," if the existing tank is replaced where it is, as opposed to a new tank in a different location?

Bolted Metal?

Welded Metal?

Concrete?

Fiberglass Epoxy Alloy?

What is the difference in Cost to build in a new location and install new fill and transmission lines?

Bolted Metal?

Welded Metal?

Concrete?

Fiberglass Epoxy Alloy?

Are there any grant or incentive dollars associated with construction of one type of tank over another?

Looking ahead to past this corona economic downturn, is there a specific type of tank producing industry that would most likely be getting stimulus money?

(Concrete industry, Steel Industry, Synthetics)

All tanks are assembled in place: What is the lead time to get sections or components for each type of tank?

Bolted Steel?

Welded Steel?

Concrete?



To: Mayor and Council
From: Michelle Metteer
Date: April 1, 2020
Agenda Item: Public Hearings

REQUEST:

Discuss the online meeting process thus far and determine ability to being moving forward with additional town business via the online platform.

INTRODUCTION:

COVID-19 has changed almost all aspects of daily life. With these changes, government business has adjusted by, among other things, conducting public business via an online and telephone platform. This process is a first for Minturn and although governments are not nimble by nature, the adjustments have been *relatively* smooth thus far.

The timeline for getting back to “business as usual” is unknown and staff is seeking direction from Council regarding conducting of government business via the online platform.

ANALYSIS:

Council needs to determine the appropriate balance of moving government business forward along with ensuring public transparency. Although the online meeting platform still allows for TV viewing, the in-person comment and feedback aspect of public meetings has been eliminated. Members of the public have been encouraged to utilize the telephone of online options for participation but it remains to be seen as to the effectiveness of this platform when discussing a variety of different topics but mainly when conducting public hearings.

COMMUNITY INPUT:

Critical

BUDGET / STAFF IMPACT:

None known

STRATEGIC PLAN ALIGNMENT:

This discussion will determine the balance between Minturn’s goal of transparency combined with the need to advance government business.

PRACTICE FAIR, TRANSPARENT AND COMMUNICATIVE LOCAL GOVERNMENT

ADVANCE DECISIONS/PROJECTS/INITIATIVES THAT EXPAND FUTURE OPPORTUNITY AND VIABILITY FOR MINTURN

RECOMMENDED ACTION OR PROPOSED MOTION:

Council to provide direction for policy guidelines pertaining to online public hearings.

Michelle Metteer
Town Manager
301 Boulder St #309
Minturn, CO 81645
970-827-5645 x8
manager@minturn.org
www.minturn.org



Town Council
Mayor – John Widerman
Mayor Pro Tem – Earle Bidez
Council Members:
Terry Armistead
George Brodin
Brian Eggleton
Eric Gotthelf
Chelsea Winters

TOWN MANAGER UPDATE

April 1, 2020

Operations

Town operations have been adjusted to adapt to the changing COVID-19 pandemic response.

- **Communications**
 - Increased E-blast updates with links to additional information
 - Special edition newsletter for COVID-19 and adjustments to the municipal election
 - Coordinating message with ERWSD regarding NOT disposing of disinfectant wipes down the toilet
 - Minturn.org updates and links to critical information
 - Weekly conference calls with Colorado municipal managers, county and state representatives pertaining to COVID-19 response
 - Colorado Municipal League legal support
 - Sandwich board utilization for communicating election information
- **Town Hall**
 - Town hall is temporarily closed. Municipal services remain available via online or telephone.
- **Finance**
 - Budget analysis and projections to begin for determination of cost-cutting options
- **Special Events**
 - Candidate forum cancelled
 - Community dinners cancelled
 - Future events are being reviewed on an on-going basis
- **Code Compliance**
 - Parking restrictions for snow removal have been eliminated/bagged
 - Short term rental inspections are on not being conducted during the Stay at Home order
 - With other duties being temporarily eliminated, Code Compliance has been assisting with the daily school lunch pick up line meal service from 11am to 1pm on Pine Street outside of the town hall.
- **Court**
 - All court-related issues are being handled over the phone or online. Court appearance dates are currently being scheduled to June and after.
- **Planning**
 - Planning is not currently accepting new applications

Jay Brunvand
 Clerk/Treasurer
 301 Pine St #309 ♦ 302 Pine St
 Minturn, CO 81645
 970-827-5645 x1
treasurer@minturn.org
www.minturn.org



Town Council
 Mayor – John Widerman
 Mayor Pro Tem – Earle Bidez
 Council Members:
 Terry Armistead
 George Brodin
 Brian Eggleton
 Eric Gotthelf
 Chelsea Winters

Below reflects proposed topics to be scheduled at future Town Council meetings and is informational only. Dates and topics are subject to change.

REGULAR TOWN COUNCIL MEETINGS	
April 1, 2020	
Special Presentation – Minturn 2020 Community Survey Results – Intercept Insights/Metteer	
Discussion/Direction – Minturn Water Infrastructure Capital Improvement Plan update - RG	
Discussion/Direction – Online Public Hearings – Metteer	
Discussion/Direction – Emergency Funding Requests - Metteer	
April 15, 2020	
Swearing in of new Council members and mayor – Brunvand/Johnson	
Ordinance No. 03 - Series 2020 (First Reading) an Ordinance amending sections of the Minturn Municipal Code pertaining to the “Mountaintop area” - RJP	
Discussion/Direction – Leash Law review – Eagle County Animal Control	
Ordinance No. 04 - Series 2020 (First Reading) An Ordinance Amending Chapter 8 of the Minturn Municipal Code to Adopt the 2020 Model Traffic Code for Colorado with Local Amendments	
Ordinance No. 05 – Series 2020 (Second Reading) An Ordinance of the Town of Minturn enacting a moratorium on the allocation of water taps for new build construction projects requiring more than three single family equivalents (SFEs)	
Discussion/Direction – Emergency Funding Requests program review	
May 6, 2020	
Work Session – Minturn Fitness Center Discussion	
Discussion/Direction – General Fund Capital Improvement Plan Public Comment & Feedback	
May 20, 2020	
Town Council Retreat	
July 1, 2020	
<u>Public Hearing/Action Item:</u> Ordinance 08 – Series 2019 (Second Reading) An Ordinance approving Disconnection of Real Property from the Town of Minturn – Battle Mountain Bolts Lake Property – Sawyer	