



**Planning Commission Agenda
Wednesday September 28, 2022 – 6:30 PM
Minturn Town Hall / Council Chambers
302 Pine St Minturn, CO**

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order and times of agenda items listed are approximate. This agenda and meetings can be viewed at www.minturn.org.

MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/82084301779>

Zoom Call-In Information: **1 651 372 8299 or 1 301 715 8592 Webinar ID: 820 8430 1779**

Please note: all virtual participants are muted. In order to be called upon and be unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

PUBLIC COMMENTS: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner I, prior to the meeting and will be included as part of the record.

- 1. CALL TO ORDER – 6:30 PM**
- 2. ROLL CALL & PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF AGENDA *Opportunity for amendment or deletions to the agenda.***
- 4. DECLARATION OF CONFLICTS OF INTEREST**
- 5. APPROVAL OF MINUTES**
 - 5.1 September 14, 2022
- 6. PUBLIC COMMENT *Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.***
- 7. PLANNING COMMISSION COMMENTS**
- 8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS**
 - 8.1 962 Main Street – Changes to Approved Plans

- 8.2 Ordinance TBD – Series 2022: An ordinance of the Town of Minturn amending Chapter 16 of the Minturn Municipal Code to provide for the addition and inclusion of waterwise landscaping regulations and standards

9. PROJECTS AND UPDATES

- 9.1 Community Plan Update
- 9.2 DRB Moratorium Extension

10. FUTURE MEETINGS

- 10.1 October 12, 2022
- 10.2 October 26, 2022

11. ADJOURN



**Planning Commission Official Minutes
Wednesday September 14, 2022 – 6:30 PM
Minturn Town Hall / Council Chambers
302 Pine St Minturn, CO**

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MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/88688801701>

Zoom Call-In Information: **1 651 372 8299 or 1 301 715 8592 Webinar ID: 886 8880 1701**

Please note: all virtual participants are muted. In order to be called upon and be unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five (5) minutes for public comment.

PUBLIC COMMENTS: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner I, prior to the meeting and will be included as part of the record.

1. CALL TO ORDER – 6:30 PM

Lynn Teach called the meeting to order at 6:30 pm.

2. ROLL CALL & PLEDGE OF ALLEGIANCE

Those present at roll call: Planning Commission Chair Lynn Teach and Planning Commission Members Michael Boyd, Elliot Hovey, Tom Priest, Sage Pierson, and Jeff Armistead.

Staff Members Present: Town Manager Michelle Metteer, Town Planner Scot Hunn, and Planner I Madison Harris.

3. APPROVAL OF AGENDA *Opportunity for amendment or deletions to the agenda.*

Scot H. suggested having 162 Main Street and 542 Main Street switch places on the agenda.

Motion by Jeff A., second by Sage P., to approve the agenda as amended. Motion passed 5-0.

Note: Sage P. is attending in her status as an alternate.

4. DECLARATION OF CONFLICTS OF INTEREST

No conflicts of interest.

5. APPROVAL OF MINUTES

5.1 July 27, 2022

Motion by Jeff A., second by Michael B., to approve the minutes of July 27, 2022 as presented. Motion passed 5-0.

Note: Sage P. is attending in her status as an alternate.

- 6. PUBLIC COMMENT** *Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.*

Kelly Toon, 531 Main Street.

As a representative of HPC, a neighbor came to him to save a barn at 25 Harrison. The owner wants to save and move it, there just needs to be a location. There have been ideas of creating a concession stand at the Bike Park or Little Beach Park. The barn is over 100 years old. The owners eventually want to do a deck addition, but this structure is in the way. Would love to see this structure used, rather than salvaged for materials. Looking for ideas of where to put this and what to use it for. It should be somewhere people can see it. It is one of the oldest structures we have in this Town. The owner has mentioned that he is willing to put up some funds to help with this.

7. PLANNING COMMISSION COMMENTS

Lynn T. would like to remind people that the Community Plan Update is ongoing. The draft plan is being reviewed at Council on Sept 21, and there is an open house on September 27 at 7 pm.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

8.1 162 Main Street – Enlarged Windows

Madison H. introduced the project. Two windows are being enlarged 6” lengthwise for better egress.

Public comment was opened.

No public comment.

Public comment was closed.

Motion by Jeff A., second by Elliot H., to approve 162 Main Street – Enlarged Windows with no conditions. Motion passed 5-0.

Note: Sage P. is attending in her status as an alternate.

8.2 542 Main Street – New Single Family Residence

Scot H. introduced the project. The Applicant, Lisa Keogh, is requesting Final Plan review of a new, three-bedroom, 2,615 square foot single-family residence located at 542 Main Street in the Old Town Residential Zone District. There is a single-family home originally constructed in 1935 that sits in the middle and toward the front of the lot, along with one detached accessory structure located along the northern boundary of the property. The Applicant currently resides in the existing single-family home and plans to turn the existing residence into an Accessory Dwelling Unit (ADU) after constructing a new primary residence behind the existing home. The plans for the new

home show a two- to three-story, three-bedroom structure with a maximum building height - measured to the midpoint of the roof - just under the maximum allowable 28-foot limit within the Old Town Residential Zone District. The designer in this case has presented a plan that respects the scale and massing of the existing single-family structure on the lot by maintaining floor to floor plate heights (10'), carrying existing eave lines through to the new structure, and through the design of roof forms which reflect and respect the proportions of the existing one-story structure while gradually stepping the new structure up to two stories above existing grade before stepping roof forms down at the rear of the building with a substantive, prominent roof form covering a porch element that is supported by stone columns and which wraps around the south side of the structure. Proposed roof forms and pitches, as well as exterior materials and textures, provide variety and visual interest and are compatible and complementary to the surrounding built and natural environments. Concerning the encroachment into the sewer easement, staff has received confirmation from ERWSD that their application for encroachment was approved on August 24, 2022 after the Town Engineer reviewed the plans. Staff is waiting on the executed agreement. Staff has spoken with or corresponded with the Applicant and the project Surveyor, Matt Slagle, multiple times to better understand the history of surveys that have been conducted at 542 Main Street, the consistency of those surveys over the years, and, importantly, the consistent nature of the demarcation of the High Water Mark on the subject property over multiple years and on multiple different surveys. Staff believes that the survey work performed for this project is accurate and that no evidence to the contrary has been presented in this case. Staff conferred with the Assistant Town Attorney regarding the status of the "quiet title" parcel which is owned in common by the Applicant and which is contiguous to the main parcel. It was confirmed that, due to the language of the court decree granting the quiet titled property to a previous owner, and despite the fact that Eagle County GIS and Assessor shows (and taxes) the two parcels as one parcel, the two parcels must be formally, legally combined. At the same time, staff confirmed with the Assistant Town Attorney that such action (a minor subdivision to eliminate the common property line between the two parcels) can be completed as a condition of DRB approval of final plans for 542 Main Street. Staff is of the opinion that the proposed design does comply with the intent of the Town's building height regulations, as well as the methodology employed by the Town, historically, in determining 1) mid-point of roof elements around a structure, and 2) existing or proposed grade around a structure. Staff has proposed four conditions that we believe allows this project to comply with the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code.

Michael B. clarified that we are using the definition of Ordinary High Water Mark.

Lynn T. clarified that potential reduction in parking.

- Scot H. said that they are showing four, but only need to provide three, so can make one of the spaces pervious.
- Elliot H. is in favor of more pervious area.

John Martin, PO Box 4711, Eagle CO, Representative of the Applicant.

As an architect, there are a lot of parameters that a project must be designed in. The lot size that they worked with was the combination of the original lot and the quiet title parcel as they were bought together and were surveyed together. A lot of thought went into the design of the structure. Would ask that the Planning Commission consider a final approval tonight. There has been much work with the Town, and it should not be thrown off by neighbors challenging. All the architecture and what they are asking for fits within the code. The new structure is not overbearing the original structure. The butterfly roof is situated best for solar panels. This is a modern take on historic architecture.

Michael B. stated that the design of the house is beautiful. The reason structures are stepped is so someone doesn't take a ridgeline through the whole structure and only use the least restrictive point. Clarified where the sewer easement is in relation to the building. Has no issue with the design. The biggest question is trying to grasp where the High Water mark is. Believes it to be where the wood fence at the back of the property ends. We might need to look.

Sage P.'s only problem is the encroachment, but loves the design.

Lisa Keogh, 542 Main Street, Applicant.

Gave her presentation which is attached as an appendix to these minutes.

Michael B. would like to reassure Ms. Keogh that the combining of lots is not specific to her as he had to do that with his property. ILC's will be required during the build, as they are for everyone.

Sage P. likes the design.

Lynn T. clarified that we are not increasing residential height limitations.

Public comment opened.

Mark Sullivan, 532 Main Street.

Asked for 30 minutes of comment time and was granted it by the Commission. The goal is not to stop a building from being built, but would like it to be built within the limits of the code. Would like to discuss the Ordinary High Water Mark. The definition comes from the Army Corp of Engineers. The Ordinary High Water Mark for 542 Main should be on the bank of the river. There are different stages of flooding and the Ordinary High Water Mark typically is located at the medium flooding location. Believes the Ordinary High Water mark is where the old fence is. Need to protect the riparian corridor. Has some reports to submit for the record on how the Ordinary High Water mark is determined. Would also like to discuss the building height calculation. Believes the house is more than 28'. There is impact to the views.

- Michael B. explained how he believed the building height was calculated.
- Mr. Sullivan thinks the whole building should be under 28' rather than just the midpoint of the building. It is in the applicant's interest to replat the property. Would like to request a provision that requires the building to come back should

the new plat not be what is expected. The Ordinary High Water Mark needs to be put in the right place.

Kelly Toon, 531 Main Street.

Likes that the existing house is remaining. Would like to confirm that this is a slab on grade project with no basement because the ground water in the area is high. He has a stream running through his basement which flows through her property. What happens if this stream backs up?

- Mr. Martin said that careful attention will be paid to the high water table and will get a soils engineer to design an underslab de-watering system and daylight by the river.
- Mr. Toon has concerns on who is responsible should that underground stream be backed up. Also concerned about the fact that while the parking is in check via the code, she has had seven cars parked there before, parking at the lot next door, in front of her house, and filled up her driveway. According to the parking study, this block is always filled with parking, as they provide parking for two restaurants and all of the residences on this block. If the building trend continues allowing people to build twice the number of bedrooms, but not enough parking, then there will be issues.

Eric Gotthelf, 541 Main Street.

Likes what Lisa has done to the existing house, and likes the new plans. Has no problem with it. Throwing his support behind the project. This brings a lot of value to Minturn and home prices of the neighborhood.

Liz Campbell, 512 Main Street.

Would like to address the height, the riparian area, and the parking. At the time when this lot was sold, the previous owner was required to repair the terrace area in the 30' setback. According to the pictures shown by Ms. Keogh, there is no vegetation back there. Agrees with Michael B. and Mr. Sullivan where the Ordinary High Water mark is. Three parking spaces are not adequate. She has had to get the Sheriff's Office and CDOT involved for enforcement. If there are any construction vehicles on the road during the building of this, the Sheriff's and CDOT will be called.

Public Comment closed.

Note: 5 minute recess called at 8:39 pm.

Tom P. asked what the Ordinary High Water Mark is for the adjacent properties. The legal definition needs to be resolved. The height is very similar to what has been approved in the past year, and we are arguing about this again. Would like to amend the code to make this clearer. The plans are currently within code as it is written. If a final plat is required, then a final plat is required. The parking issue is a non-stop theme in the Town, but since this falls within the Code, then they can approve it. We need to avoid this continual back and forth on how building height is measured, and need to find out where the high water mark and ordinary high water mark is.

Elliot H. stated that there is too much in question right now. If things fall within the

parameters, then that is where they lie. If there are questions, then we need to document and improve those so that we can move things along later. The integrity of the commission needs to stay in place.

Jeff A. has experience with High Water Marks and they are somewhat subjective. It would be very telling if we could look at surveys from the neighboring properties. The stance that the Town is taking, is that the documents where the surveyor puts their stamp on it, they are legal documents. We can't review an application on where the high water mark should be. There is a survey that lays out where the high water mark is. Would like to suggest that there be some common ground found between Ms. Keogh and Mr. Sullivan. Would like to understand that if the high water mark moves, then does the house still work? In terms of the building height, we have historically interpreted the code similarly to how Mr. Martin has drawn it. Does not agree with Mr. Sullivan's interpretation of the Code. If the lot was graded differently, then the house could still remain the same size. Questions whether the chimney is allowed to be a big as it is. The impervious surface calculations are close and maybe the parking area should be reduced. Wants to ensure that the math is working. Has questions about where the fourth property pin is. View corridors are not typically considered as a constraint or limitation of approval as long as the building conforms to the code. The High Water mark is a big issue. We don't have any hard code that says you can't mow your lawn, just trying to promote it in Town.

- Scot H. clarified that chimneys can exceed the height limit.

Michael B. agrees with Jeff A., Tom P., and Elliot H. The roof issue is minimal. He recommends that Jeff Spanel, our Town Engineer, should be a chosen party to survey where the High Water Mark is. In an effort to stay out of litigation, that we have Jeff Spanel survey. Believes a site visit is justified.

Lynn T. agrees with everything being said about the high water mark. Agrees with staff's measurement of the building. Would like to see the lots combined so that no parking space is lost.

Public comment opened.

Ms. Keogh has concerns about how long this process will go on since there have been multiple surveys that all say generally the same thing. They do not have seven cars.

Liz Campbell, 512 Main Street.

There is no parking on the 500 Block and there is an ordinance that prevents people from removing vegetation.

Public comment closed.

Scot H. pointed out that the survey was reviewed by the Town Engineer and no red flags were thrown up. A certified surveyor put this topo together.

Sage P. asked for the timeline of building

- Ms. Keogh stated that she is looking to excavate and pour concrete before

winter.

Jeff A. stated that we have professional surveys that we rely on. There are multiple surveys spanning 15+ years that show the high water mark relatively in the same place. If we can get our hands on surveys of properties to the north and south, then we can make an informed decision.

Michael B. thinks we should have a site visit where the site is staked.

Motion by Jeff A., second by Elliot H., to continue 542 Main Street to September 28, 2022. Motion was withdrawn.

Motion by Jeff A., second by Lynn T., to approve with conditions 542 Main Street. Motion was withdrawn.

1. The Applicant shall address comments and recommendations by the Town Engineer, Intermountain Engineering, dated August 19, 2022, and shall revise and update the final plans accordingly prior to or concurrent with any building permit application submission.
2. The Applicant shall complete a Minor Subdivision to combine the two parcels that constitute Parcel No. 2103-263-01-013 per the Eagle County Assessor's Office prior to any building permit application being accepted by the Town.
3. Prior to or concurrent with building permit application submission, the Applicant shall provide a construction management plan that, in addition to details of staging, erosion control, trash and site management, and will address how certain improvements will either be removed or constructed in close proximity to adjoining properties.
4. Prior to or concurrent with building permit application submission, the Applicant shall provide documentation for any required encroachment agreement(s) with the Eagle River Water and Sanitation District for any improvements within the platted sewer easement.
5. The Town Engineer/Surveyor does a new survey and determines where the high water mark is once and for all, and would like to investigate the surveys of the neighboring properties.

Michael B. thinks due to the potential liability, this property should be surveyed and staked so that we have a legal document.

Ms. Keogh asked what the point is of trying to find someone who will say something different than 15 years of survey work. Where does it end?

- Jeff. A thinks this sets a precedent, but it is a good idea. This is the safest direction to go with the dispute.

Motion by Jeff A., second by Lynn T., to approve with conditions 542 Main Street. Motion passed 5-0.

Note: Sage P. is attending in her status as an alternate.

1. The Applicant shall address comments and recommendations by the Town Engineer, Intermountain Engineering, dated August 19, 2022, and shall revise

- and update the final plans accordingly prior to or concurrent with any building permit application submission.
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 3. Prior to or concurrent with building permit application submission, the Applicant shall provide a construction management plan that, in addition to details of staging, erosion control, trash and site management, and will address how certain improvements will either be removed or constructed in close proximity to adjoining properties.
 4. Prior to or concurrent with building permit application submission, the Applicant shall provide documentation for any required encroachment agreement(s) with the Eagle River Water and Sanitation District for any improvements within the platted sewer easement.
 5. No building permit will be issued until the Town chooses a licensed surveyor as laid out in the definition of Ordinary High Water Mark by Sec. 16-2-20 of the Minturn Municipal Code to survey where the Ordinary High Water Mark is located. Staff will review, and if there are any major discrepancies between where the marks are currently shown on the existing survey and the new survey, then the project will come need to come back to the Planning Commission.

9. PROJECTS AND UPDATES

9.1 Historic Preservation Commission

The Historic Preservation Commission ("HPC") has been meeting the 2nd and 4th Tuesdays of the month. Starting in October they will move to meeting only on the 3rd Tuesday of the month. Ken Halliday was appointed to the position of Chair of the HPC, and Larry Stone was appointed to the position of Vice-Chair of the HPC.

9.2 100 Block Design Guidelines

At their regular meeting on September 7, 2022, the Town Council gave feedback to staff and decided to continue Ordinance 11 - Series 2022 to October 19, 2022 to allow staff and consultants time to make final edits based on their discussion at the meeting and present a clean draft for adoption. Staff is working diligently with Cheney Bostic, StudioSeed, the Town Engineer, CDOT, the Fire Department, and other various people to bring forth usable guidelines that give clear direction to any property owner that wants to do something on their property.

10. FUTURE MEETINGS

10.1 September 21, 2022 – Joint Town Council and Planning Commission Meeting

10.2 September 28, 2022

10.3 October 12, 2022

11. ADJOURN

Motion by Michael B., second by Jeff A., to adjourn the regular meeting of September 14, 2022 at 9:53 pm. Motion passed 5-0.

Note: Sage P. is attending in her status as an alternate.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director



542 Main Street – Minturn, CO

Location of proposed build



Neighbor to the South



Neighbor to the North

PROJECT ADDRESS: 542 Main Street

Key Points –Background

*Prior to purchase June 2019, review with town planner discussing parameters of new build & addition reviewed & confirmed. No square footage, no boundaries, no easements or setbacks have changed or modified since this timeline. Noted & documented. Over 8100 sq ft lot purchase completed with small 2/2 cabin. July 2019

*Prior two years (2020-2022) working with planner, architect, surveyor & civil engineer to ensure all guidelines and processes followed including setbacks, impervious coverage, easements & max build height restrictions are followed. Review & approval from all licensed and tenured professionals within their respective field (s).

Summary- Removing an old dilapidated barn currently eroding and building a beautiful new structure utilizing the available footprint purchased in 2019. Following all setbacks and building parameters.

Voiced concerns:

1. High Water Mark (HWM) – Slide #5 no relevance
2. Quiet Title – Slide # 6 no relevance- administrative
3. Max Building Height & Visibility – Slide #7 no relevance
4. Survey Street rebar & code violation fence locations – Slide #10, #11 no relevance
5. Blocking View of Neighbor – Slides # 5-8 no requirement nor relevance
6. Sidewalks – No sidewalks located on north side of property. No relevance – 70sq ft missed in initial site plan (both sides of front porch) has been added. No relevance
7. Impervious coverage and build coverage No relevance

No relevance found 2006 or 2021 HWM – both outside site plan ?

BOOCO'S 2ND AL TOWN OF MINTURN, COUNTY OF EAGLE

2006
hwm
7843

2021
hwm
7841

CENTERLINE OF SEWER EASEMENT RECEPTION No. 899588, DETERMINED BY 1 FOOT SOUTHERLY OFFSET FROM CENTER OF SEWER MANHOLE LIDS SURVEYED EACH SIDE OF LOT 4 – THIS SURVEYOR HELD THIS LOCATION AS THE MOST RESTRICTIVE OPTION DUE TO THE FACT THAT THE ACTUAL BURIED SEWERLINE WAS NOT EXPOSED.

PLEASE SEE ARCHITECT'S SITE PLAN FOR FURTHER DETAIL.

LINE USED FOR SEWER EASEMENT

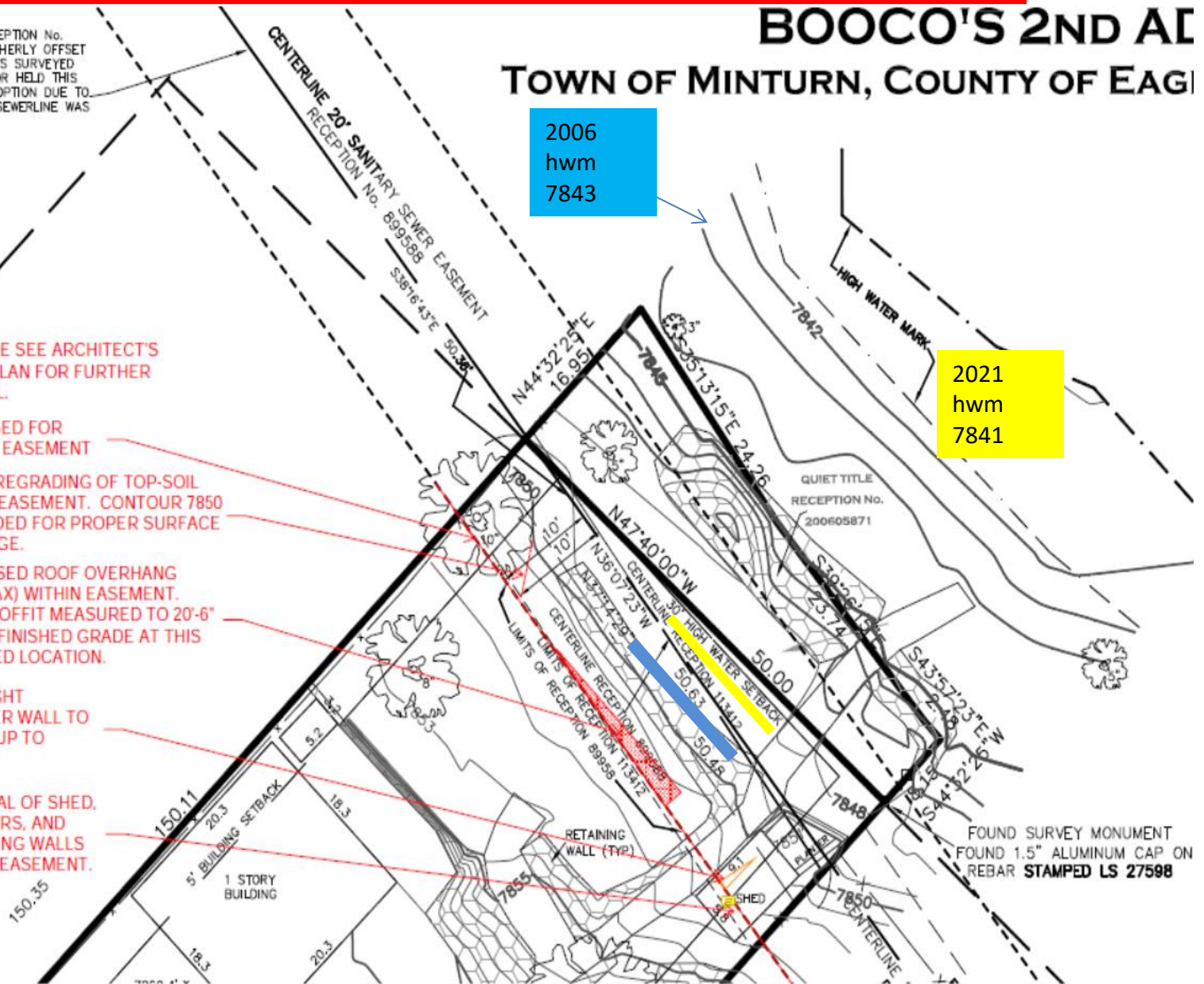
MINOR REGRADING OF TOP-SOIL WITHIN EASEMENT. CONTOUR 7850 REGRADED FOR PROPER SURFACE DRAINAGE.

PROPOSED ROOF OVERHANG (2'-6" MAX) WITHIN EASEMENT. ROOF SOFFIT MEASURED TO 20'-6" ABOVE FINISHED GRADE AT THIS HATCHED LOCATION.

18" HEIGHT BOULDER WALL TO CATCH UP TO GRADE

REMOVAL OF SHED, PLANTERS, AND RETAINING WALLS WITHIN EASEMENT.

LOT 3



Quiet Title:

- Property purchased as **ONE** unit and/or **ONE** lot 2019 – NOT a purchase of two. Survey, deed & title confirmed. See Eagle County Records. One tax record & ID
- Land Title Documents titled, surveyed & deeded as **“TOGETHER AS ONE “**- Quiet title reception: 200605871
- Eagle County Records **ONE** lot @ .186 acres (denote exact as all displayed on survey’s & site plans)

Additional information:

.014 Acres along river in concern – **The area alone by itself cannot be further developed and/or sold (alone).** It is considered **one** as outlined in all title, deed and recorded legal documents as such.

If interpretation from Town recommends or suggest best practices & replat this late in the game, it is non-issue delaying approval as administrative task (with additional & associated costs).

Max Building Height & Visibility Concerns

1. Followed trend of modern design with butterfly roof – **consistent** with numerous homes designed, approved, built and in development currently within Minturn last 5 (five +) years. On street and on river lot locations. As a side note, Vail & surrounding areas 33 ft +, Minturn code is in process of changing (increasing height).
2. ***Please note building height of proposed new structure is 10 + ft. lower than current structures directly north and north east from concerned neighbor (s). Also, 15 + feet lower than the Enclave neighbors to the South. Photo slide 16***
3. In following parameters of new setbacks, barn will be removed from property line and new structure moved 5 feet further south allowing for improved snow storage and visibility for our northern neighbor. See illustration #1 overlay – major improvement. Slide 8 to follow
4. Views will actually improve for neighbors. Slide 8 to follow
5. New proposed structure is slightly taller than current & existing one level structure facing Main Street. See illustration Slide 9 (4’ 9”)

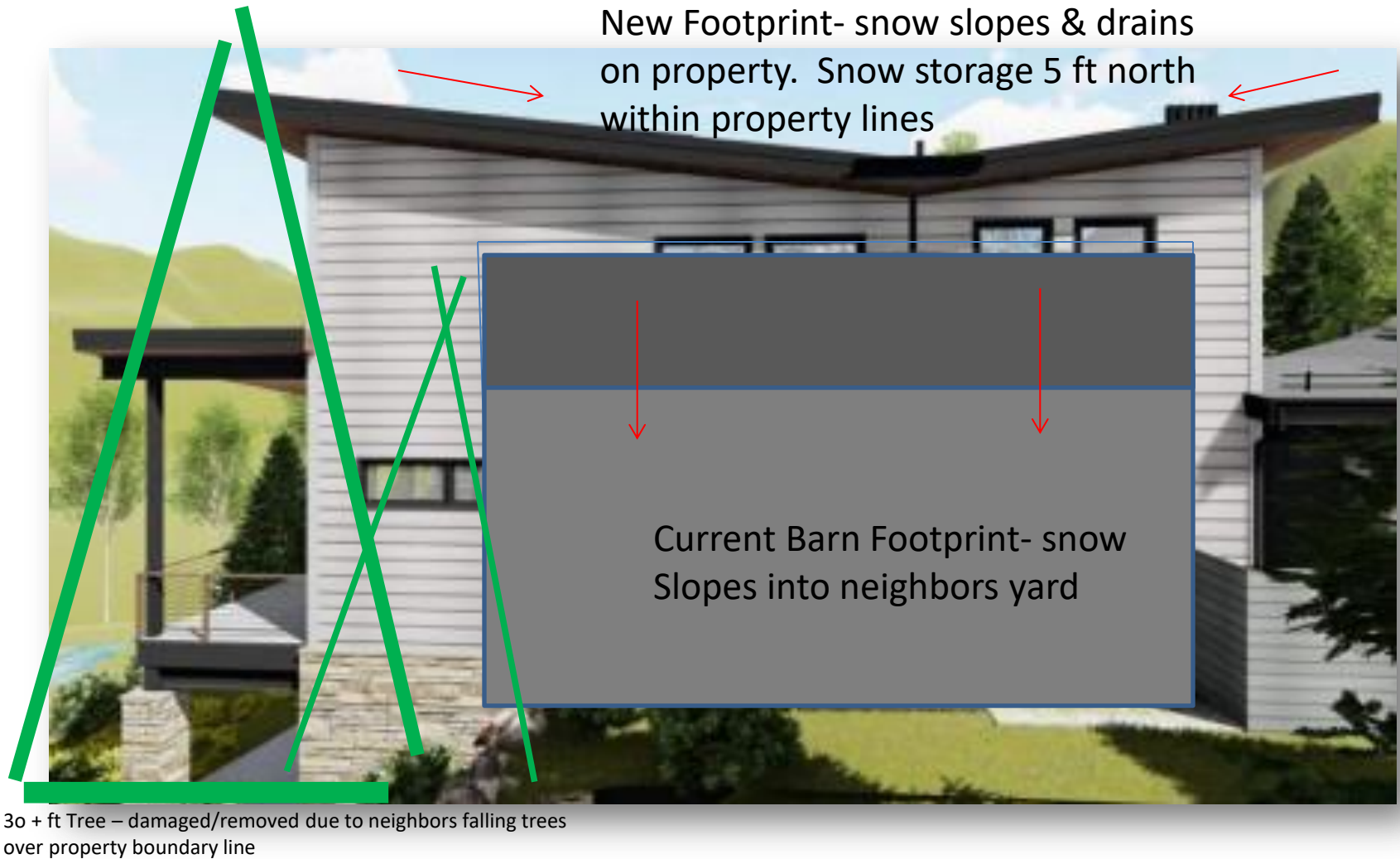


Illustration #1



Illustration #2A



Illustration #2B

Survey Concerns:

In hand, we have four surveys and one topography. Lots of time and monies spent to ensure accuracy for new build.

- 1. 2006, 2013, 2019 Peak Consulting & 2021 Slagel Survey – no discrepancy with rebar locations and survey markings. See property lines.*
- 2. 3 of 4 property corners located – all within 2” of all platted locations referenced above*
3. Sewage Easements-concerns with intruding into sewage easement? Any encroachment was submitted to ERWD and approved with condition. No issue. Actually, much improvement to site by removing old shed & eroding railroad ties.
SE corner
4. Site plan has been developed for all water and drainage to stay within lot parameters- no issue to adjoining properties whatsoever. No concerns.
5. Concern over E/W fence on Northside of property and concern over 2021 survey validity? Peak Consulting denotes same info shown next slide on 2006,2013, 2019

LINE TABLE			
LINE	LENGTH	BEARING	
L1	16.95'	N44°32'25"E	
L2	24.26'	S35°13'15"E	
L3	23.74'	S39°26'15"E	
L4	2.48'	S43°57'23"E	
L5	8.15'	S44°32'25"W	

The dilapidated stick fence outlining adjoining driveway is shown on Northern neighbor property. X---X---X

The new pine fence is clearly shown on site plan for new build. Fence is facing south, backside facing north. Ie -angle lots X---X---X Previous owner installed 542 Main

Side note- somebody other than 542 Main property owner has added lattice to top of fence violating code of 6 ft height max. Lattice is on north side of our fence. We will remove and bring to code during build process.

Concerns over blocking views? Non relevant – no issue



Southeast view towards northern neighbors – before 32'
+ tree damaged by neighbors & removed

Concerns over blocking views? Non relevant – no issue



View to west (take from mountains)
Zero or limited view



View to northwest (taken from mountains)
Zero or limited view

Current View or lack thereof from northern neighbors – toward east or mountains and towards south to proposed build



View from northern neighbors from their backyard towards mountains. 40-50 ft trees non pruned or landscaped. Many severely sick, rotten and non maintained.

Zero or limited view



View from northern neighbors backyard south to proposed build. View is limited over the current garage and northern neighbors shed. Major improvement in visibility & drainage with new proposed site plan.

Zero or limited view

Roof height example direct to North of concerned neighbor – the roof depicted here is over 10'+ higher than proposed new build to south (Same as home direct to NE of concerned neighbor – 10'+)



Summary:

Project collaboration over 2 + years cautiously within the Town of Minturn guidelines, planner & staff. Time, energy, and monies with all pre-development Geo, Survey's, Architect, Planning & Zoning. All very experienced professionals within respective field.

Major improvement removing eroded buildings & grounds. Replacing with new build - major improvement of snow storage, drainage & visibility for northerly neighbor with new 5 ft. setback guidelines.

No need for step down as lot is not greater than 10%. Butterfly roof utilized for advanced drainage opportunities & to eliminate any obstruction value (s). The roof proposed was approved during development discussions & consistent with numerous homes built and current developments within town of Minturn. The roof in discussion is over 10 ft lower than the (2 homes) to the direct north and NE of concerned neighbor. The concerned neighbors will see well increased views as well as dramatic increase in property value (s).

We have discussed & addressed all voiced concerns noting zero relevance and/or reasoning for non-approval or further delay.

1. High River Mark – no relevance
2. Quiet Title – no relevance, administrative task
3. Max Building Height – no relevance
4. Survey Street rebar & fence locations – no relevance
5. Blocking View of Neighbor – no requirement nor relevance
6. Sidewalks- No relevance

What am I missing? Any questions?

Thank You!

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Elliot Hovey
Sage Pierson
Tom Priest

To: Planning Commission
From: Madison Harris, Planner I
Date: September 28, 2022
Re: 962 Main Street - Changes to Approved Plans

Warner Hopkins, representative of 962 Main Street, received approval from the DRB on February 23, 2022 for a new single family house. Upon further review with the property owner, certain elements of the approved plans have been changed.

Per the Applicant’s letter of intent, the following is a description of the proposed changes:

“The Owner has gone through several design revisions, specifically focused on decreasing the size of the home without losing the required elements. The overall massing of the home remains the same but there were several elements which went through revisions.

-The lower level will remain unfinished.

-The 3 car garage shrunk to a 2 car with a covered front patio which is experienced as you approach the front door.

-The home was squeezed to reduce the square footage.

-The pool was removed due to complications with the Energy Offset Program.

-Removal of the snowmelt around the project with the exception of 648 SF of snowmelt in the steeper section of the driveway.”

The lot coverage has changed from 3,367.4 sq. ft. to 2,755.7 sq. ft., and the impervious coverage has changed from 4,519.6 sq. ft. to 3,511.7 sq. ft. The back patio and deck have become smaller, pulling away from the rear property line. The removal of the pool also helps to account for this reduction in impervious area. The plans still show four parking spaces, two in the garage, and two in the driveway which still meets the code.

Staff believes that the proposed modifications will not change the project’s conformance with the applicable standards of Chapter 16 – *Zoning*, or Appendix ‘B’ – *Design Standards and Guidelines* of the Minturn Municipal Code.

Staff is recommending **approval**.



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Project Location

Street Address:

Zoning:

Parcel Number(s):

Application Request:

Applicant:

Name:

Mailing Address:

Phone:

Email:

Property Owner:

Name:

Mailing Address:

Phone:

Email:

Required Information:

Lot Size:	Type of Residence (Single Family, ADU, Duplex)	# of Bedrooms	# On-site Parking Spaces
# of Stories:	Snow storage sq ft:	Building Footprint sq ft:	Total sq ft Impervious Surface:

Signature:

Fee Paid: _____ **Date Received:** _____ **Planner:** _____

TAB Associates, Inc.

The Architectural Balance

0056 Edwards Village Boulevard
Suite 210, Edwards, Colorado 81632
(970) 766-1470 (970) 766-1471 fax
www.tabassociates.com tab@vail.net



Letter of Intent

Project: Woodruff Residence 962 Main Street

Project No: **2107**

Date: September 1, 2022

Modification to Approved Plans.

The Owner has gone through several design revisions, specifically focused on decreasing the size of the home without losing the required elements. The overall massing of the home remains the same but there were several elements which went through revisions.

-The lower level will remain unfinished.

-The 3 car garage shrunk to a 2 car with a covered front patio which is experienced as you approach the front door.

-The home was squeezed to reduce the square footage.

-The pool was removed due to complications with the Energy Offset Program.

-Removal of the snowmelt around the project with the exception of 648 SF of snowmelt in the steeper section of the driveway.

Original Application

Date: January 25, 2022

The existing home was built around 1985 and no longer meets the needs of the Owner. They love the location and the Town so instead of relocating they want to rebuild.

The existing building is starting to deteriorate and would require substantial renovation.

The new single family house home accommodates the family while being much more energy efficient. The design is in the more modern style which the family appreciates and the home will be quite a bit larger allowing for family growth. The cars will be housed in the garage instead of surface parking and the family dreams of having a pool.

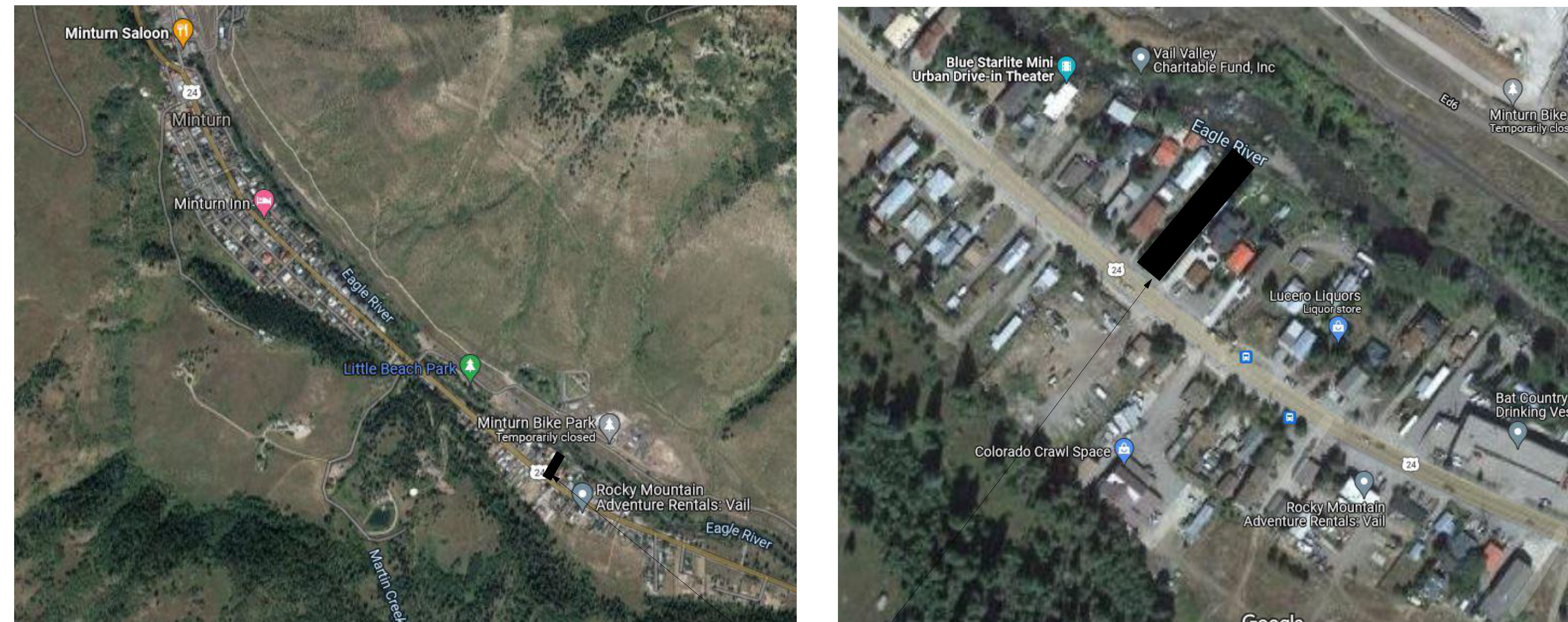
All existing easements/setbacks will remain in place.

The driveway is a item for discussion as the family would appreciate a variance to allow them to maintain the existing driveways steep slope (16%) instead of having to regrade the entire drive and add steps between the garage and the residence. The driveway is scheduled to be snowmelted which will help with the steep slope. Regardless they have been in this residence for quite a few years and have not had issues with getting off the property due to the steepness of the slope. With the new design it allows them to turnaround on property instead of having to back out onto the road.

RDBS Residence

962 Main St

Minturn, CO 81645

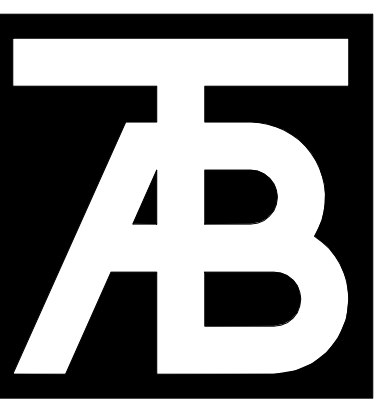


VICINITY MAP
SITE LOCATION

Construction Documents Rev 1

6/7/22

Zoning Requirements
 Zone District - South Town Residential
 Lot Size - 0.2393 Acres (10423.9 S.F.)
 Lot Frontage - 48'-2"
 Setbacks (Front - 20')
 Building Height - 27'-11 5/8"(28' Max)
 Living Floor Area - 3,505.5 SF
 Gross Floor Area - 5,649.0 SF
 Site Area for Proposed Site Coverage by all Primary and Accessory calcs - Site Area - 9,550 SF
 Impervious Coverage - 4,304.3 SF (Max 50% - 4,775)
 Structures - 2,755.7 SF (Max 40% - 3,820)
 Parking Spaces 6 spots (2 Enclosed, 4 surface)



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 (970) 766-1470
 fax: (970) 766-4471
 email: tab@tab.net
 www.tabassociates.com
 Civil Engineer
 Structural Engineer
 Mechanical Engineer
 Electrical Engineer

Seal

962 Main Street
Minturn, CO 81645
 South Minturn, CO

Revisions:		
No	Description	Date

Issue Dates:
 SD - 01/26/22
 CD - 05/04/22
 CD R1 - 06/07/22
 Rev3 - 08/31/22

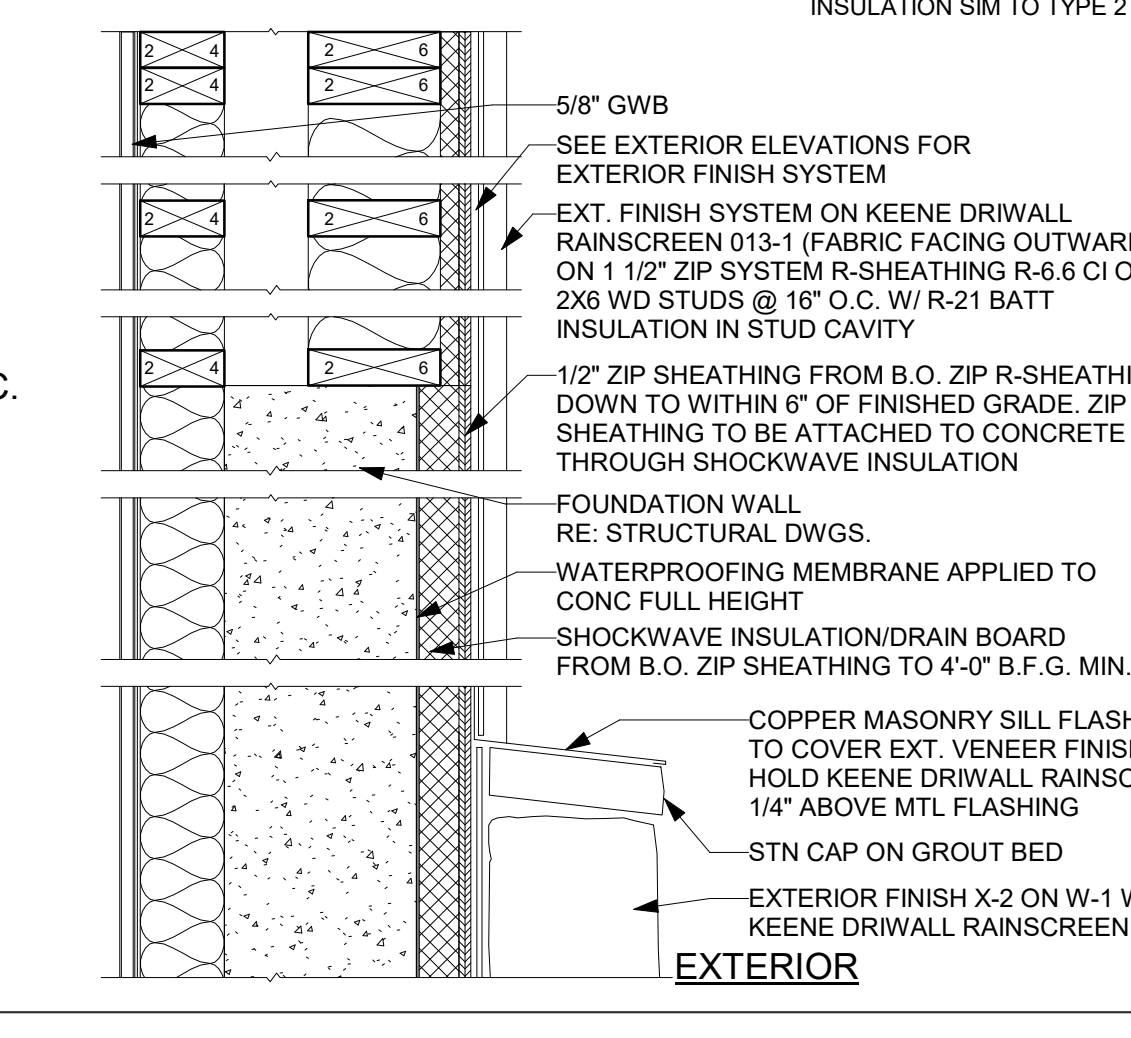
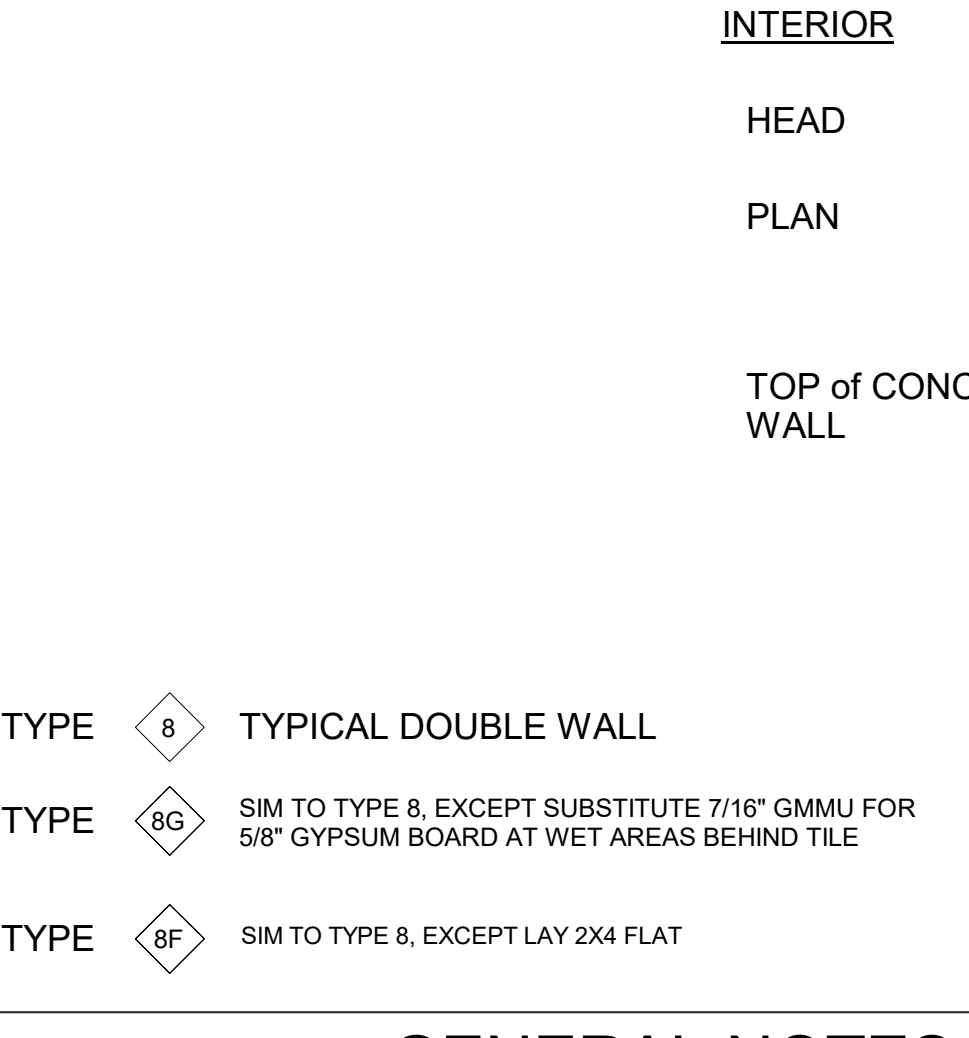
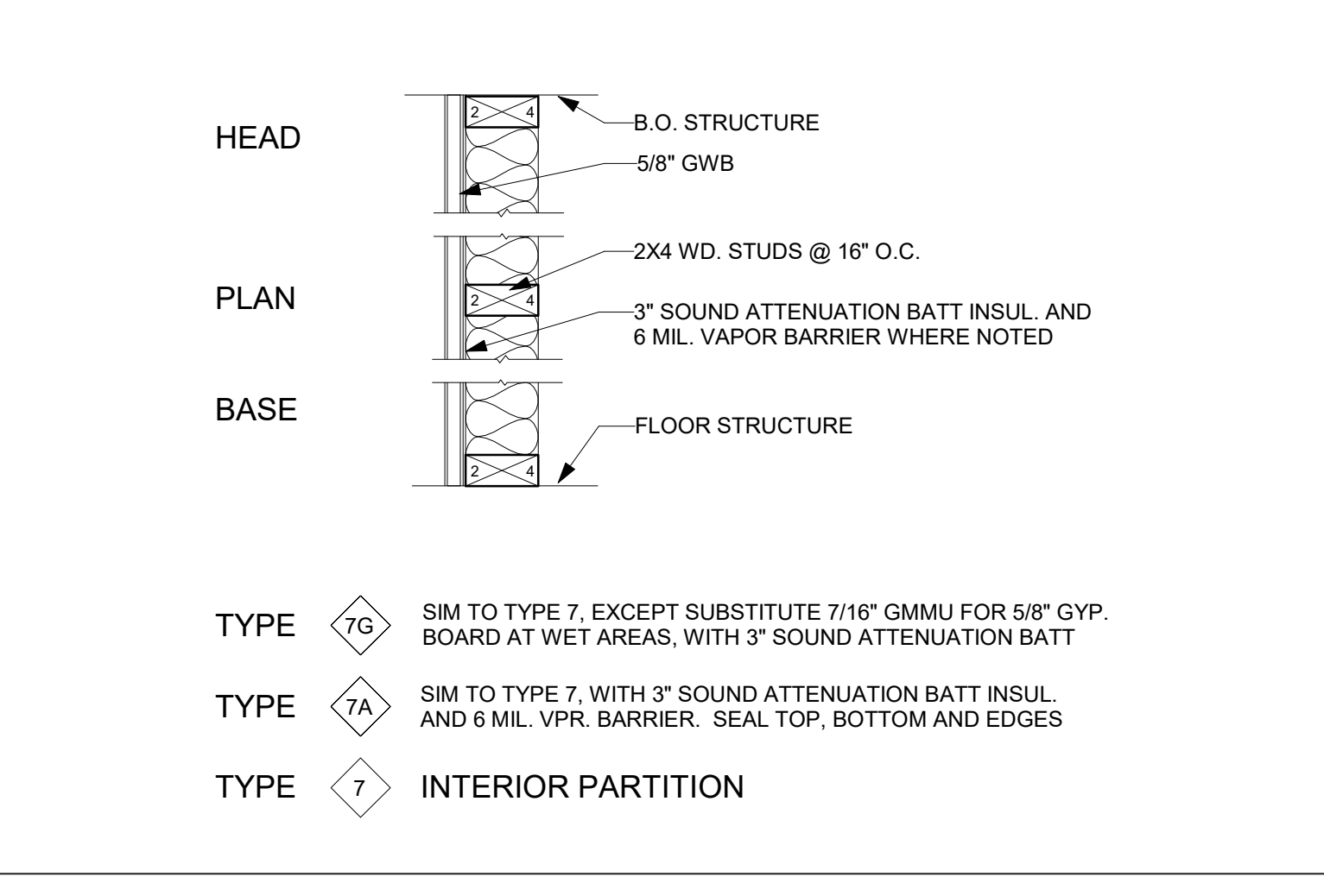
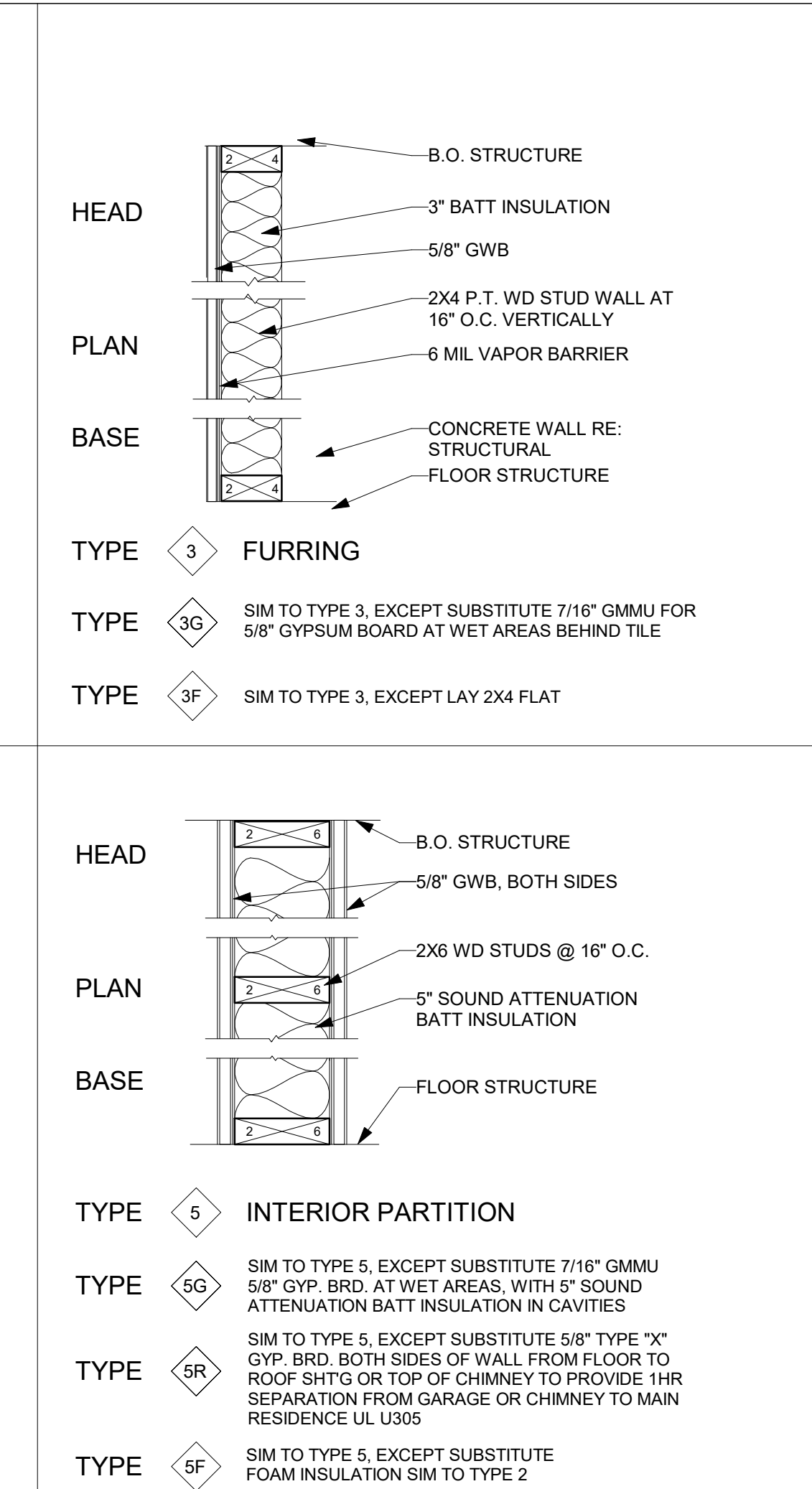
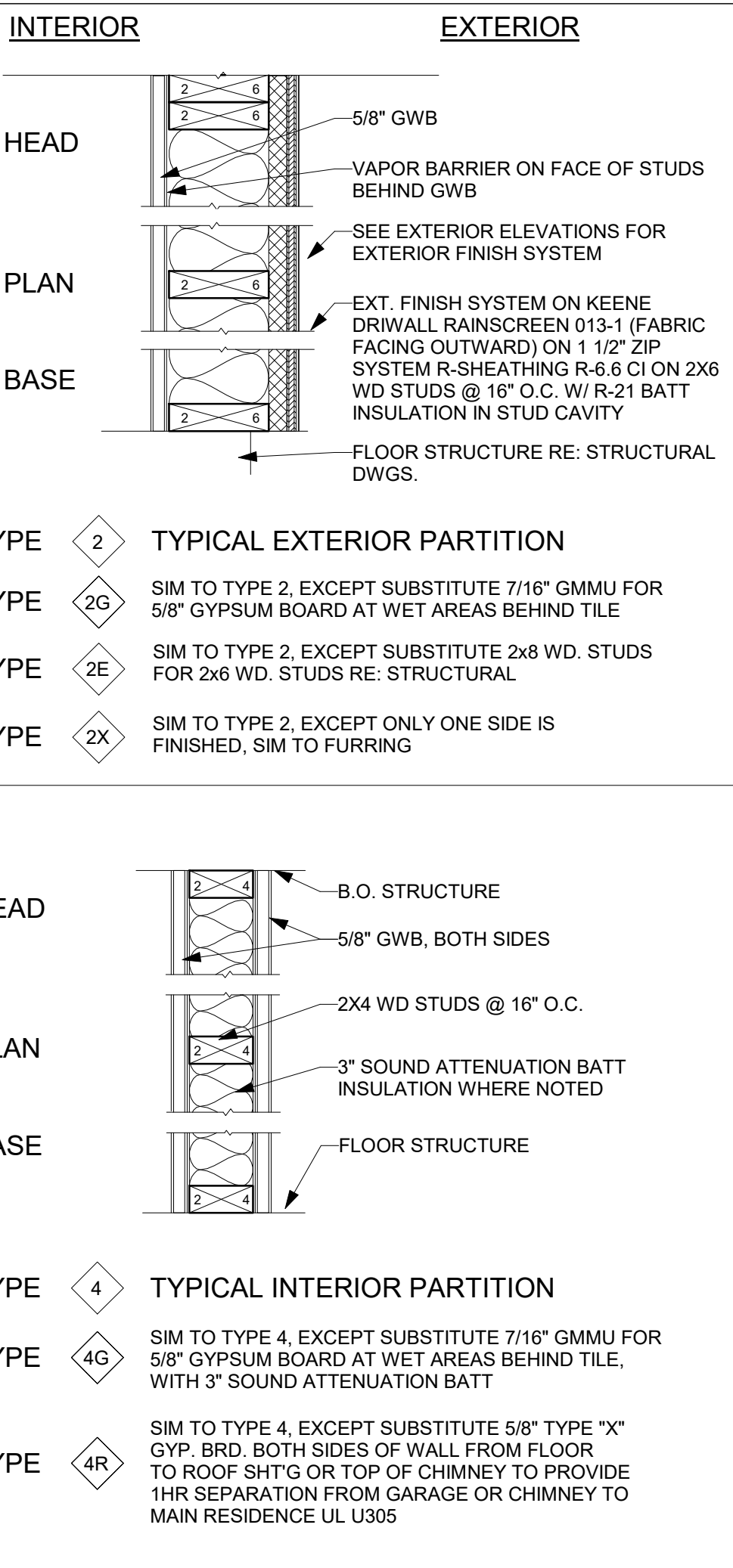
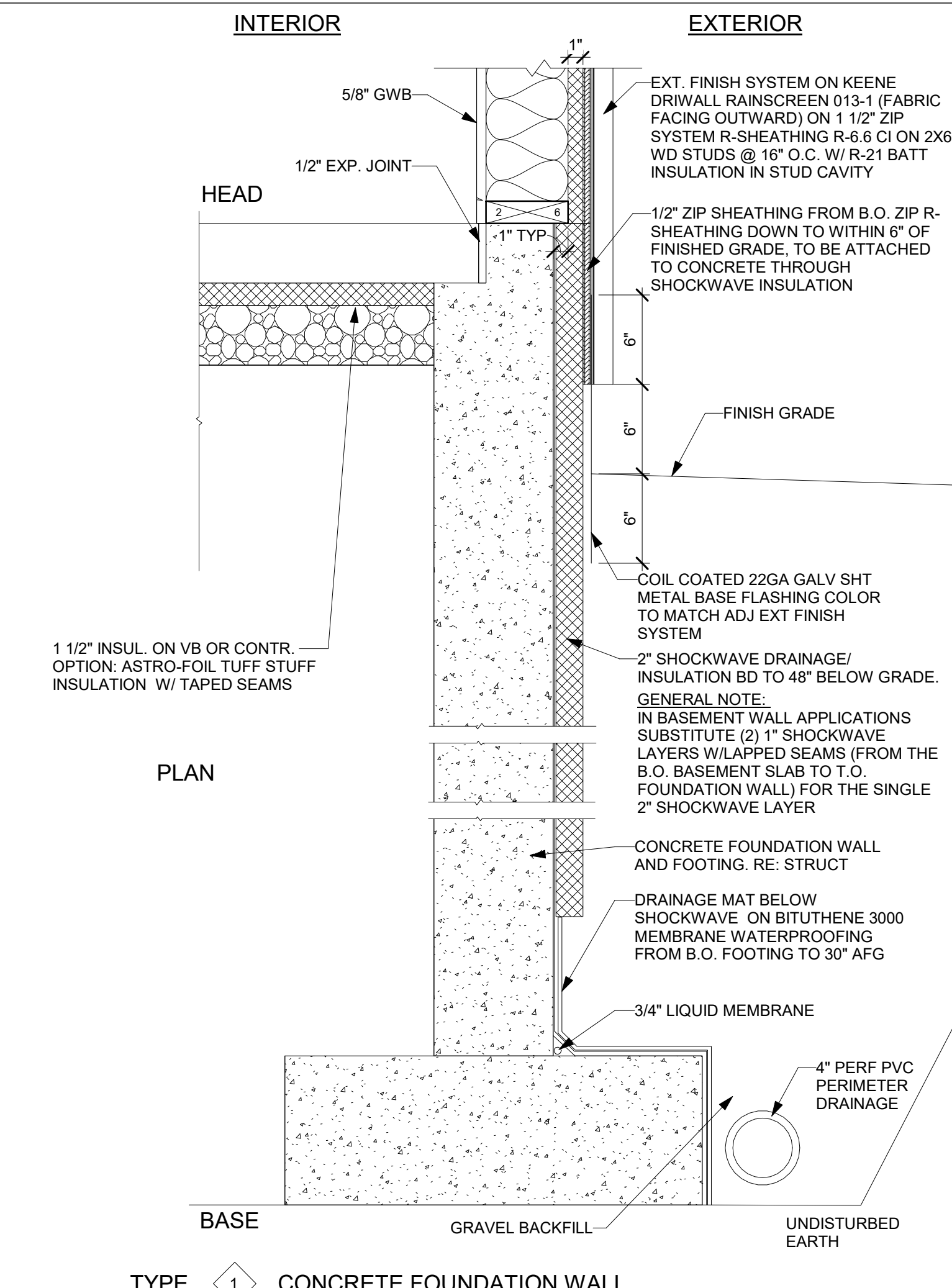
Sheet Title:
Cover

Project No:
 2120

Sheet No:
A0.0

9/12/20 Woodruff Residence Minturn01 Drawing Files07 Rene Central FilesRDBS Residence CDs Rev 01.XD

WALL TYPES



FRAMING NOTES: All interior sill plates on concrete to be pressure treated. All exterior sill plates to be separated from concrete with Dow - sill seal. Any gaps greater than 1/4" to be shimmed w/ metal shims & to be framed w/ expanding urethane.

ELECTRICAL NOTES: Switches - all to be mounted vertically @ 48" +/- aff, unless otherwise indicated in these documents or decided by Architect @ rough-in.

PLUMBING NOTES: Drywall to be shimmed as required. Drywall to be screwed. Nails are to be used only to position boards, not to secure them.

PAINTING NOTES: Drywall to be shimmed as required. Drywall to be screwed. Nails are to be used only to position boards, not to secure them.

FIRE SUPPRESSION NOTES: Fire Suppression system to be design/built. Detailed location of all headers and piping to be submitted to Architect for review.

MECHANICAL NOTES: Submit design build plans to Architect and Owner for review and coordination. Thermostats are to be digital with 24-7 setback capabilities.

DATUM REFERENCE DATUM REFERENCE FOR THIS PROJECT IS THE MAIN FINISH FLOOR LEVEL T.O. GYPCRETE = EL. 100'-0" ON ALL OTHER DRAWINGS EQUALS 7552' ON SITE PLAN

SYSTEM NOTES

GENERAL NOTES: 1. Do not scale Drawings. 2. Dimensions are to face of stud, centerline of stud and/or face of concrete foundation walls, unless otherwise noted.

PROJECT S.F. ABBREVIATIONS

Table with columns for PROJECT S.F. (MAIN LEVEL LIVING, UPPER LEVEL LIVING, etc.) and ABBREVIATIONS (A AMPERE, AB ANCHOR BOLT, AC ACT, etc.)

DRAWING INDEX

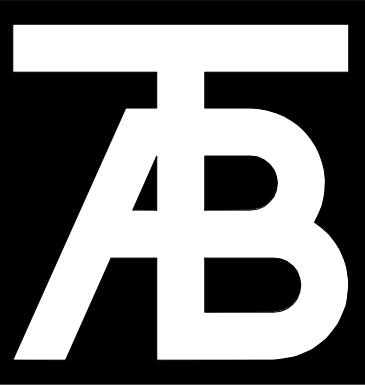
SHEET LIST table with columns for Sheet Number and Sheet Name. Includes sheets for Cover, Index, Door and Window Schedules, Survey, Site Plan, Landscape Plan, etc.

PROJECT DIRECTORY table with columns for OWNER/BUILDER, ARCHITECT, STRUCTURAL ENGINEER, SURVEYOR, MECHANICAL ENGINEER and their respective names and contact information.

SYMBOLS

View Name and Drawing Title & Scale section. Includes symbols for exterior and interior elevations, wall sections, detail sections, area enlargements, and spot elevations with corresponding drawing titles.

Vertical sidebar containing TAB Associates logo, address (962 Main Street, Minturn, CO 81645), drawing title (Index), sheet number (A0.1), and date (SD - 01/26/22).



TAB Associates

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Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer

Seal

962 Main Street
Minturn, CO 81645
South Minturn, CO

Revisions table with columns: No, Description, Date

Issue Dates:
SD - 01/26/22
CD - 05/04/22
CD R1 - 06/07/22
Rev3 - 08/31/22

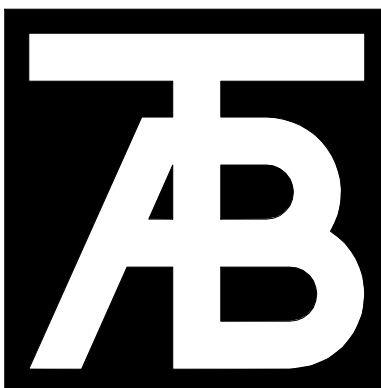
Sheet Title:
Door and Window Schedules

Project No:
2120

Sheet No:
A0.2

DOOR SCHEDULE table with columns: DOOR NO., LOCATION (FROM ROOM, TO ROOM), WIDTH, HEIGHT, DOOR THICKNESS, GLASS, Door Fire Rating, OVERHEAD, SELF CLOSING, DOUBLE BARN, REMARKS

WINDOW SCHEDULE RESIDENTIAL table with columns: Mark, WIDTH, HEIGHT, FINISH, COMMENTS



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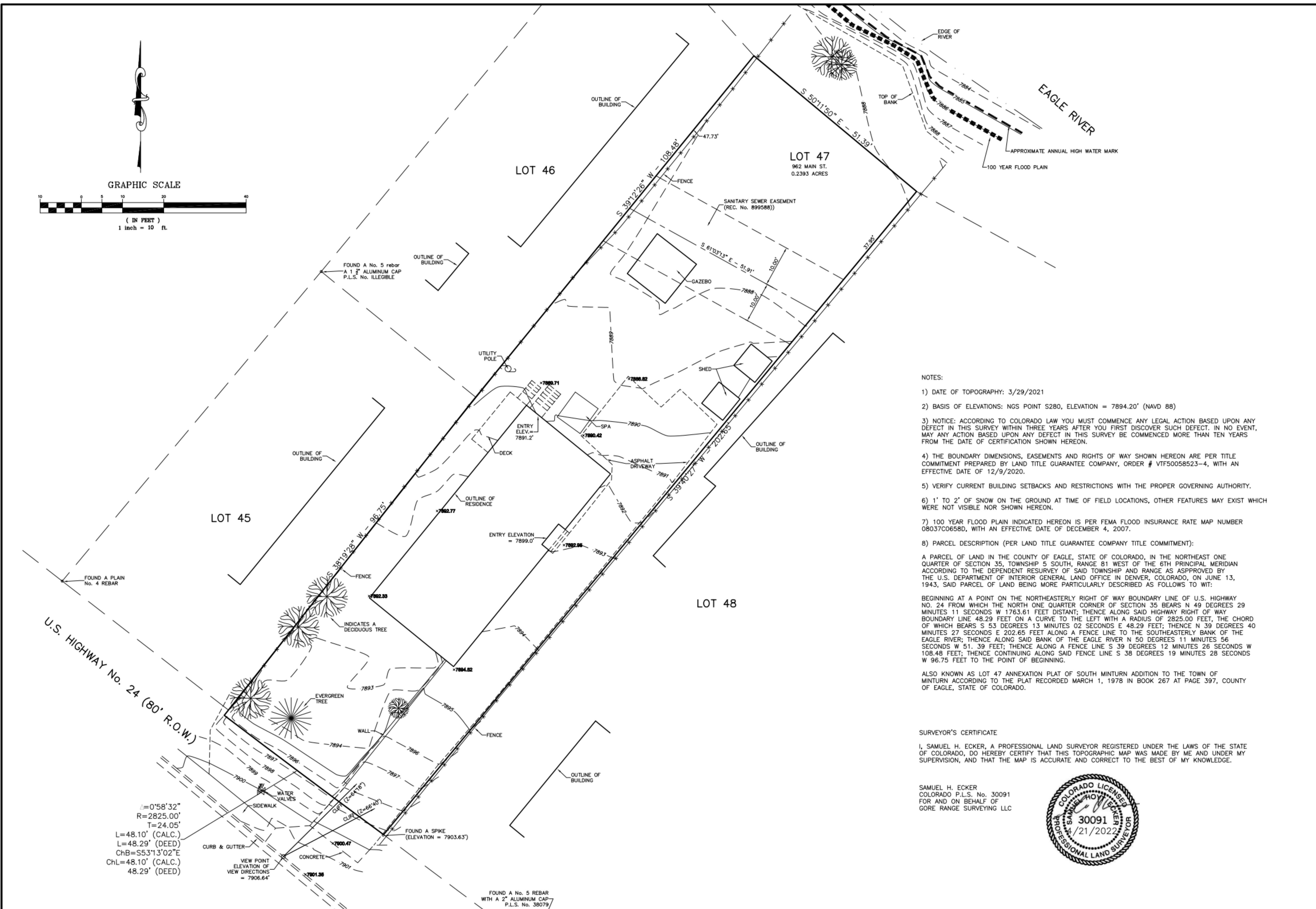
Revisions:		
No.	Description	Date

Issue Dates:
SD - 01/26/22
CD - 05/04/22
CD R1 - 06/07/22
Rev3 - 08/31/22

Sheet Title:
Survey

Project No:
2120

Sheet No:
C1.0



Gore Range Surveying, LLC
P.O. Box 15
Avenal, CO 81620
(970) 479-8699 • Fax (970) 479-0055

TOPOGRAPHIC MAP
LOT 47, SOUTH MINTURN ADDITION TO THE
TOWN OF MINTURN
EAGLE COUNTY, COLORADO

DRAWN BY:	SE	DATE:	4/21/2022
CHECKED BY:	SE	DRAWING NO.:	21-1330-1000
DATE:	4/21/2022	SHEET:	1 OF 1

NOTES:

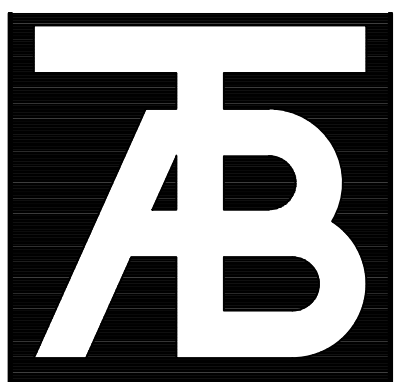
- DATE OF TOPOGRAPHY: 3/29/2021
- BASIS OF ELEVATIONS: NGS POINT S280, ELEVATION = 7894.20' (NAVD 88)
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE PER TITLE COMMITMENT PREPARED BY LAND TITLE GUARANTEE COMPANY, ORDER # VTF50058523-4, WITH AN EFFECTIVE DATE OF 12/9/2020.
- VERIFY CURRENT BUILDING SETBACKS AND RESTRICTIONS WITH THE PROPER GOVERNING AUTHORITY.
- 1' TO 2' OF SNOW ON THE GROUND AT TIME OF FIELD LOCATIONS, OTHER FEATURES MAY EXIST WHICH WERE NOT VISIBLE NOR SHOWN HEREON.
- 100 YEAR FLOOD PLAIN INDICATED HEREON IS PER FEMA FLOOD INSURANCE RATE MAP NUMBER 08037C0658D, WITH AN EFFECTIVE DATE OF DECEMBER 4, 2007.
- PARCEL DESCRIPTION (PER LAND TITLE GUARANTEE COMPANY TITLE COMMITMENT):
A PARCEL OF LAND IN THE COUNTY OF EAGLE, STATE OF COLORADO, IN THE NORTHEAST ONE QUARTER OF SECTION 35, TOWNSHIP 5 SOUTH, RANGE 81 WEST OF THE 6TH PRINCIPAL MERIDIAN ACCORDING TO THE DEPENDENT RESURVEY OF SAID TOWNSHIP AND RANGE AS APPROVED BY THE U.S. DEPARTMENT OF INTERIOR GENERAL LAND OFFICE IN DENVER, COLORADO, ON JUNE 13, 1943, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS TO WIT:
BEGINNING AT A POINT ON THE NORTHEASTERLY RIGHT OF WAY BOUNDARY LINE OF U.S. HIGHWAY NO. 24 FROM WHICH THE NORTH ONE QUARTER CORNER OF SECTION 35 BEARS N 49 DEGREES 29 MINUTES 11 SECONDS W 1763.61 FEET DISTANT; THENCE ALONG SAID HIGHWAY RIGHT OF WAY BOUNDARY LINE 48.29 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 2825.00 FEET, THE CHORD OF WHICH BEARS S 53 DEGREES 13 MINUTES 02 SECONDS E 48.29 FEET; THENCE N 39 DEGREES 40 MINUTES 27 SECONDS E 202.65 FEET ALONG A FENCE LINE TO THE SOUTHEASTERLY BANK OF THE EAGLE RIVER; THENCE ALONG SAID BANK OF THE EAGLE RIVER N 50 DEGREES 11 MINUTES 56 SECONDS W 51.39 FEET; THENCE ALONG A FENCE LINE S 39 DEGREES 12 MINUTES 26 SECONDS W 108.48 FEET; THENCE CONTINUING ALONG SAID FENCE LINE S 38 DEGREES 19 MINUTES 28 SECONDS W 96.75 FEET TO THE POINT OF BEGINNING.

ALSO KNOWN AS LOT 47 ANNEXATION PLAT OF SOUTH MINTURN ADDITION TO THE TOWN OF MINTURN ACCORDING TO THE PLAT RECORDED MARCH 1, 1978 IN BOOK 267 AT PAGE 397, COUNTY OF EAGLE, STATE OF COLORADO.

SURVEYOR'S CERTIFICATE
I, SAMUEL H. ECKER, A PROFESSIONAL LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP WAS MADE BY ME AND UNDER MY SUPERVISION, AND THAT THE MAP IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

SAMUEL H. ECKER
COLORADO P.L.S. No. 30091
FOR AND ON BEHALF OF
GORE RANGE SURVEYING LLC

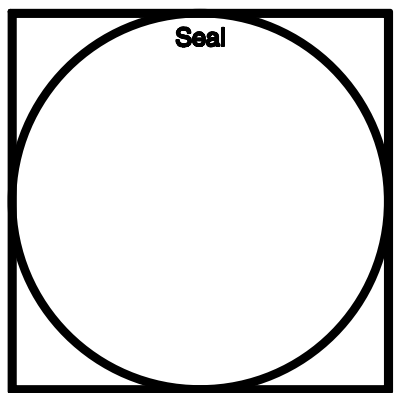




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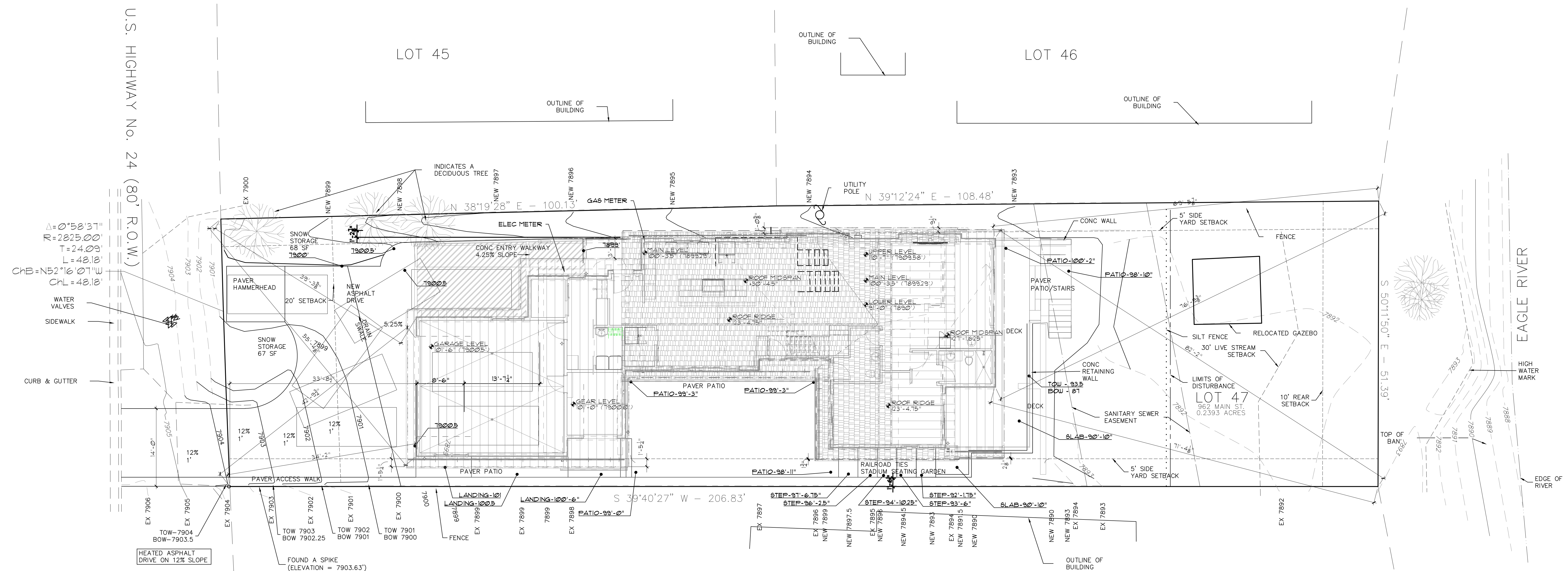
962 Main Street
Minturn, CO 81645
South Minturn, CO

Revisions:

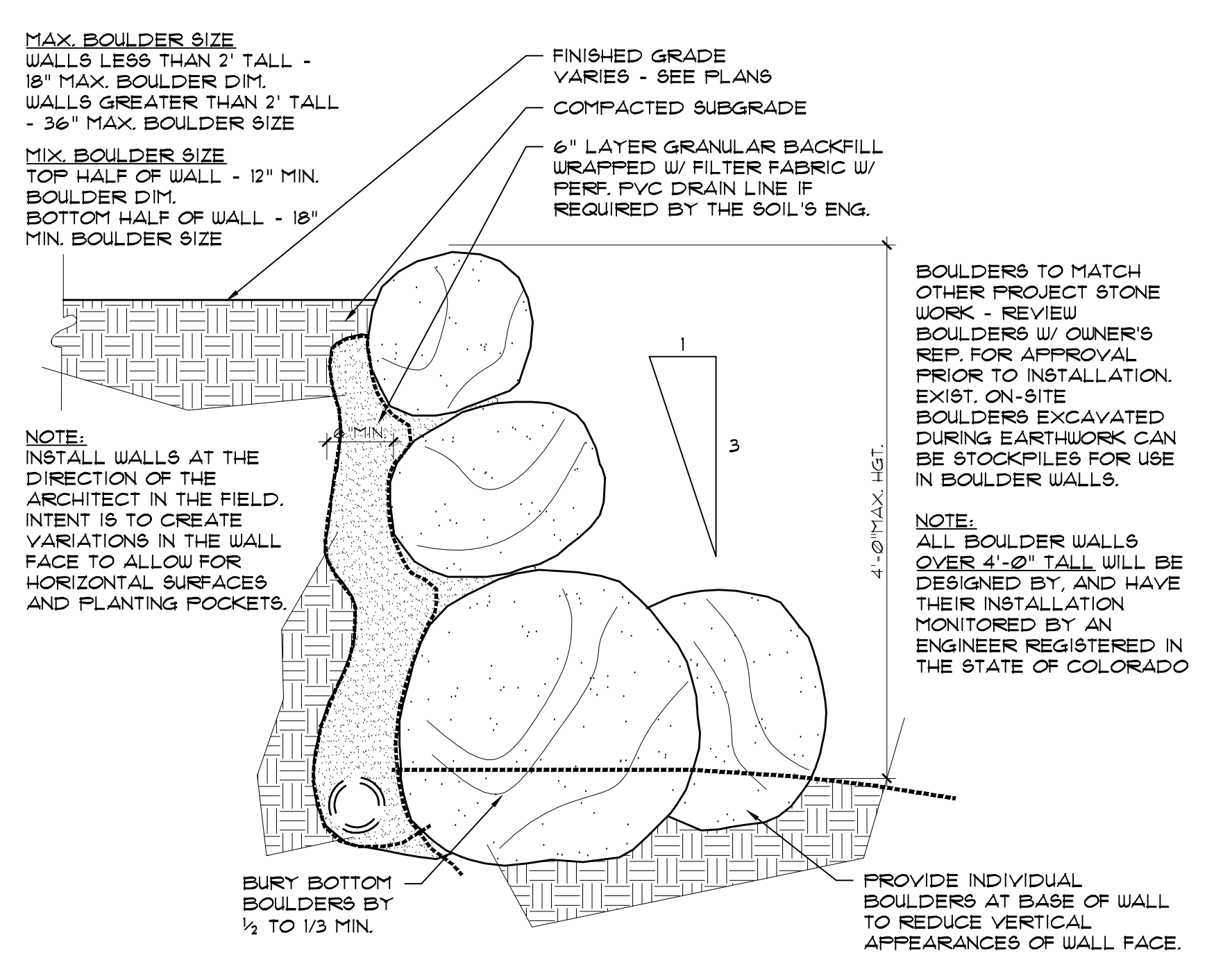
Issue Dates:
CD's 6/4/22
CD's Rev1 - 08/07/22
CD's Rev2 - 08/01/22

Sheet Title:
Site Plan

Project No:
2120
Sheet No:
A1.1



SITE PLAN
SCALE: 1/8"=1'-0"



BOULDER WALL
NTS

TOWN OF MINTURN SITE INFO:

ACREAGE OR SF OF LOT: 0.2393 ACRES (10423.908 SF)
LOT COVERAGE OF HOME: 2,155.1 SF (MAX 50% - 4175)
IMPERVIOUS COVERAGE: 3,511.7 SF (MAX 40% - 3820) (FOOTPRINT 4 PAVING)
TOTAL FLOOR AREA (LIVING): 3,505.5 SF
TOTAL FLOOR AREA (UNFINISHED): 1,434.0 SF
TOTAL FLOOR AREA (GARAGE): 1093.5 SF
NUMBER OF STORIES: 3
HEIGHT OF STRUCTURE ABOVE GRADE: 21'-11 1/4" ABOVE EXISTING GRADE
DWELLING UNITS: 1

LOCATIONS OF UTILITIES ON SITE PLAN TO BE VERIFIED DURING SITE PREPARATION. LIMITS OF DISTURBANCE DUE TO CHANGE AS NEEDED PER ACCURACY OF GIVEN UTILITY LOCATION INFORMATION BY OWNER'S SURVEY.

SURVEY NOTE:
ALL SURVEY 4 TOPOGRAPHICAL INFORMATION ELECTRONICALLY PROVIDED BY "ALPINE ENG. INC., PROJECT NO. 9131, DATED 3/15/21.

General Notes

- Existing site information is based upon a topographic survey, Project Number (INSERT #), dated (INSERT DATE) prepared and electronically provided by (INSERT SURVEYOR NAME), (INSERT CITY, STATE, TELEPHONE #).
- The construction limit line is the contract limit line. Do not disturb any existing trees or vegetation designated to remain or located outside of the construction limit line without approval of the Owner and (INSERT DRB OR LOCAL JURISDICTION).
- Contractor to verify existing site information, including structures, utilities, property lines, limits of roadways, and curbs and gutters, that may affect the scope of work prior to beginning site construction.
- Existing utilities are indicated for information only and not intended to show exact location. The Architect is not responsible for the location of underground utilities or structures whether or not shown or detailed and installed by any other contract. The Contractor shall locate all utilities and maintain the location during all phases of the work. Contractor shall be responsible for any damage to utilities or structures and any injuries therefrom. Restoration of any utilities damaged by the Contractor shall be at the Contractor's expense to the satisfaction of the Owner.
- Contractor shall verify all utility service, meter, and pedestal requirements and locations and access to meters and equipment with respective utility companies.
- If required, a qualified Fire Protection Consultant should size the water service (if the building(s) has a fire sprinkler system). If the building(s) does not have a fire sprinkler system, the water service should be sized by the Mechanical Engineer based upon existing pressure, length of pipe and demand. The fire line should meter and PRV.
- Conform to local water and sanitation district specifications for water and sewer construction. Maintain 10 feet minimum separation between water and sewer underground service pipes. Maintain seven feet minimum cover at underground water service. Increase depth to 10' under driveways. Sewer service shall have minimum cover of 5'-6". Provide sewer cleanout with location to be reviewed by the Architect.
- General Contractor to provide drawing showing proposed utility service connections for the Architect review prior to construction.
- Road cuts and any other construction in road right-of-way shall conform with State and local development requirements.
- All compaction, grading and irrigation adjacent to the building shall be in accordance with the Soils Report prepared by (INSERT SOILS ENGINEER NAME, PROJECT #, DATE).
- Provide written notification of all discrepancies between existing and proposed site improvements.
- Contractor(s) shall take all necessary steps as required to properly protect and maintain his work for the duration of this Contract.
- Contractor shall obtain construction de-watering permits, if required.
- These drawings do not specify safety materials, equipment, methods, or sequencing, to protect persons and property. It shall be the contractor's sole responsibility to direct and implement safety operations and procedures to protect the owner, other contractors, the public, and others.
- Reference to north refers to true north.
- All work shall comply with all applicable codes and ordinances.
- Contractor(s) shall employ a licensed surveyor to establish all work lines.
- Contractor(s) shall stake out all areas, including but not limited to buildings, driveways, walks, pavements, walls, pools and fences from CADD files provided by Architect and shall obtain the approval of the Architect prior to proceeding with the work.
- Take all dimensions from face of curb, wall or building or identified centerline unless otherwise noted.
- All dimensions called out as "equal" are equidistant measurements to designated centerline(s).
- Take all dimensions perpendicular to any reference line, work line, face of building, face of wall or centerline.
- Computed dimensions shall take precedence over scaled dimensions (drawings are NOT to be scaled), and large scale over small scale drawings.
- All angles to be 90 degrees and all lines of paving and fencing to be parallel unless noted otherwise.
- Maintain horizontal alignment of adjacent elements as noted on drawings.
- Reference to scale is for full sized drawings only, not reduced plans. Do not scale from plans or details.
- Notes and details on specific drawings take precedence over general notes and typical details.
- Conflicts or discrepancies with grades shall be brought to the attention of the Architect immediately and prior to proceeding with the work.
- All finished grades shall provide for natural runoff of water without low spots or pockets. Set flow lines accurately and provide a minimum 2.5% and a maximum 3.3% gradient unless otherwise noted or illustrated.
- Gradually round off tops and toes of all planted slopes to produce a smooth architectural transition between relatively level areas and slopes, unless shown otherwise in grading details.
- Grades shown are finish grades. Subgrades needed to attain fill or topsoil placement are not reflected. Hold finished grades for planting and lawn areas 3" below top of adjacent pavement, and/or curbs, unless otherwise noted on the drawings. The finished subgrade should be reviewed by the Architect prior to, as well as upon completion of, landscape installation to verify that swales and drainage features are constructed per plan.
- All concrete slabs or footings shall be dowelled into abutting walls, foundations and footings using bars of the same size unless noted otherwise.
- Provide expansion joint every 30 ft. max. and where new concrete abuts existing concrete paving and walls unless otherwise noted. See details.
- Provide control joints as shown on drawings between expansion joints. See details.
- Sleeves and conduits shall be installed 18 in. below finished grade and shall extend 12 in. beyond back of curbs, walls and paving.
- Retaining walls (boulder, concrete, etc.) over 4'-0" in height to be designed by a Professional Engineer.

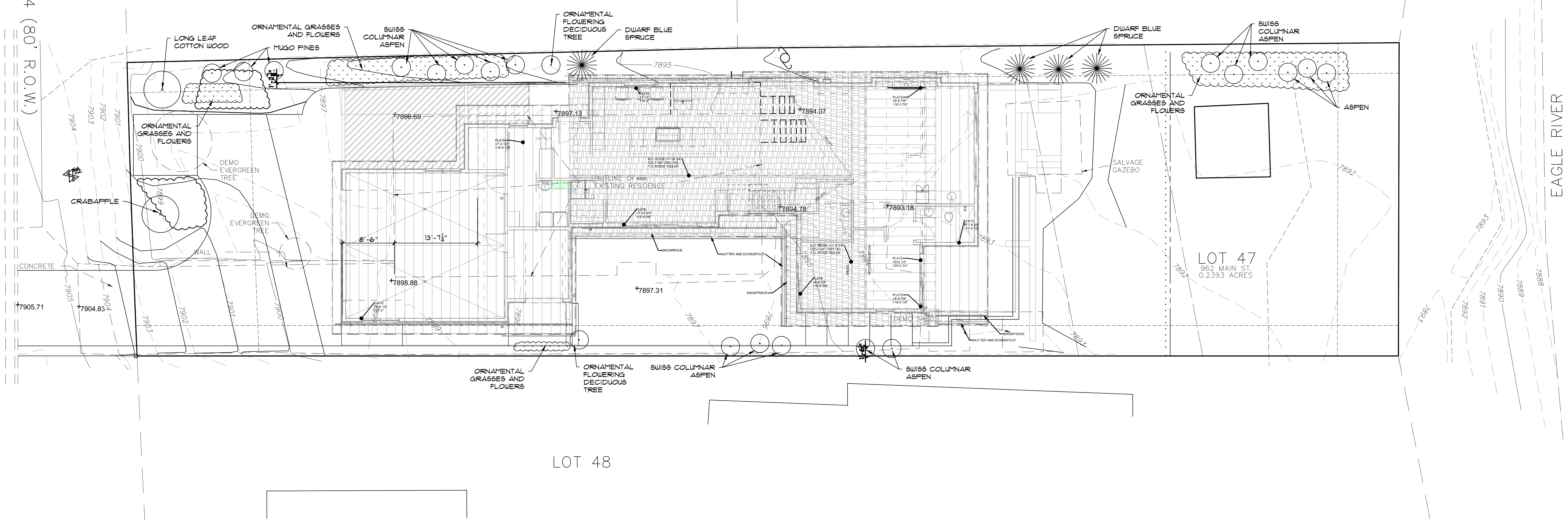
Legend and Abbreviations

BC	bottom of curb elev.	---	exist. gas line
BS	bottom of step elev.	---	exist. storm sewer line
BW	bottom of wall elev.	---	exist. sanitary sewer line
CJ	control joint (saw cut)	---	exist. electric line
CMU	concrete masonry unit	---	exist. electric line
CONT	continuous	---	exist. water line
CP	spa/pool coping elev.	---	exist. phone/t.v.
DI	drain inlet	---	exist. sanitary manhole
DIA	diameter	---	exist. fire hydrant
DRUG	drawings	---	
EJ	expansion joint	---	
ELEV	elevation	---	
EQ	equal	---	
FFE	finish floor elev.	---	
FG	finish grade elev.	---	
FL	flow line of swale	---	
FS	finish surface elev. (pvtm)	---	
HP	high point elev.	---	
LF	low point elev.	---	
LFP	low point elev.	---	
MAX	maximum	---	
MIN	minimum	---	
O.C.	on center	---	
PA	planting area	---	
PVMT	pavement	---	
R/RAD	radius notation	---	
RIM	inlet/manhole rim elev.	---	
TC	top of curb elev.	---	
TS	top of step elev.	---	
TU	top of wall elev.	---	
TU	typical	---	
WUF	welded wire fabric	---	
WS	spa/pool water surface	---	
2.5%	direction of slope	---	
---	direction of swale	---	
T146	exist. contour	---	
T146	prop. contour	---	
FS T146	proposed spot elev.	---	
(FS T146)	exist. spot elev.	---	
---	property line	---	
---	construction limit line	---	
---	centerline	---	
---	building envelope	---	
---	easement	---	
---	prop. gas line	---	
---	prop. storm sewer line	---	
---	prop. sanitary sewer line	---	
---	prop. electric line	---	
---	prop. water line	---	
---	prop. phone/cable t.v.	---	
---	prop. boulder wall	---	
---	Exist. trees to remain	---	
---	Trees to be removed	---	
---	Existing tree relocated	---	

U.S. HIGHWAY No. 24 (80' R.O.W.)

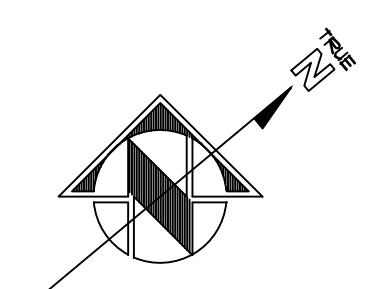
LOT 45

LOT 46



EAGLE RIVER

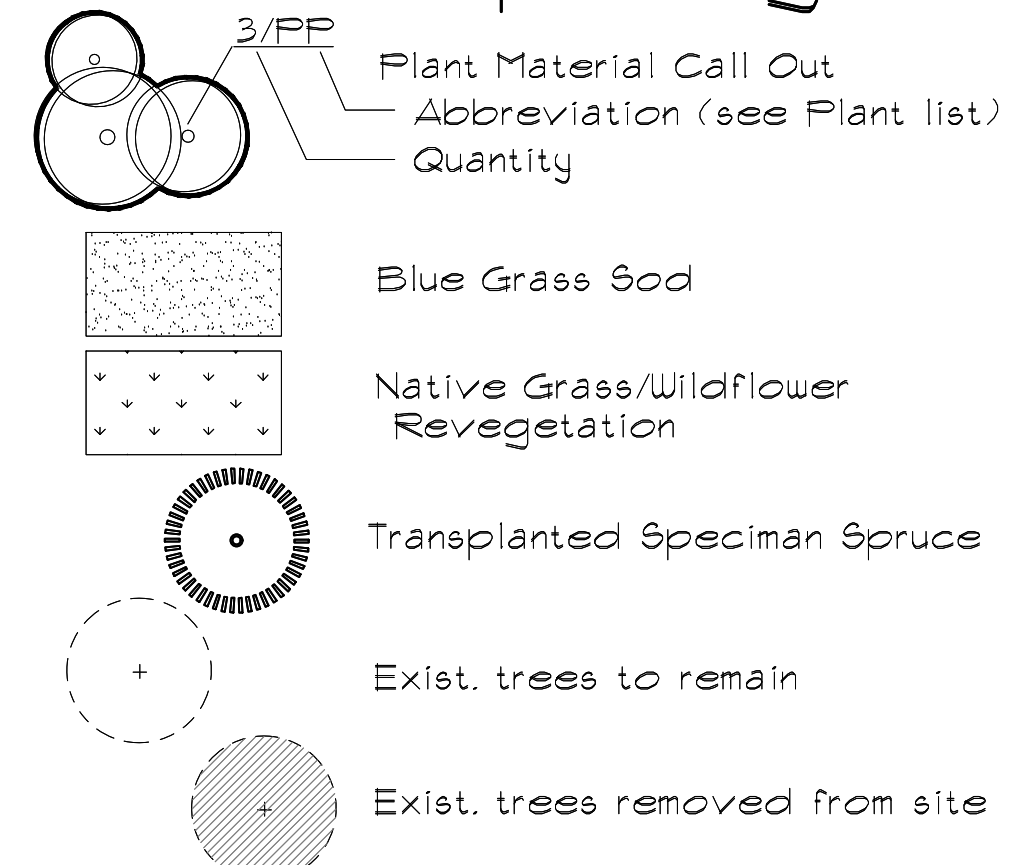
1 SITE PLAN
SCALE: 1/8"=1'-0"



Planting Notes

- Landscape Contractor shall be responsible for becoming aware of all underground utilities, pipes and structures. The Landscape Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Landscape Architect. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Landscape Contractor shall be responsible for any coordination with the General Contractor and other subcontractors as required to accomplish planting operations.
- Landscape Contractor to receive site graded to +/- 0.1 foot of finished grade. Landscape Contractor to inspect grades and issue a letter of site acceptance prior to starting landscape installation.
- The Landscape Contractor shall be responsible for returning the site to original finished grade once the landscape installation is complete. No low spots or ponding of surface water will be accepted in the final work.
- Landscape Contractor shall notify Landscape Architect 48 hours prior to commencement of work to coordinate project inspection schedules.
- Refer to landscape specifications for planting requirements, soil preparation testing, materials and execution.
- See details and landscape specifications for staking method, plant pit dimensions and backfill requirements.
- Plant names are abbreviated on the drawings. See plant legend for symbols, botanical/common names, sizes, estimated quantities and remarks.
- If conflicts arise between actual size of planting areas and areas shown on the plans, Landscape Contractor to contact Landscape Architect for resolution. Failure to make such conflicts known to the Landscape Architect will result in Contractor's liability to relocate the materials.
- It is the Landscape Contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or 'tagged' material must be inspected by the Landscape Contractor and certified pest and disease free. It is the Landscape Contractor's obligation to warranty all plant materials per the specifications.
- Final location and staking of all plant materials shall be at the direction of the Landscape Architect. Landscape Contractor shall not proceed with planting operations until staking is fully approved.
- Coordinate installation of large plant material with installation of pavement and curb and gutter. Any damage to improvements by others is the responsibility of the Landscape Contractor.
- Provide matching sizes and forms for each species of trees installed on grid or spaced equally in rows as shown on drawings. Adjust spacing as necessary, subject to review by the Landscape Architect.
- Provide matching sizes and forms for all plants used for hedges. Space equally on grid, row or triangularly as noted in plant legend remarks or shown on plans. See planting details.
- All shrub and groundcover beds are to be mulched with 2" deep layer of compost mulch, or 3" deep layer of wood chip mulch, see specs.
- All lawn to be separated from adjacent groundcover/shrub beds with steel edger per specifications. Exact placement of header/edger will be reviewed by Landscape Architect prior to final installation. Install per detail.
- Plant count in plant legend is for information only. Landscape Contractor is responsible to verify quantities for all plant materials and sizes shown on plans. In case of any discrepancies, greater quantity takes precedence, whether on plan or in legend.
- Landscape Contractor shall provide per-unit price for all plant materials by type and size, as called out on Planting Plans. Unit price to include materials, installation, and warranty as detailed and specified in the project manual.
- All plant material specified shall be nursery grown.

Landscape Legend



Temporary Erosion Control

Strawable siltation berms shall be utilized during the construction and landscaping periods. Berms shall be located according to a Contractor prepared Temporary Erosion Control Plan and shall be installed prior to excavation.

Water dissipators shall be installed at intervals in drainage swales not to exceed 25' according to the Temp. Erosion Control Plan.

The Contractor shall be responsible for preventing the release of sediment laden water from the construction site, and shall be required to install additional control facilities at the direction of the Owner or Inspector, should problems occur.

Protecting Natural Features

The area of disruption will be completely fenced to protect surrounding undisturbed vegetation. The areas which are not landscaped but within the disruption zone will be revegetated to match the natural vegetation.

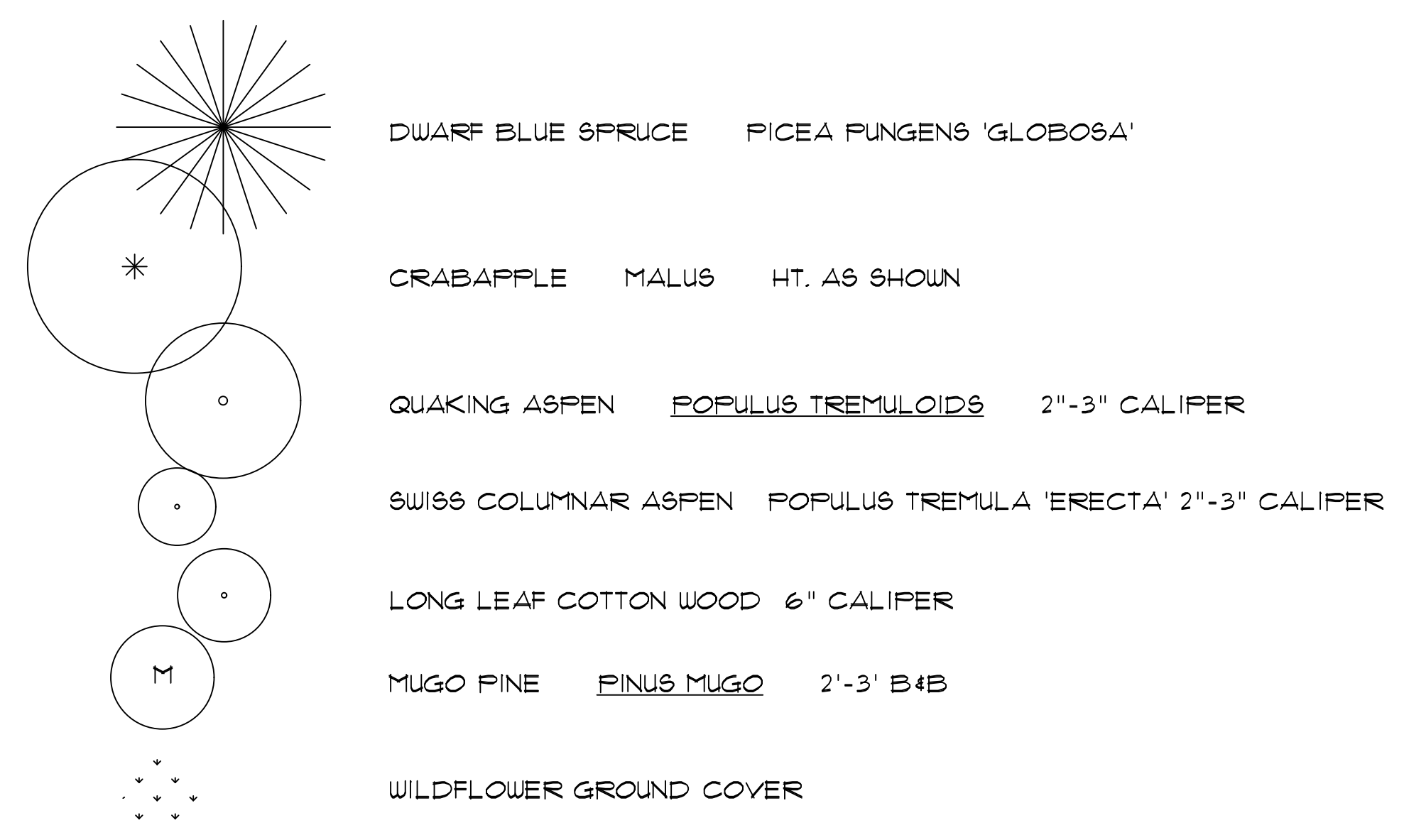
GENERAL NOTES:

ALL TREES AND SHRUBS WILL HAVE A AUTOMATIC DRIP IRRIGATION SYSTEM.
DURING CONSTRUCTION, A 2 INCH DEEP GRAVEL BASE OF 3/4" INCH AGGREGATE SHALL BE APPLIED TO THE FIRST 20' FEET OF THE DRIVEWAY, AND SHALL REMAIN UNTIL THE DRIVEWAY IS PAVED.

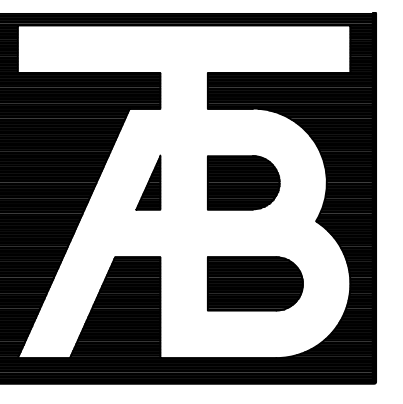
SURVEY NOTE:

ALL SURVEY 4 TOPOGRAPHICAL INFORMATION ELECTRONICALLY PROVIDED BY "ALPINE ENG. INC. PROJECT NO. 9131, DATED 3/15/11.

Landscape Legend



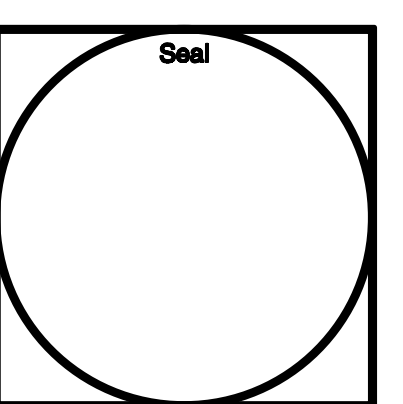
- DRIP IRRIGATION SYSTEM TO NEW LANDSCAPING COVERS AN ESTIMATED 1700 SF.
- PROVIDE 30% MORE BOULDERS THAN WHAT IS REQUIRED TO BUILD THE BOULDER WALLS FOR RANDOMLY PLACED DECORATIVE BOULDERS (PLACED AT THE DIRECTION OF PROJECT LANDSCAPE ARCHITECT).



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Electrical Engineer:



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Revisions:

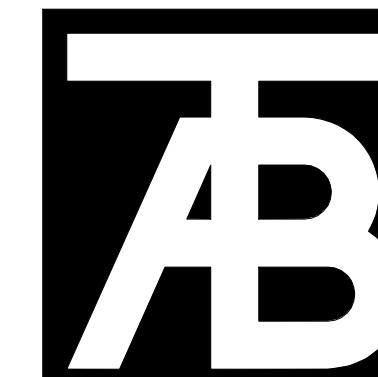
Issue Dates:
CD's Rev1 - 04/22
CD's Rev1 - 08/07/22
CD's Rev1 - 08/01/22

Sheet Title:
Landscape Plan

Project No:
2120
Sheet No:
A1.2

NOTES:

- FLOOR PLAN GENERAL NOTES:**
- PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
 - PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING. ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
 - PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
 - PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
 - COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
 - DO NOT SCALE DRAWINGS.
 - IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
 - ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
 - ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
 - ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL MARKERBOARDS.
 - "TB" NEW CORK TACKBOARDS OR "MB" NEW MARKERBOARDS.
 - PROVIDE EXIT DOOR NUMBERS PER DOOR SIGNAGE SHEET AT ALL EXIT DOORS.



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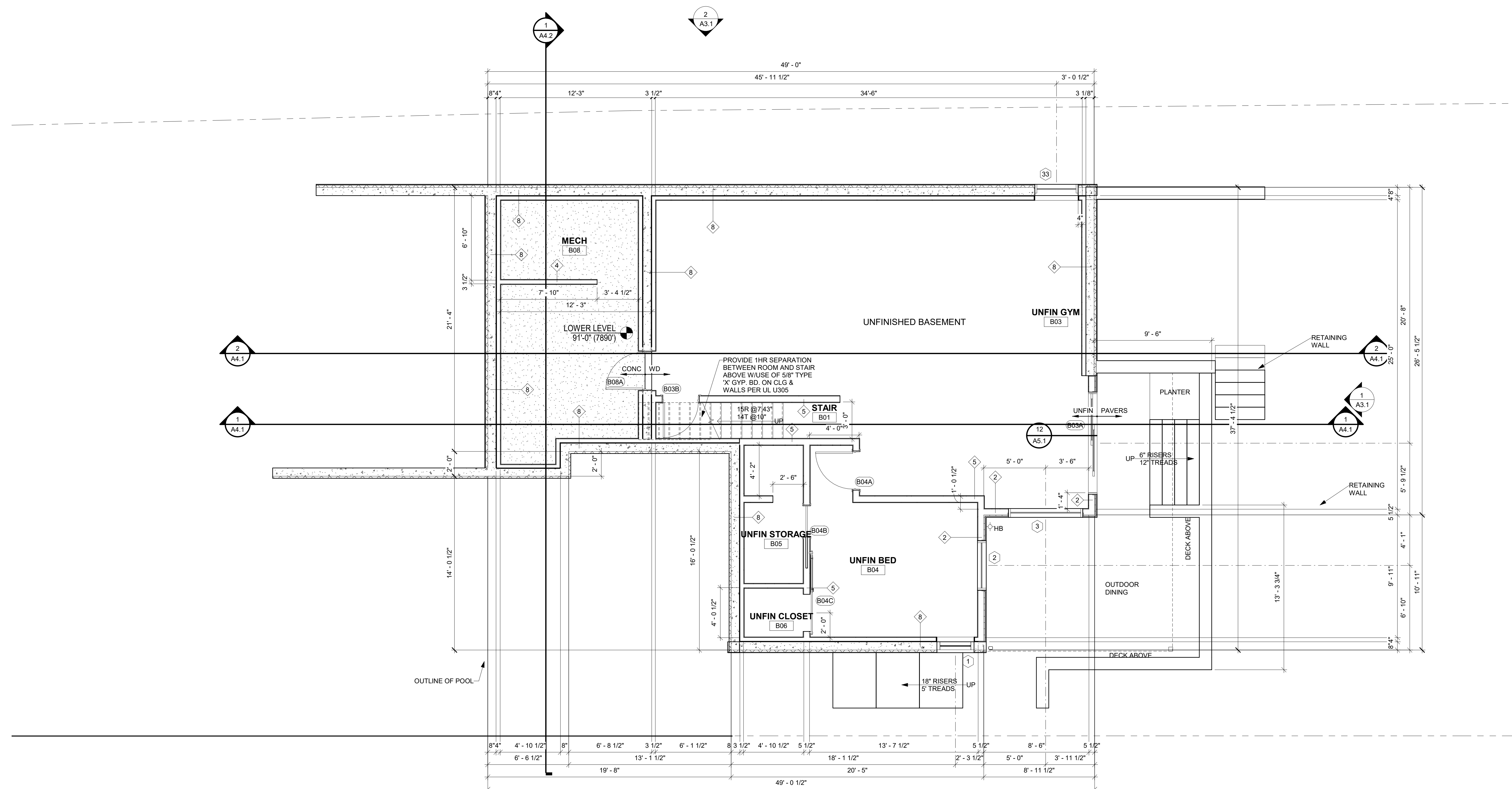
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Issue Dates:
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CD R1 - 06/07/22
Rev3 - 08/31/22

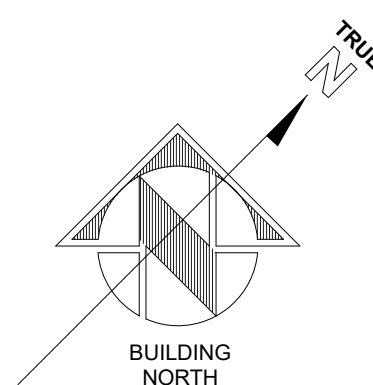
Sheet Title:
Lower Level Floor Plan

Project No:
2120

Sheet No:
A2.1

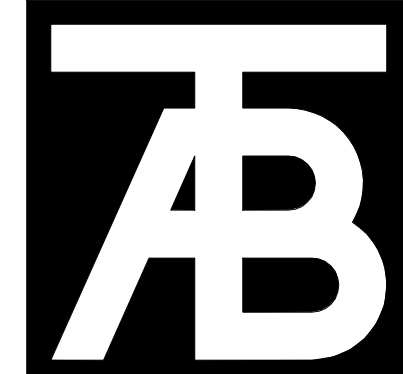


BASEMENT
1/4" = 1'-0"



NOTES:

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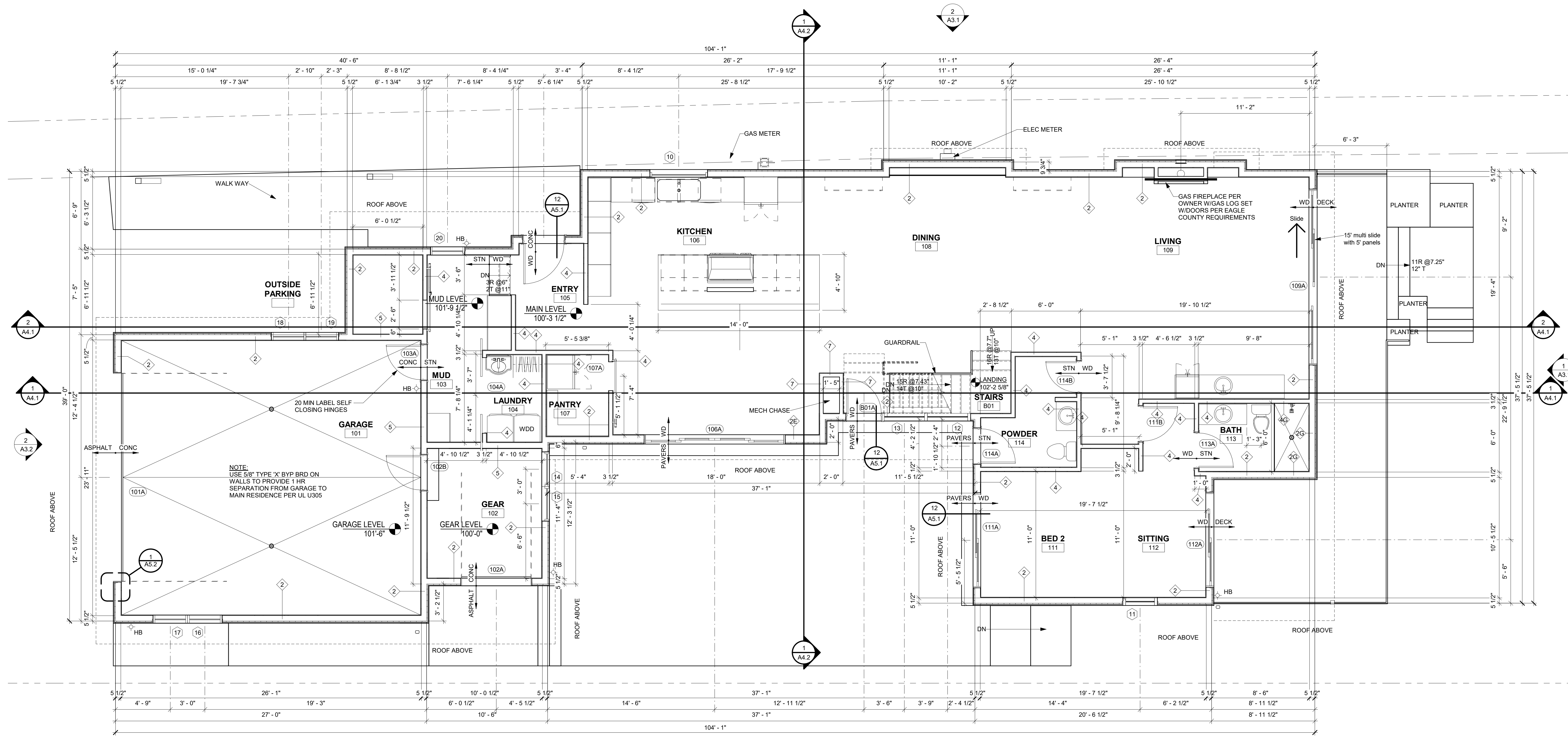
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 Rev3 - 08/31/22

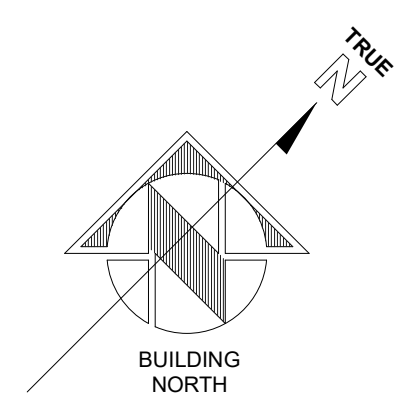
Sheet Title:
Main Level Floor Plan

Project No:
 2120

Sheet No:
A2.2



1 MAIN LEVEL
 A2.2 1/4" = 1'-0"



NOTES:

FLOOR PLAN GENERAL NOTES:

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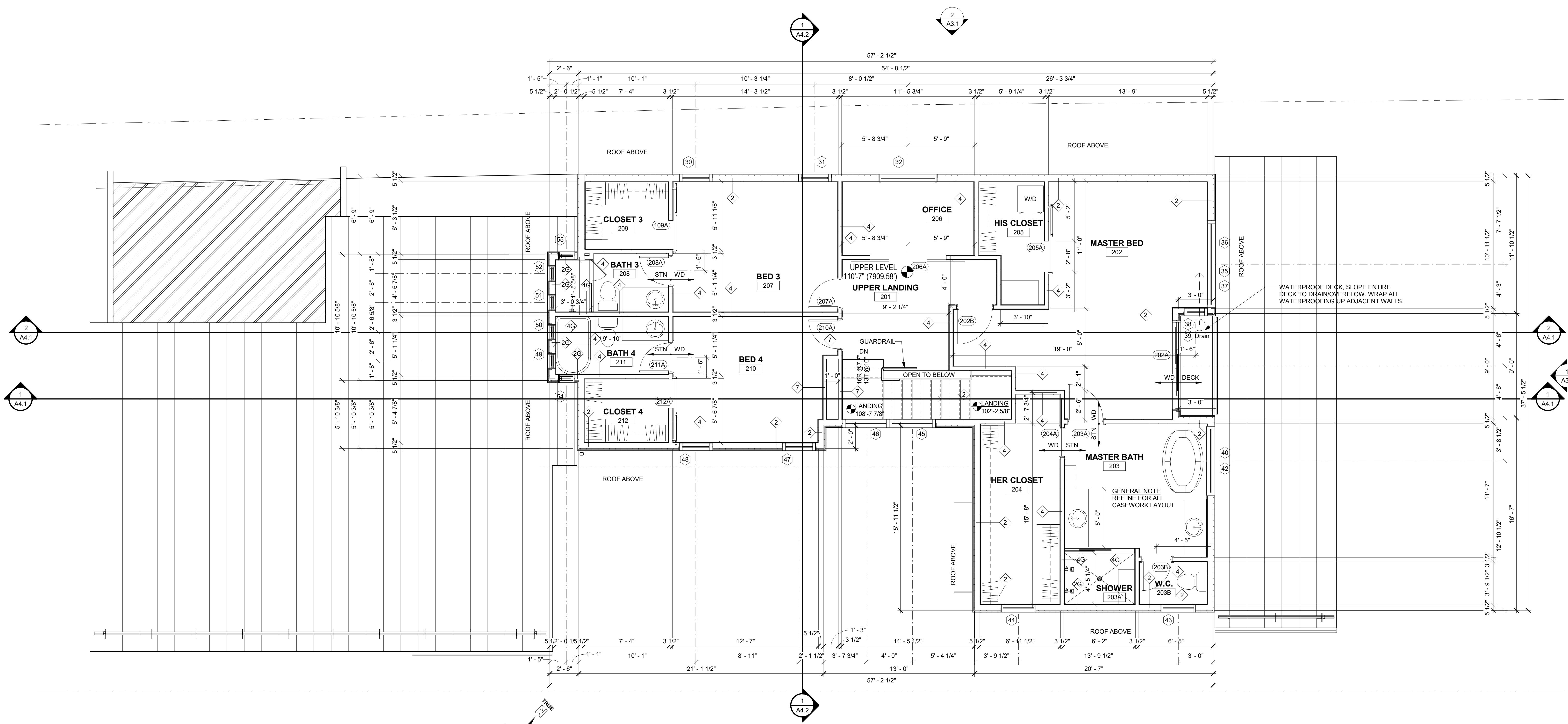
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Rev3 - 08/31/22

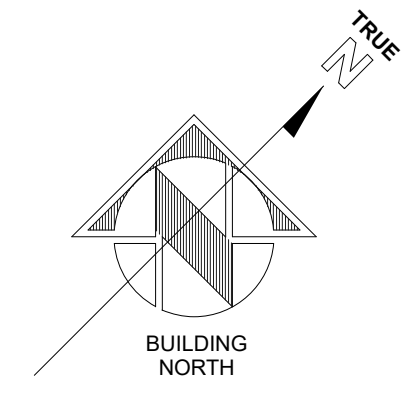
Sheet Title:
Upper Level Plan

Project No:
2120

Sheet No:
A2.3



1 UPPER LEVEL
A2.3 1/4" = 1'-0"



NOTES:

ROOF FINISH LEGEND

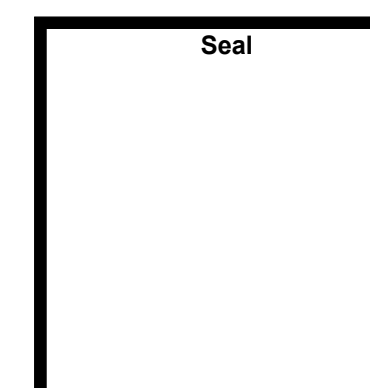
- R-1 COIL COATED STANDING SEAM ROOF
SEE SYSTEM NOTES SHEET A0.1
 - R-2 ASPHALT SHINGLES
- COIL COATED FLASHINGS, GUTTERS, AND DOWNSPOUTS
- OVERHANGS ARE 2'-0" FROM FACE OF FRAMING TYP. U.N.O.
- NOTES:
1. HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE: STRUCTURAL
 2. ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH. RE: DIAGRAM ON ELECTRICAL PLANS
 3. T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING
 4. CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURERS' REQUIREMENTS



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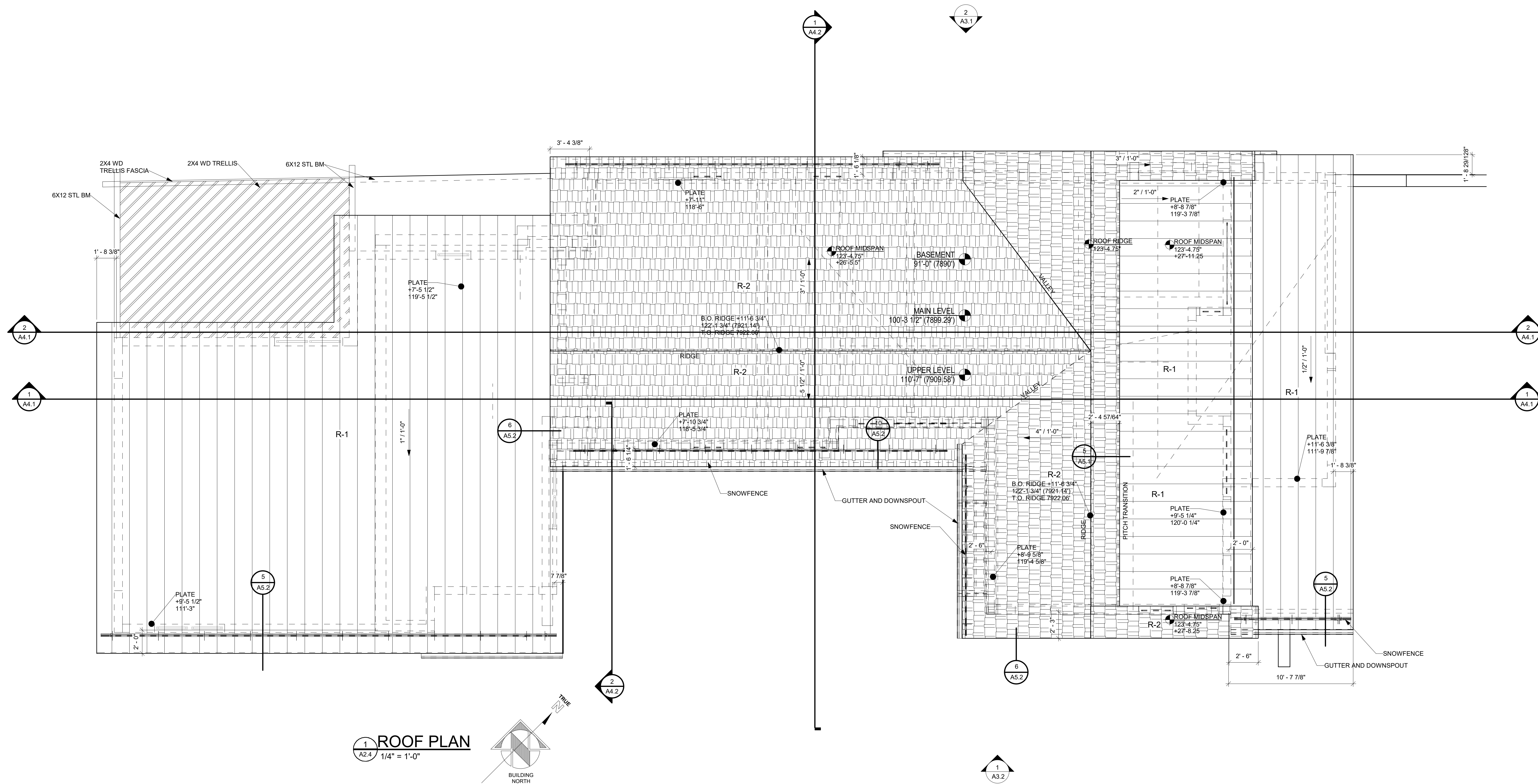
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No	Description	Date

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CD R1 - 06/07/22
Rev3 - 08/31/22

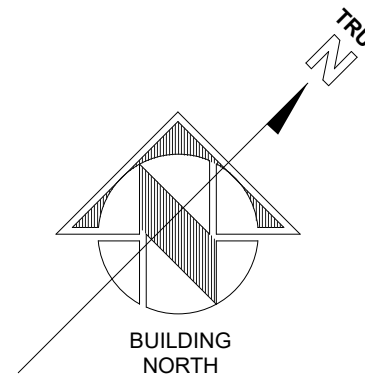
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Roof Plan

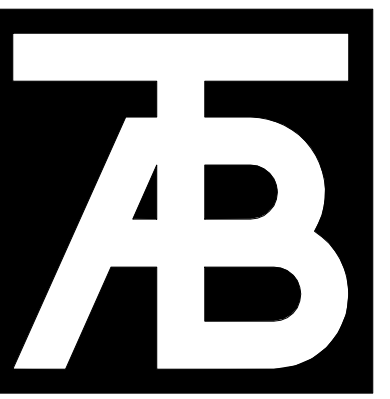
Project No:
2120

Sheet No:
A2.4



1
A2.4
ROOF PLAN
1/4" = 1'-0"





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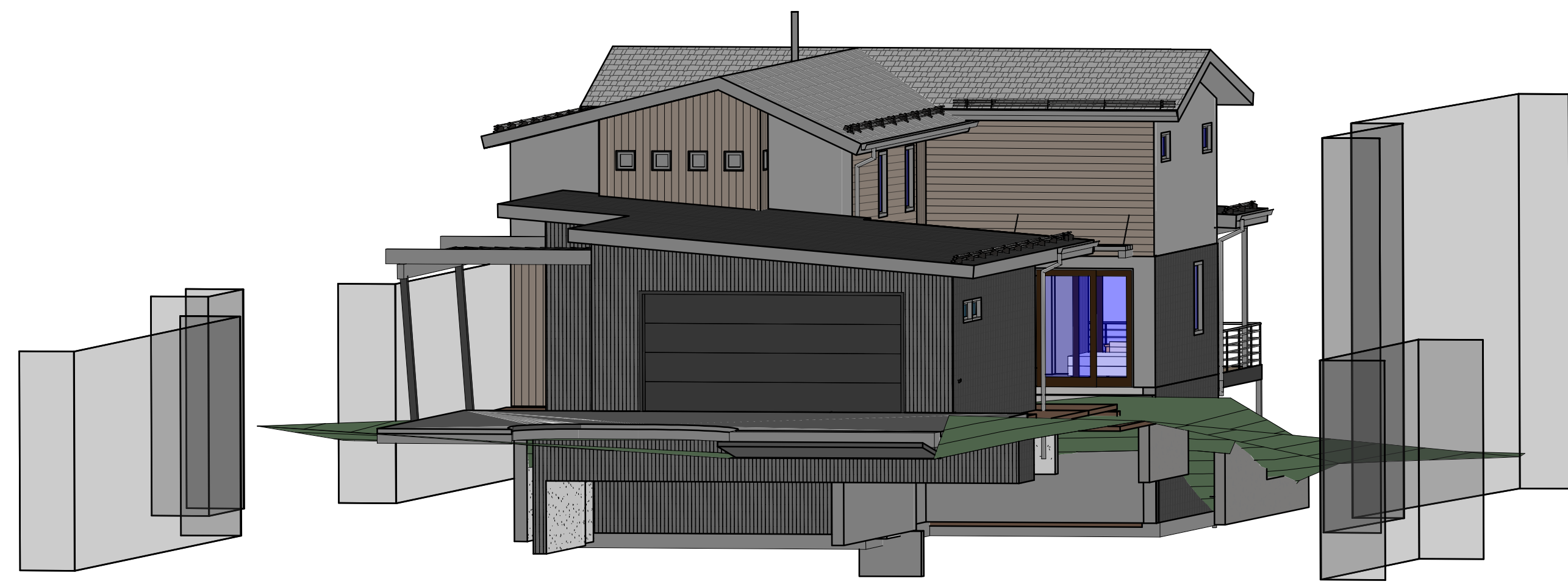
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CD R1 - 06/07/22
Rev3 - 08/31/22

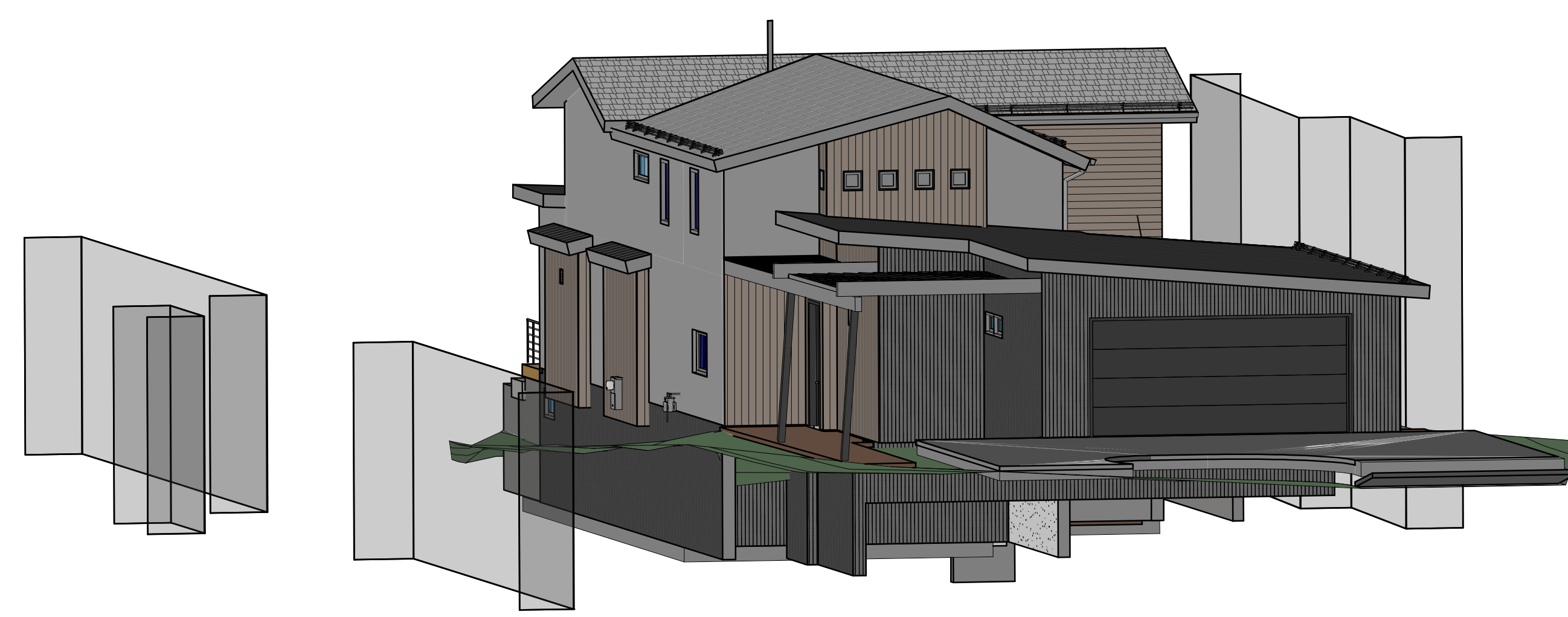
Sheet Title:
Initial 3D

Project No:
2120

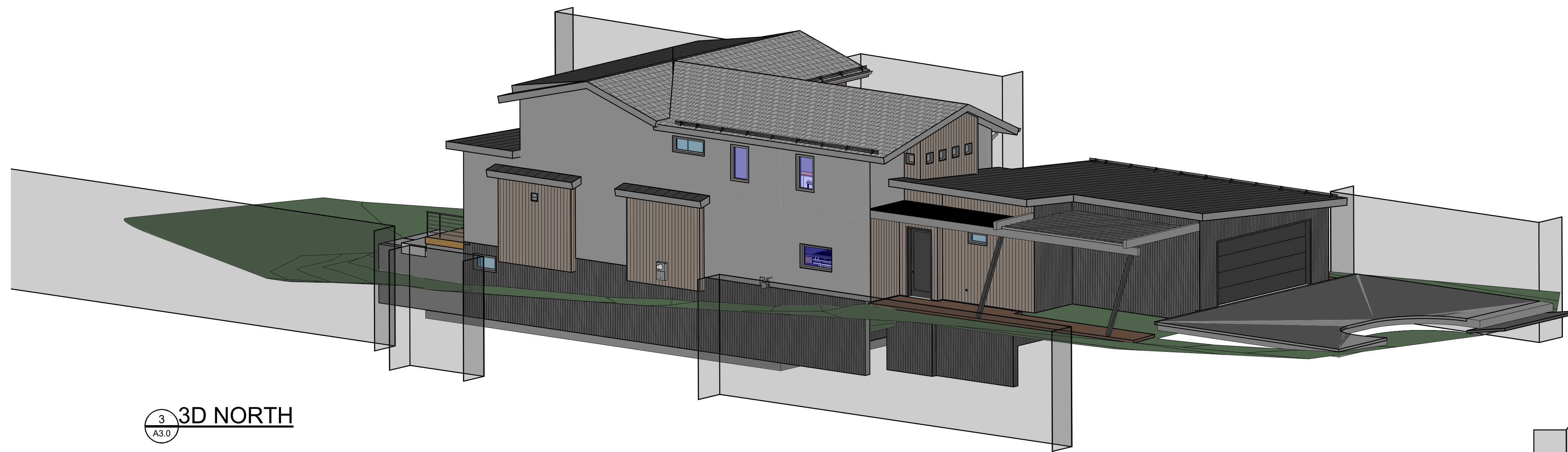
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A3.0



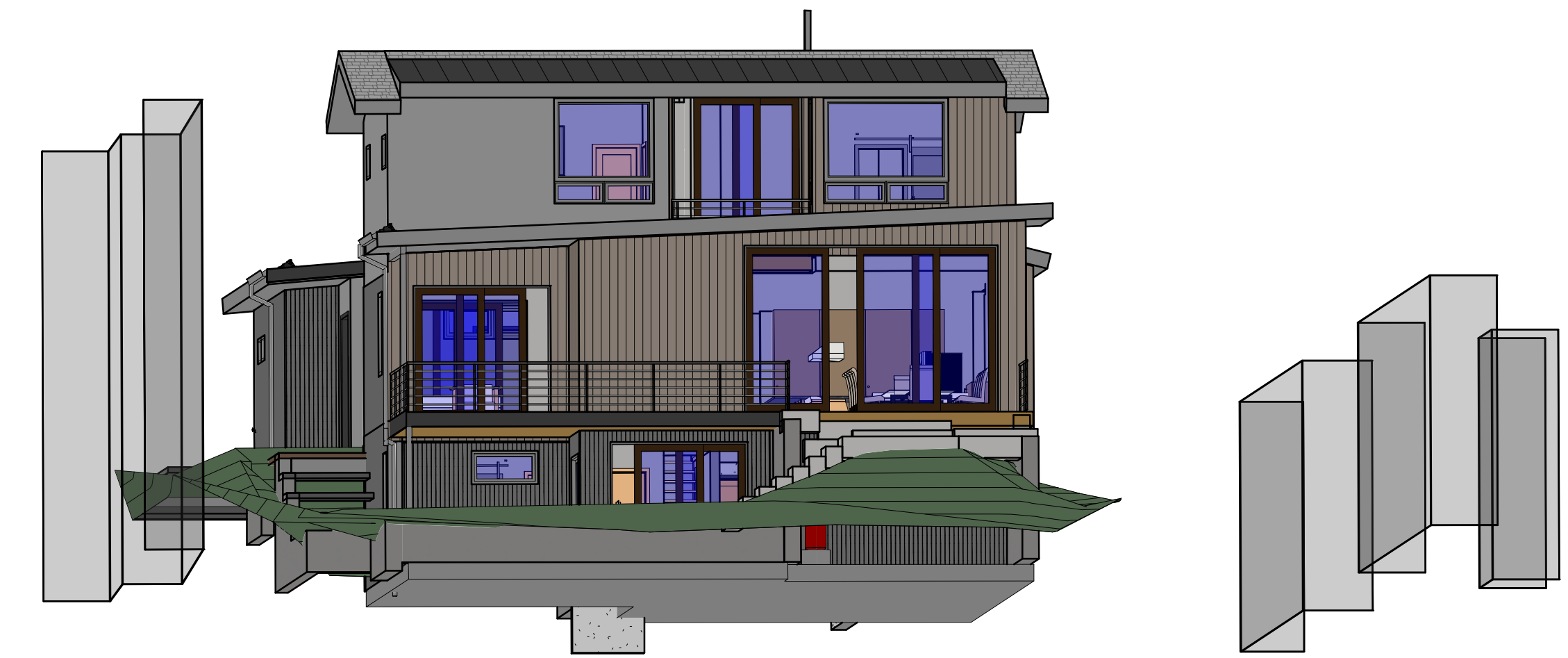
1 3D ROAD SOUTH
A3.0



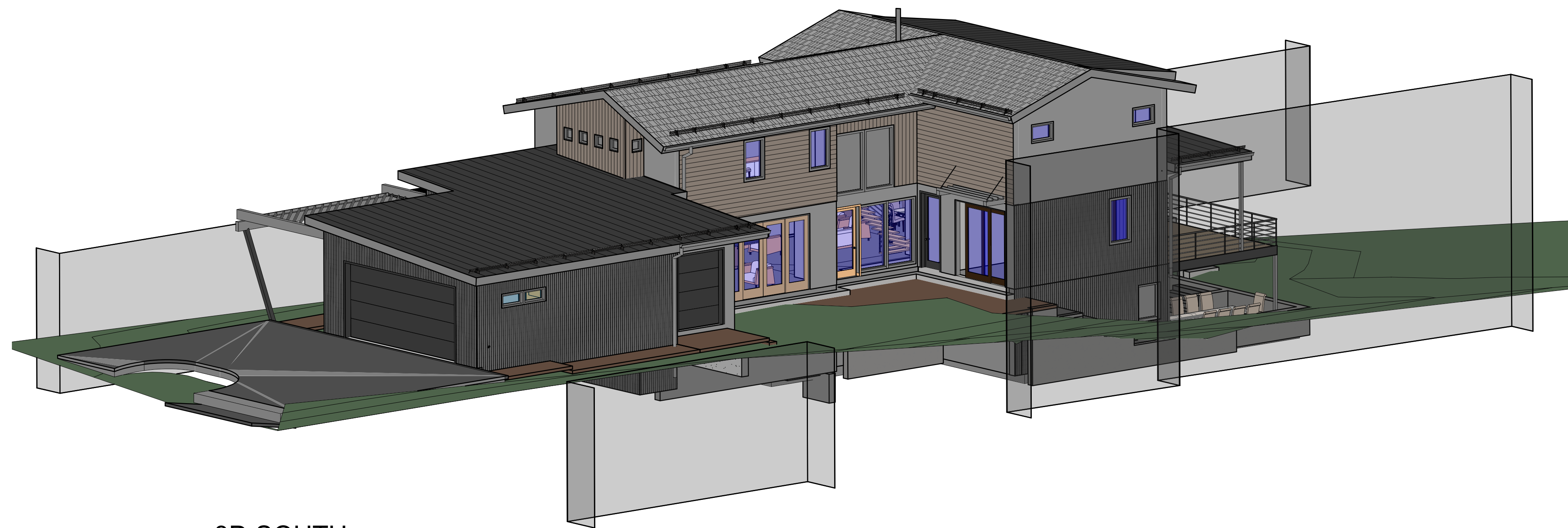
2 3D ROAD NORTH
A3.0



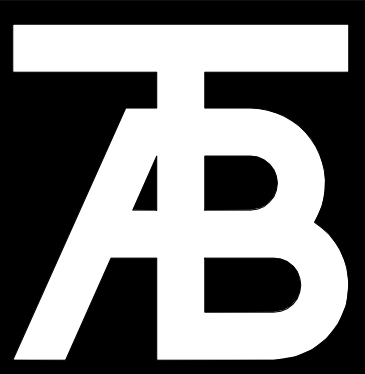
3 3D NORTH
A3.0



4 3D RIVER
A3.0



5 3D SOUTH
A3.0



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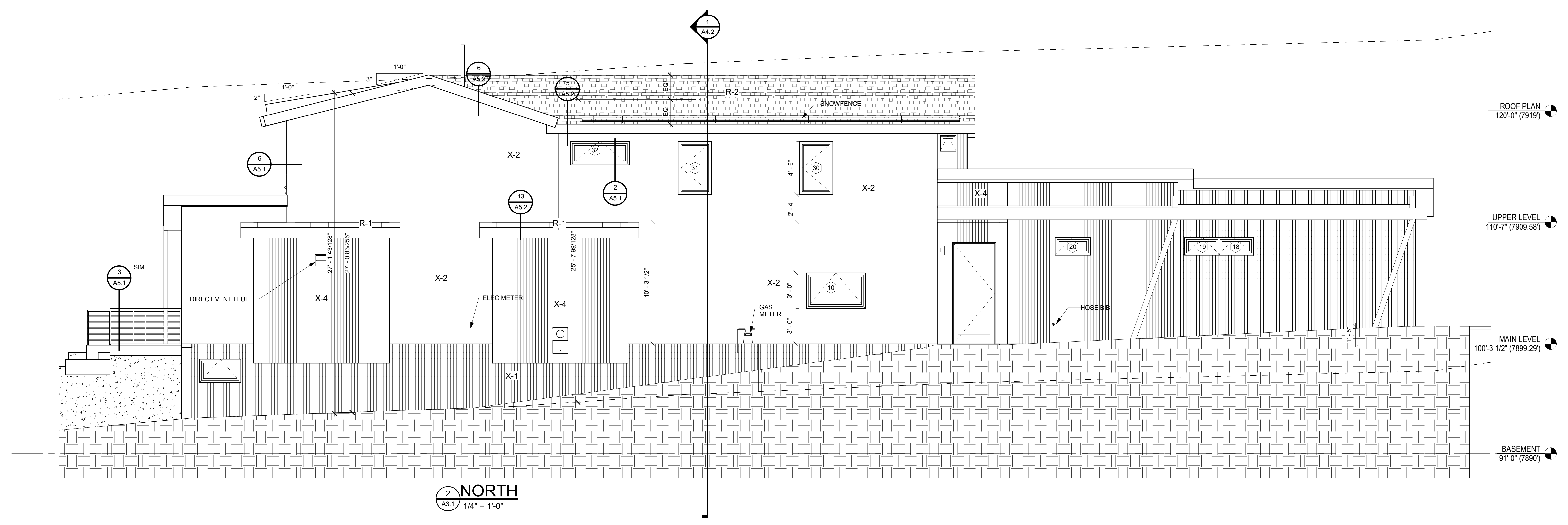
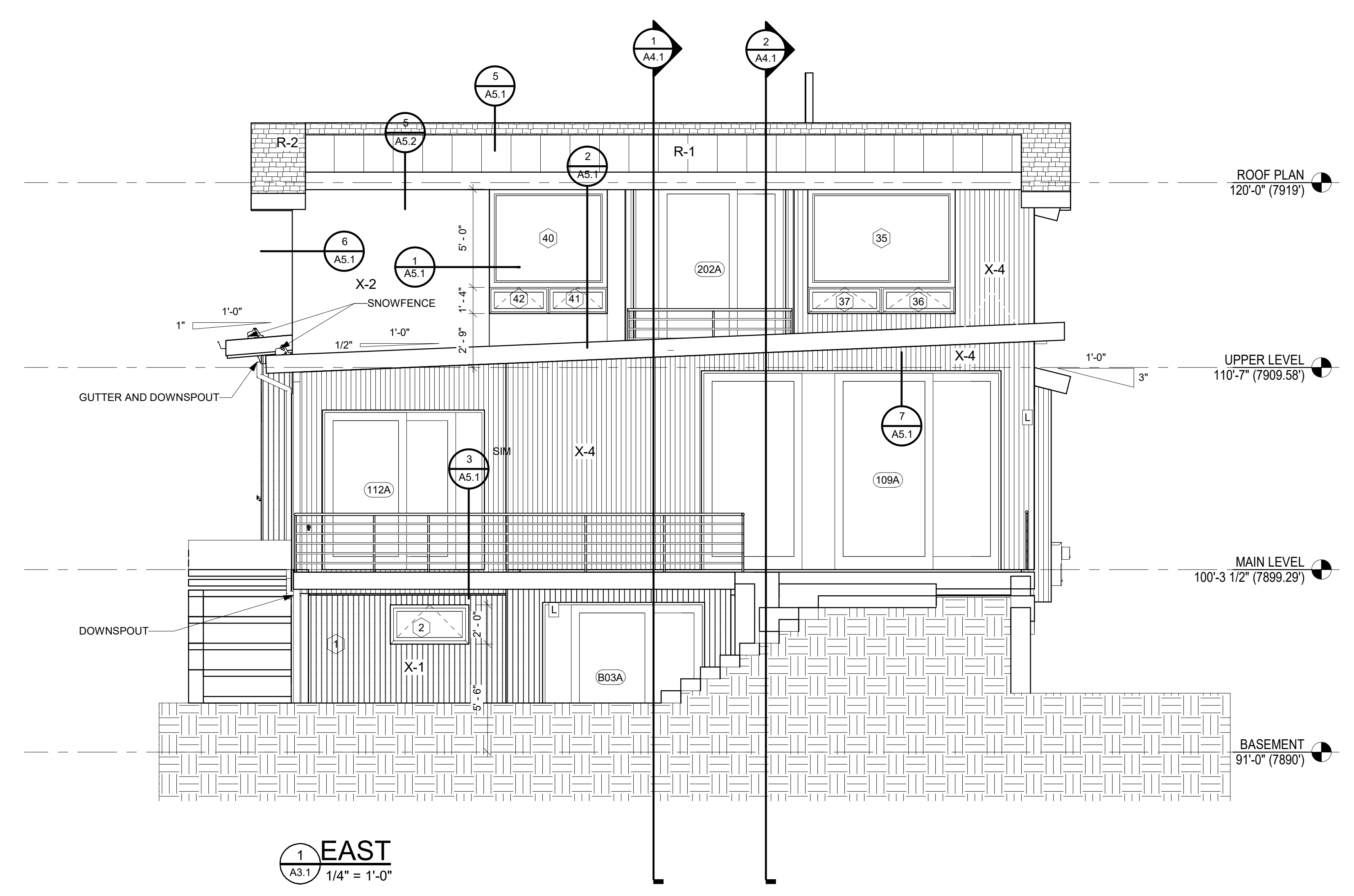
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South Minturn, CO

- EXTERIOR MATERIAL LEGEND:**
- X-1 NEW CORRUGATED METAL/BLACK COLOR FINISH
 - X-2 NEW STUCCO W/ INTEGRAL COLOR FINISH
 - X-3 NEW HORIZONTAL HEMLock WOOD SIDING, XX STAIN
 - X-4 NEW VERTICAL HEMLock WOOD SIDING, xx STAIN
 - R-1 NEW STANDING SEAM METAL ROOF, BERRIDGE DARK BRONZE KYNAR 500



Revisions:

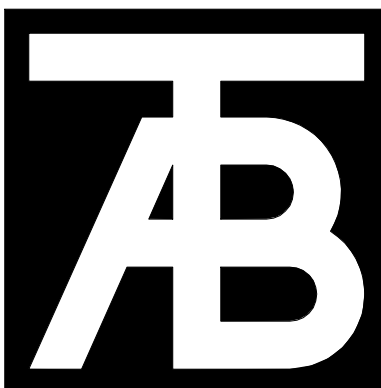
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Issue Dates:
SD - 01/26/22
CD - 05/04/22
CD R1 - 06/07/22
Rev3 - 08/31/22

Sheet Title:
Exterior Elevations

Project No:
2120

Sheet No:
A3.1



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Revisions:		
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Rev3 - 08/31/22

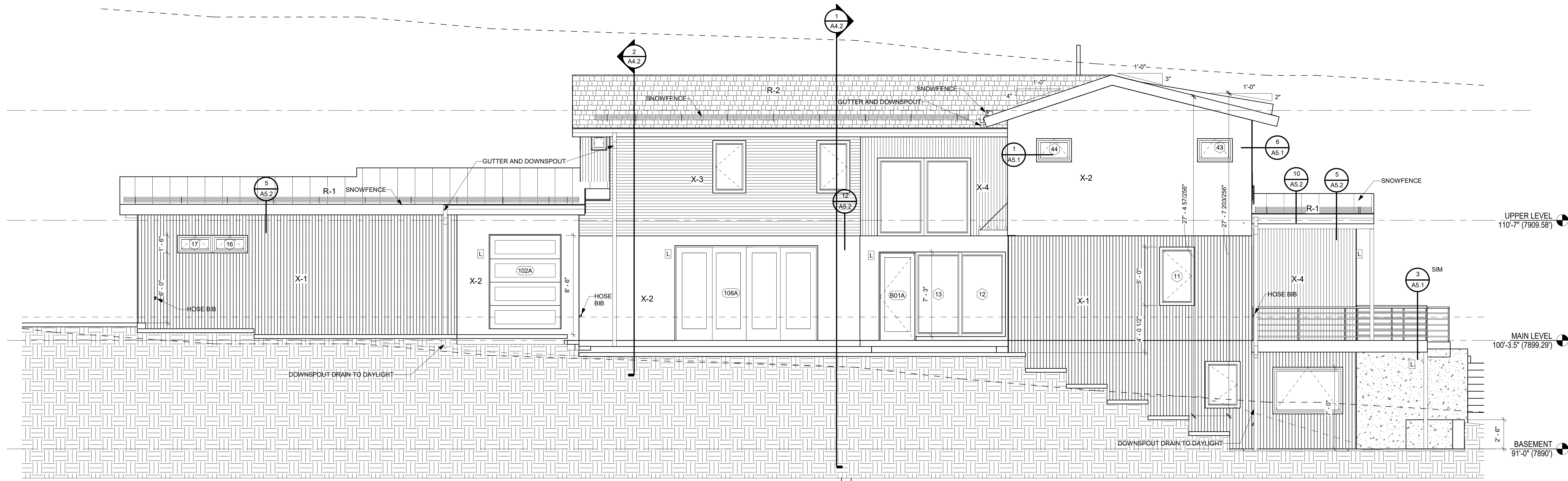
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Exterior Elevations

Project No:
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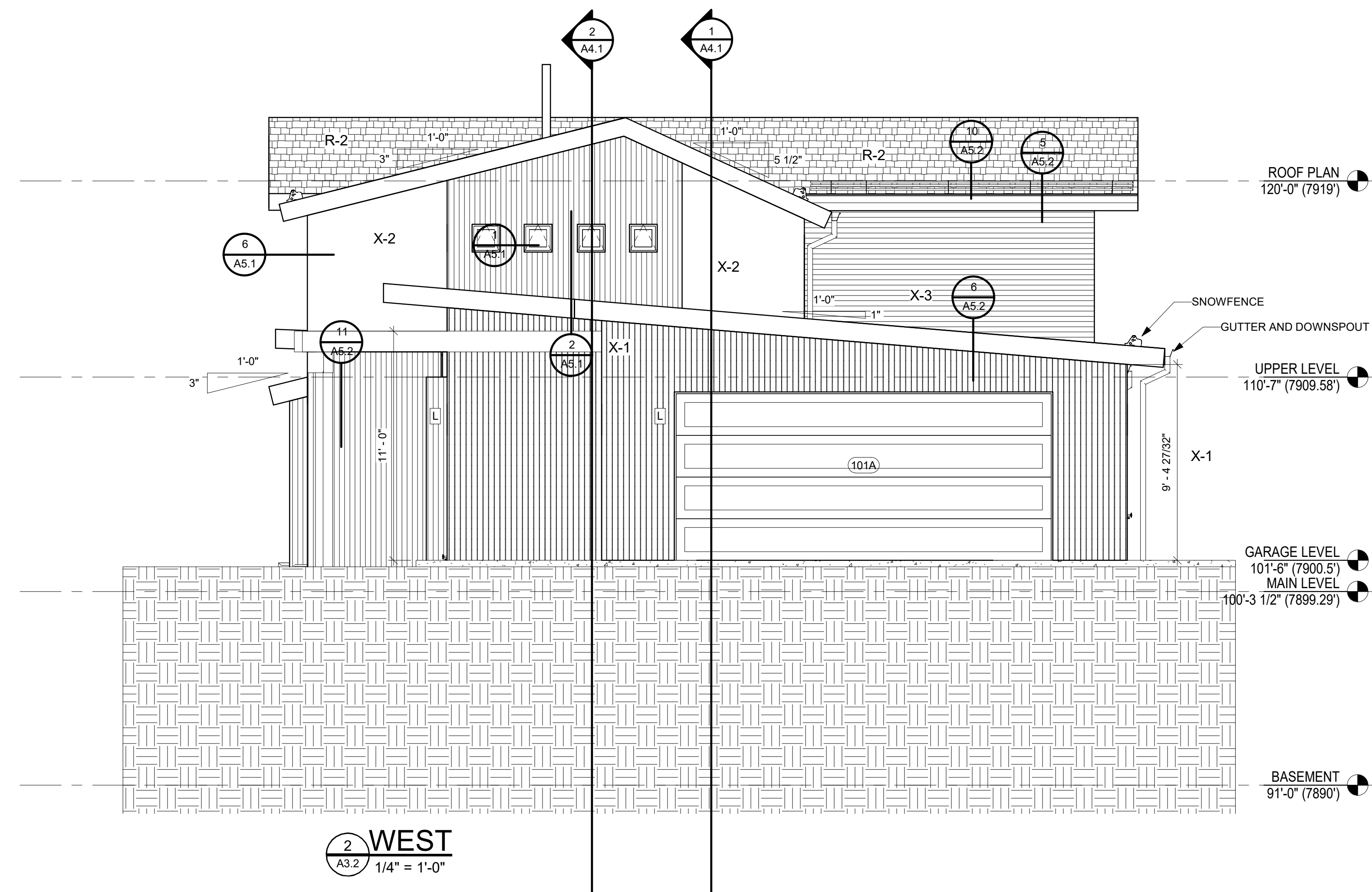
Sheet No:
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EXTERIOR MATERIAL LEGEND:

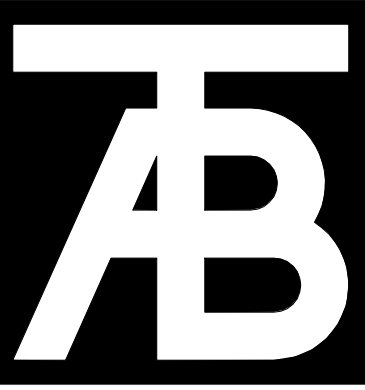
- X-1 NEW CORRUGATED METAL W/BLACK COLOR FINISH
- X-2 NEW STUCCO W/ INTEGRAL COLOR FINISH
COAT SW 7508 TAVERN TAUPE, SAND FINISH
- X-3 NEW HORIZONTAL HEMLOCK WOOD SIDING,
XX STAIN
- X-4 NEW VERTICAL HEMLOCK WOOD SIDING,
XX STAIN
- R-1 NEW STANDING SEAM METAL ROOF,
BERRIDGE DARK BRONZE KYNAR 500



1 SOUTH
A3.2 1/4" = 1'-0"



2 WEST
A3.2 1/4" = 1'-0"



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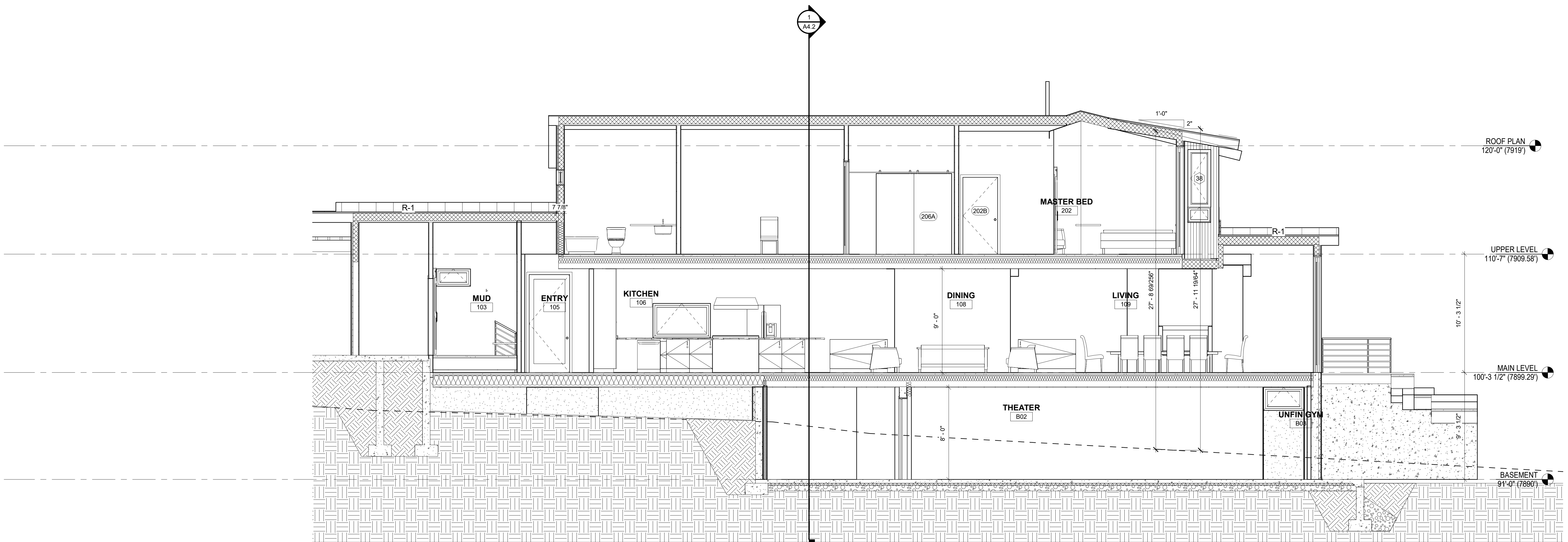
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Rev3 - 08/31/22

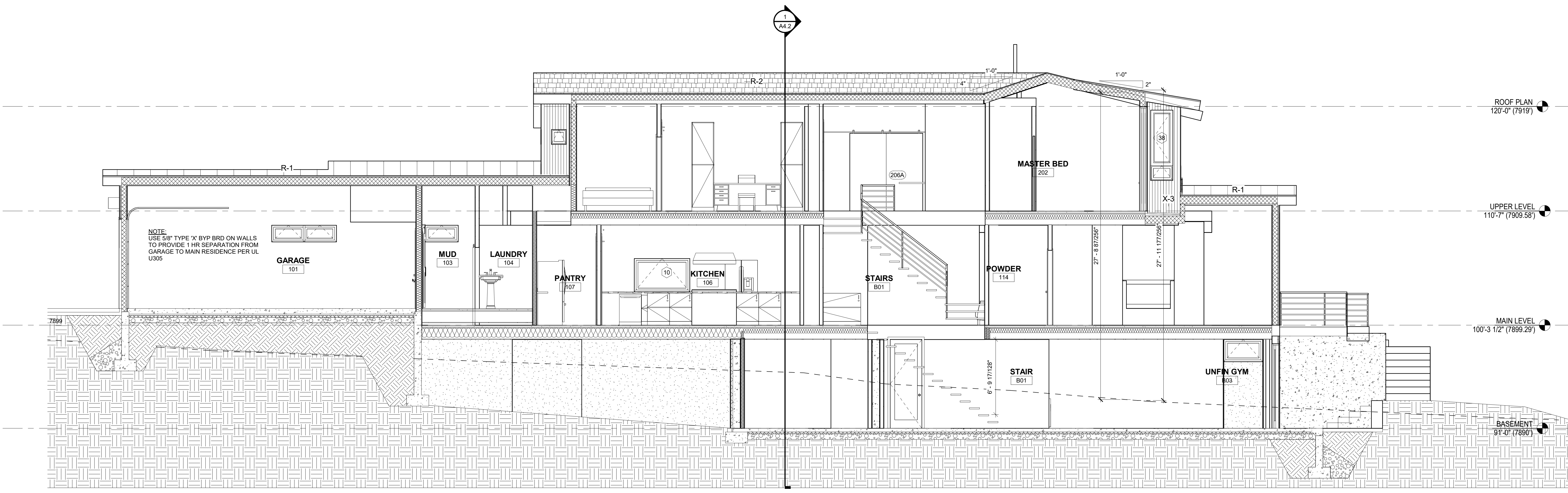
Sheet Title:
Building Sections

Project No:
2120

Sheet No:
A4.1

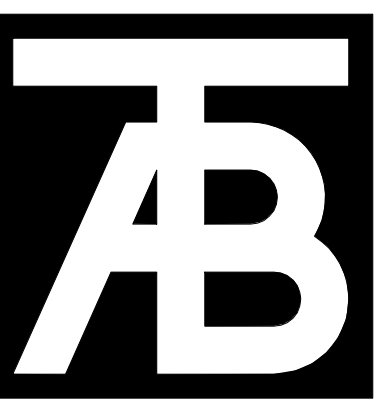


2 E/W BUILDING SECTION BH OVER BEDS
A4.1 1/4" = 1'-0"



1 E/W BUILDING SECTION BH OVER MASTER
A4.1 1/4" = 1'-0"

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Revisions:		
No	Description	Date

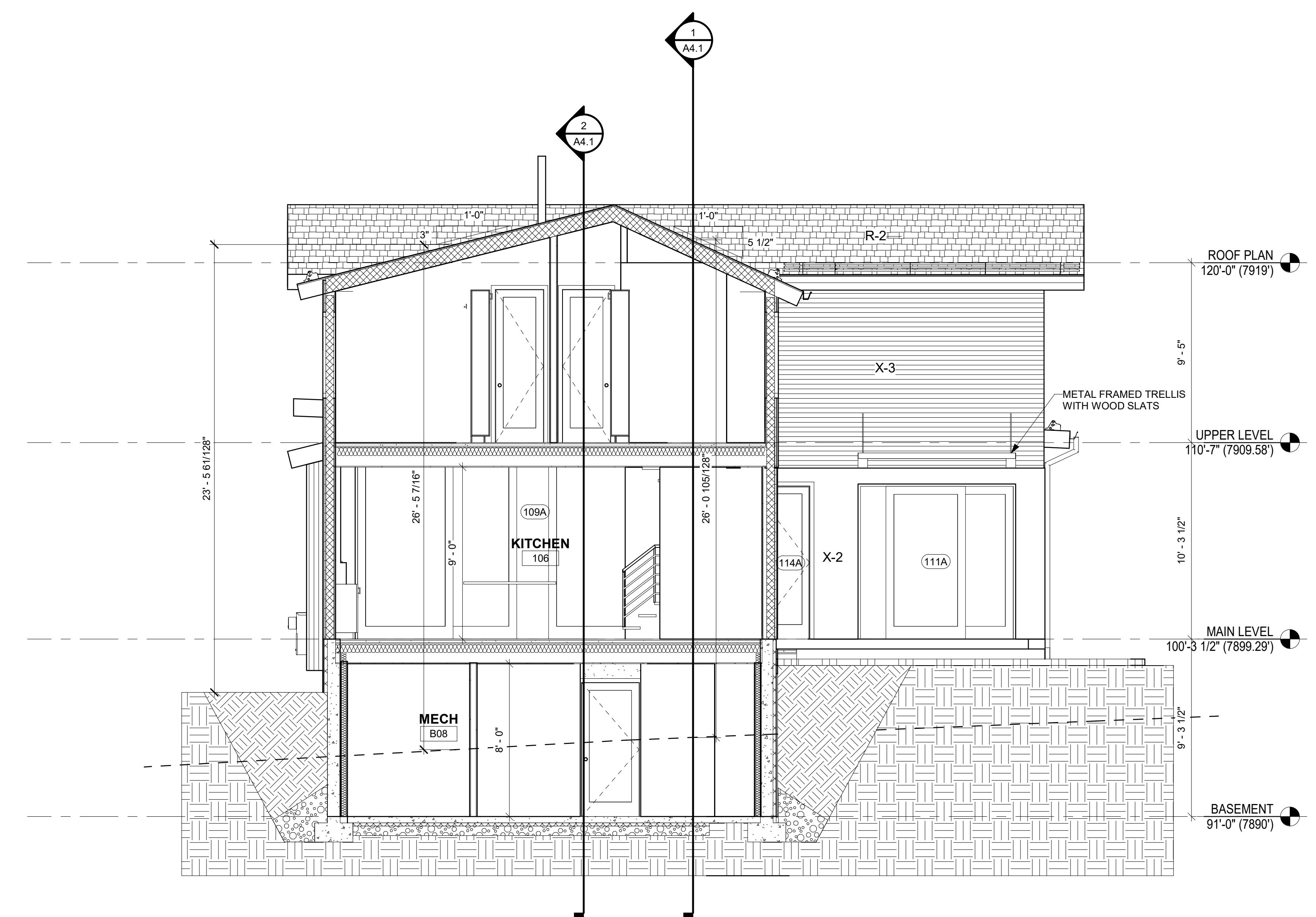
Issue Dates:
SD - 01/26/22
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CD R1 - 06/07/22
Rev3 - 08/31/22

Sheet Title:
Building Sections

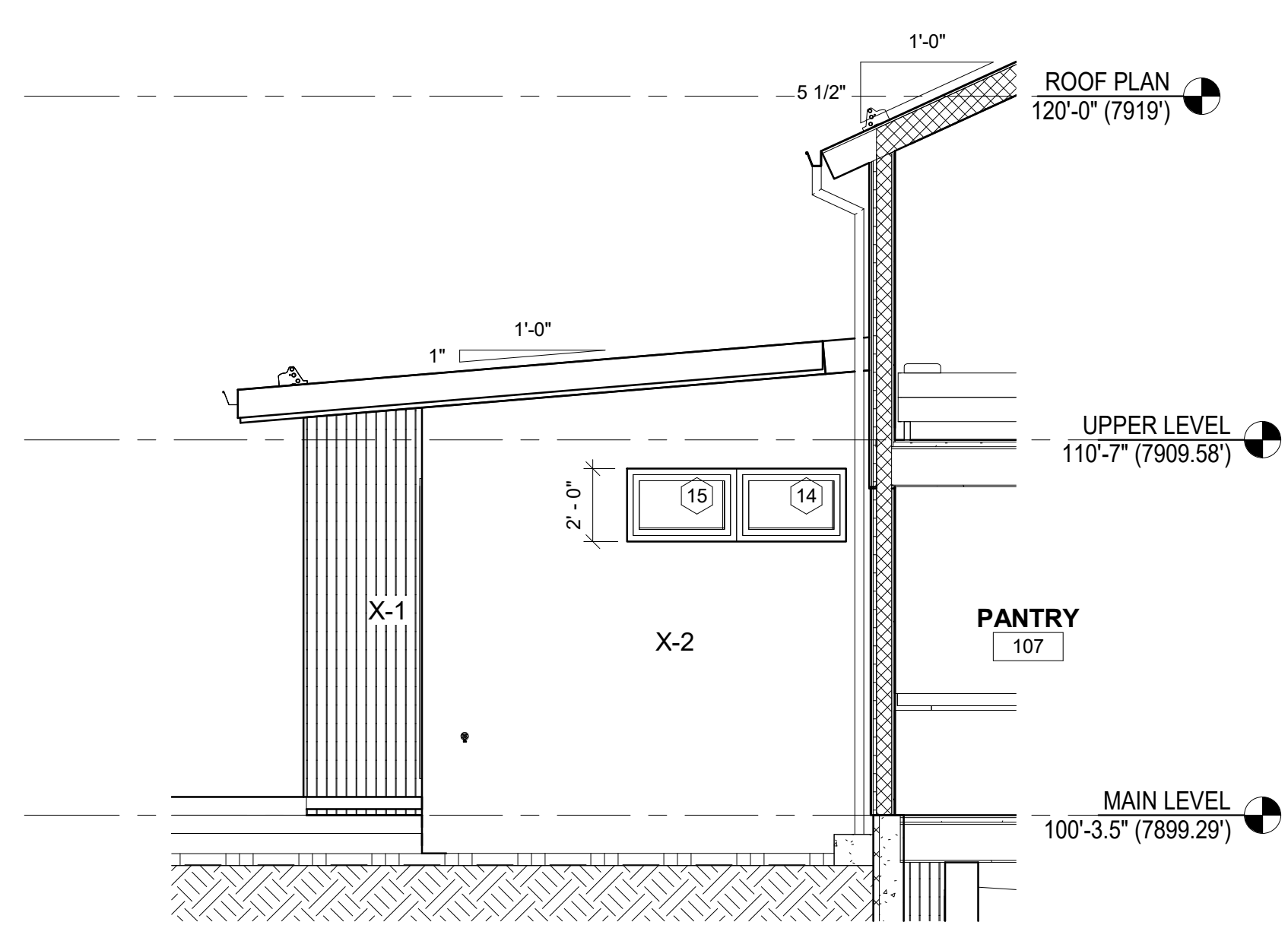
Project No:
2120

Sheet No:
A4.2

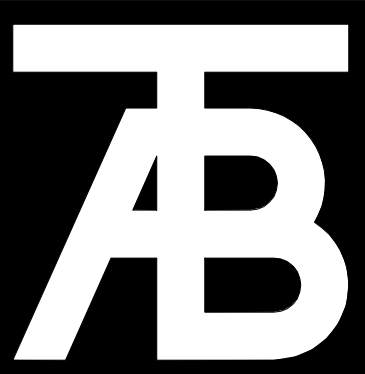
- EXTERIOR MATERIAL LEGEND:**
- X-1 NEW CORRUGATED METAL/BLACK COLOR FINISH
 - X-2 NEW STUCCO W/ INTEGRAL COLOR FINISH COAT SW 7508 TAVERN TAUPE, SAND FINISH, XX STAIN
 - X-3 NEW HORIZONTAL HEMLOCK WOOD SIDING, XX STAIN
 - X-4 NEW VERTICAL HEMLOCK WOOD SIDING, xx STAIN
 - R-1 NEW STANDING SEAM METAL ROOF, BERRIDGE DARK BRONZE KYNAR 500



1 N/S BUILDING SECTION THROUGH POOL
1/4" = 1'-0"



2 SIDE OF GEAR ROOM
1/4" = 1'-0"



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 South Minturn, CO

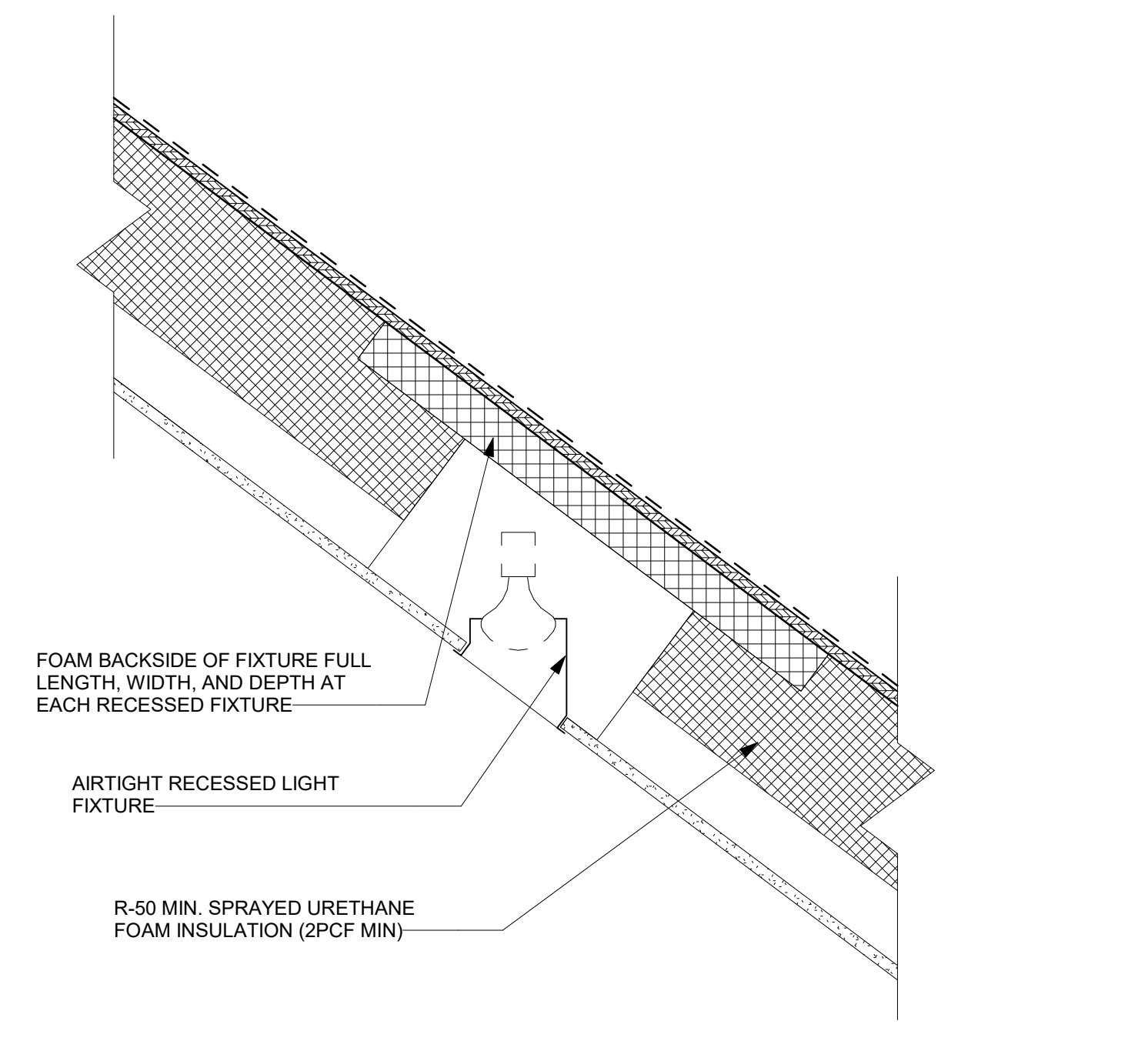
Revisions:		
No.	Description	Date

Issue Dates:
 SD - 01/26/22
 CD - 05/04/22
 CD R1 - 06/07/22
 Rev3 - 08/31/22

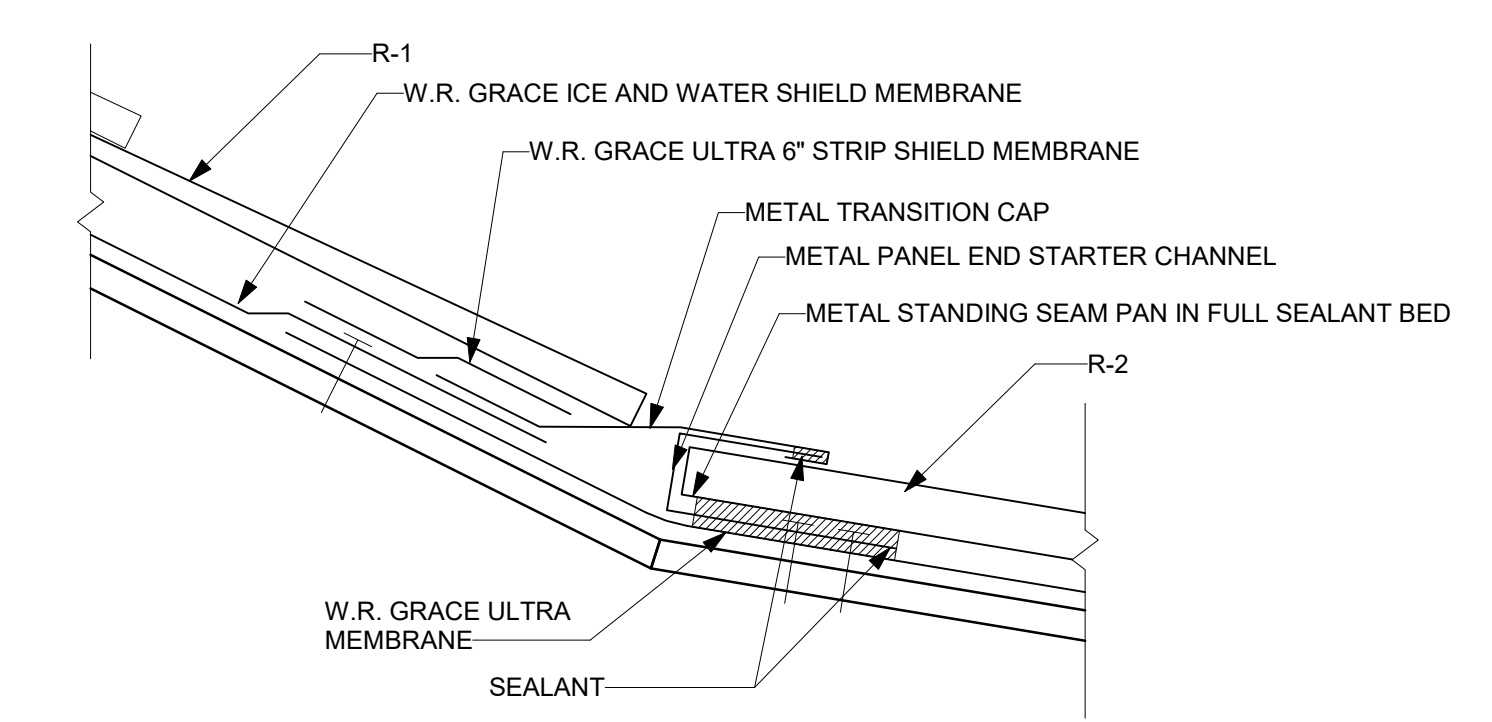
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Details

Project No:
 2120

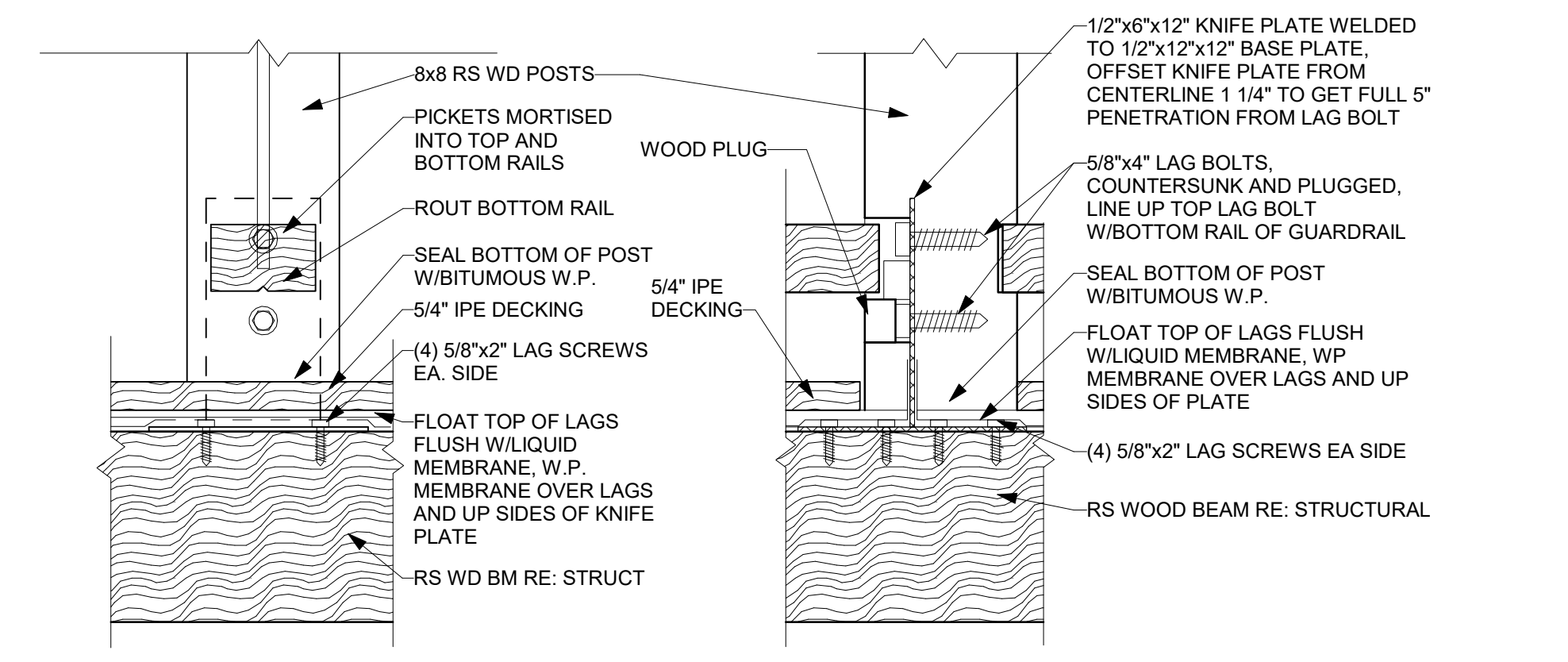
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A5.1



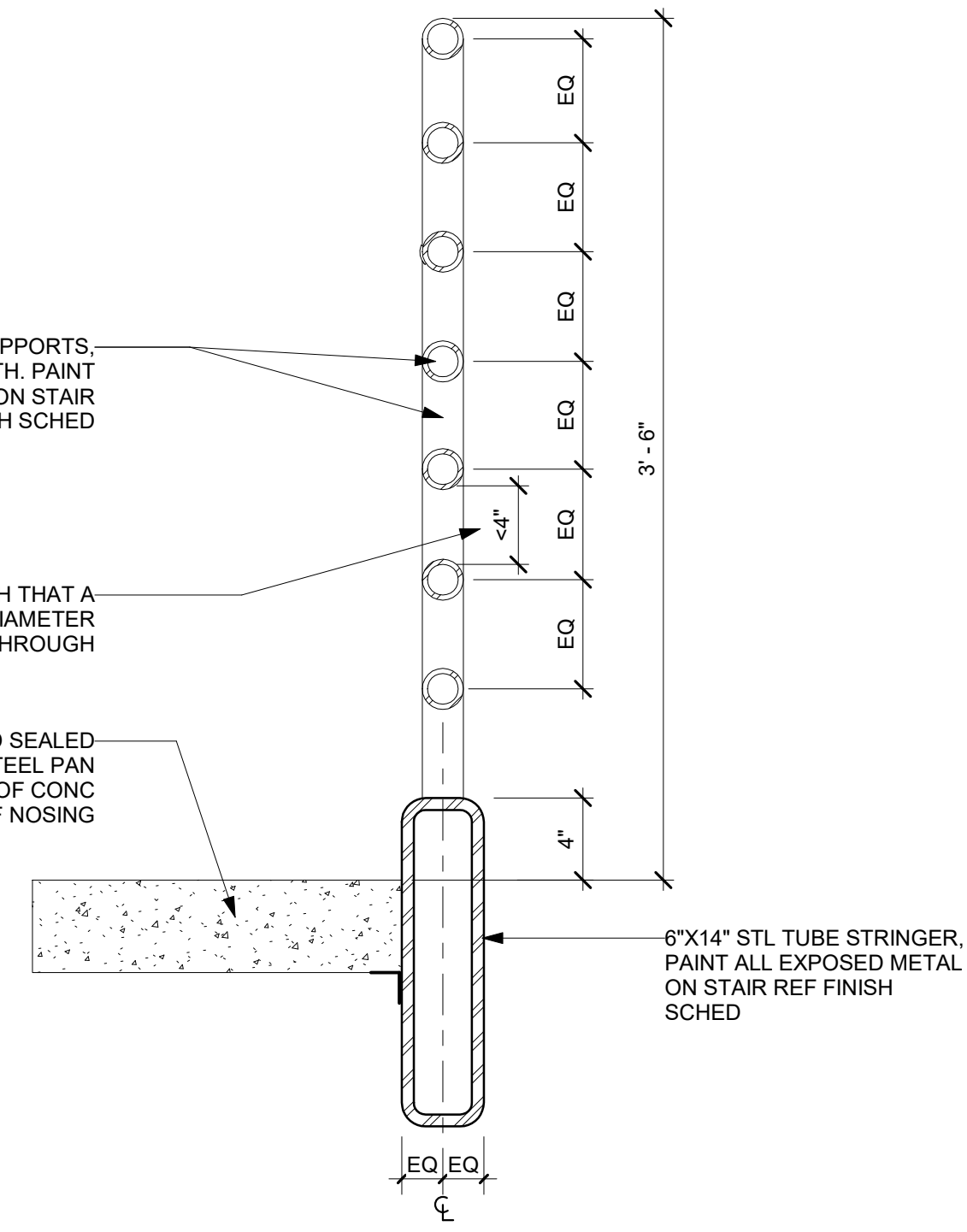
4 RECESSED LIGHT FIXTURE
 A5.1 1 1/2" = 1'-0"



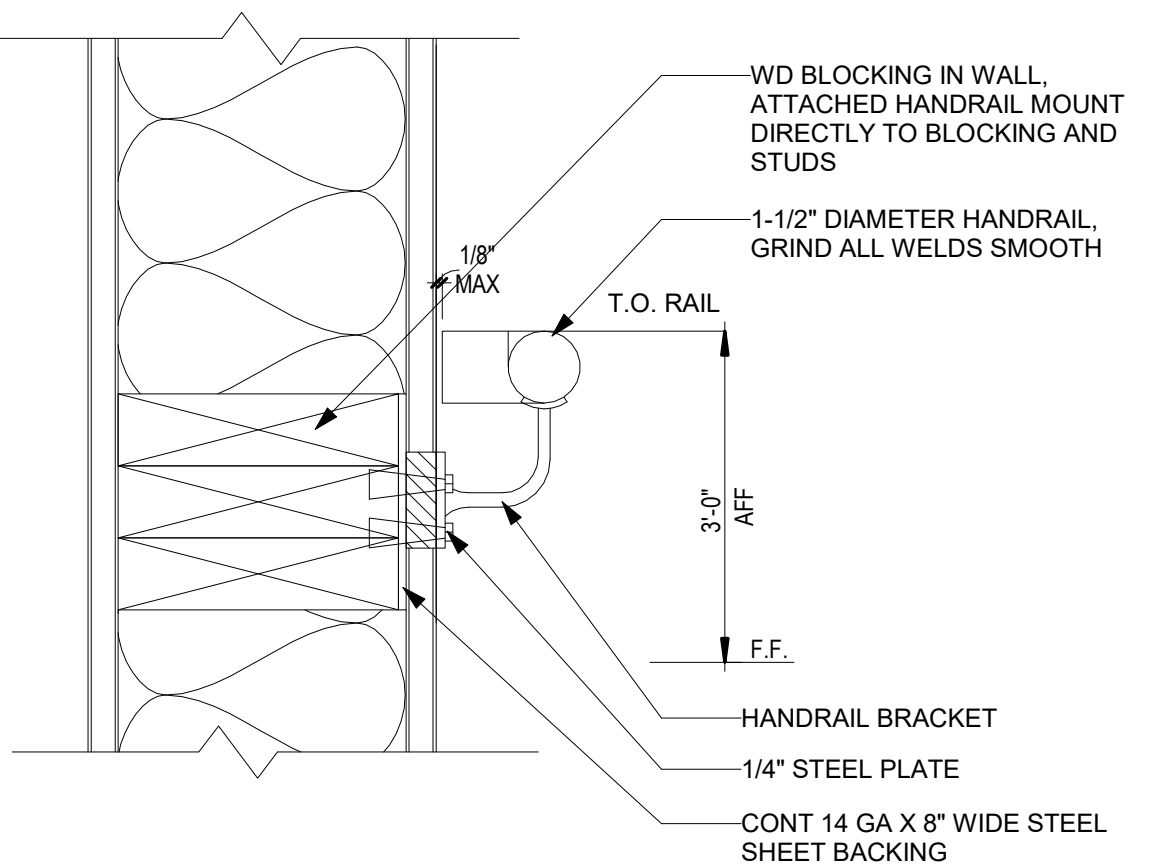
5 PITCH TRANSITION
 A5.1 3" = 1'-0"



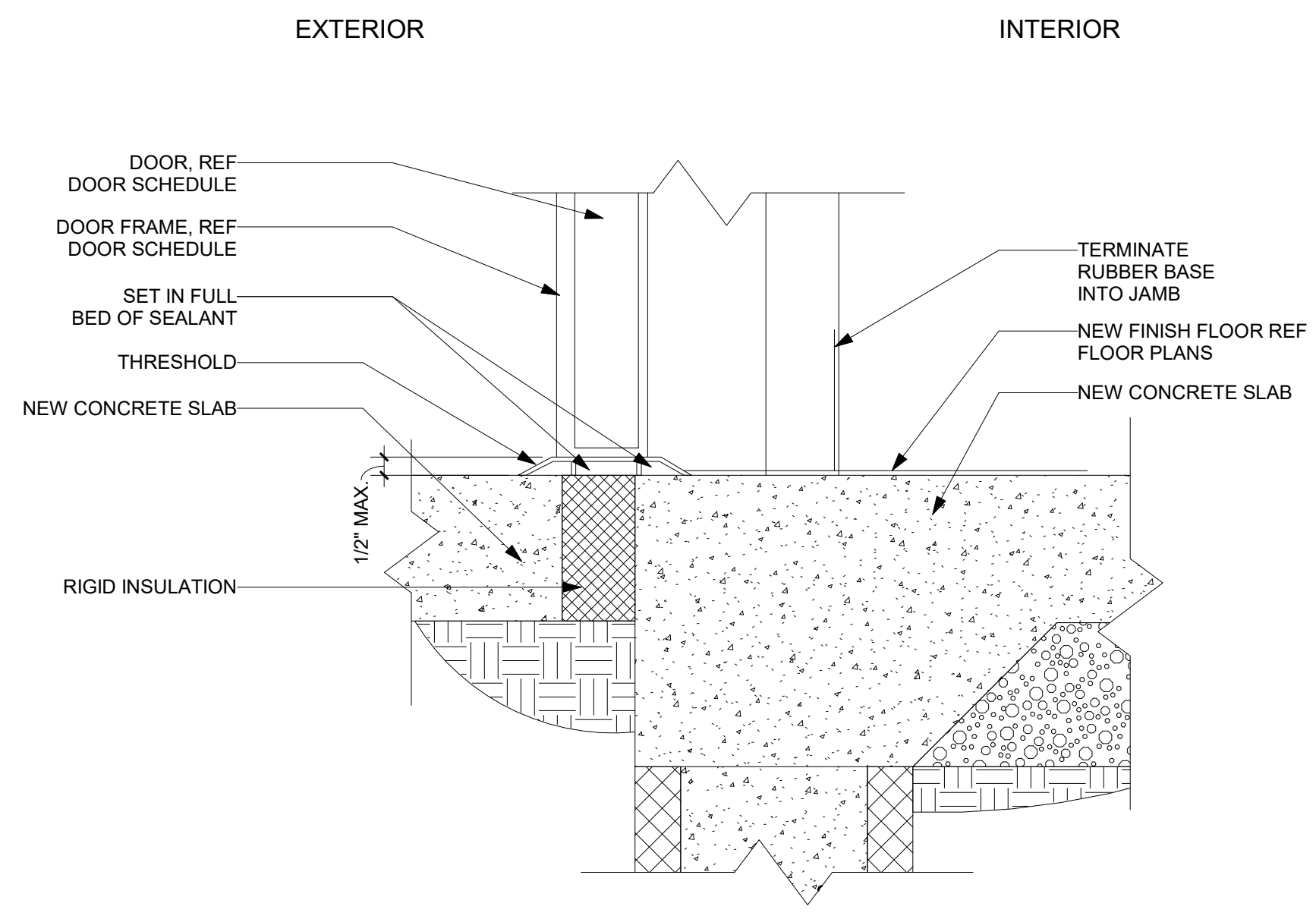
9 DECK POST KNIFE PLATE
 A5.1 1 1/2" = 1'-0"



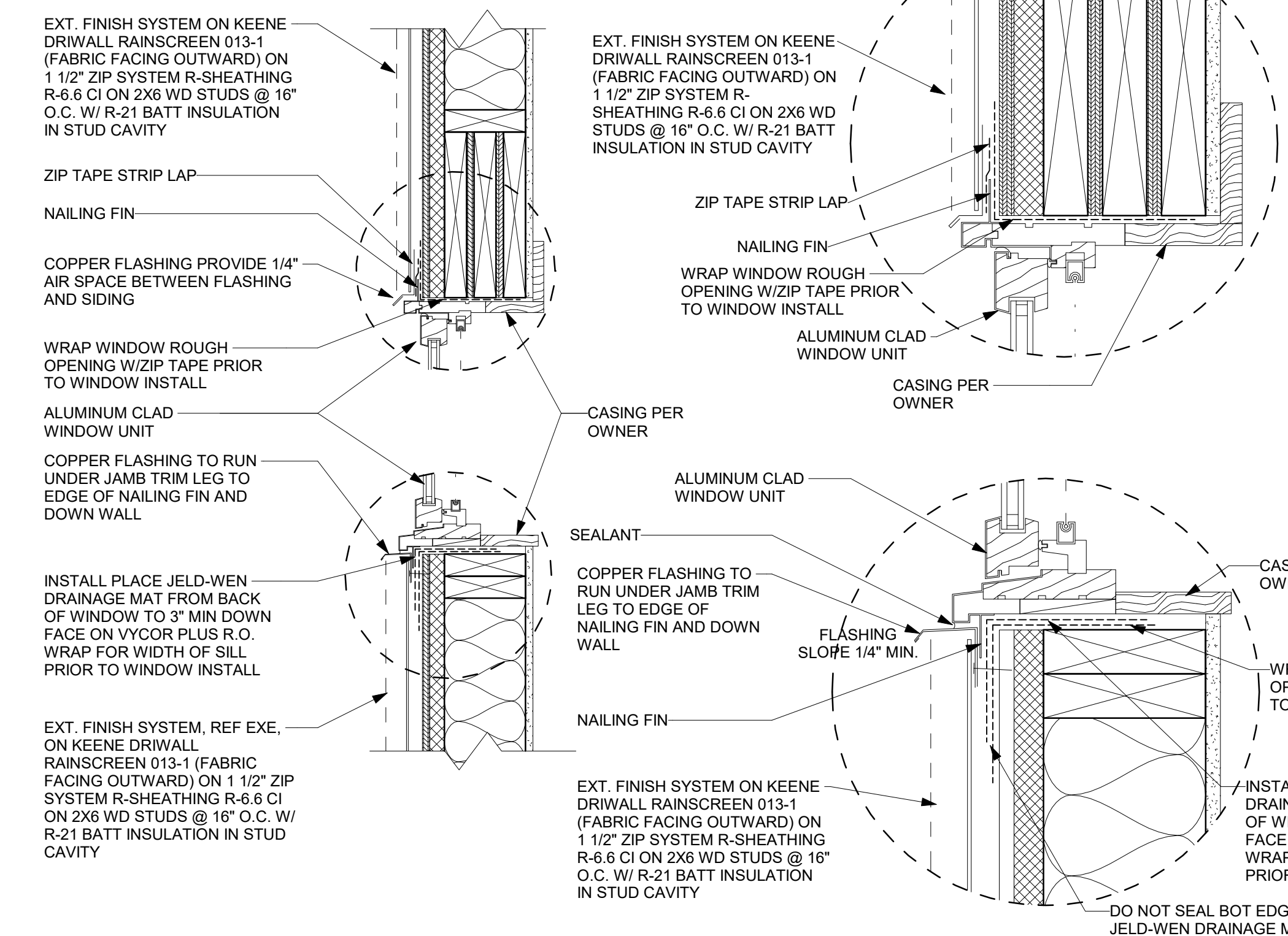
3 GUARDRAIL DETAIL
 A5.1 1 1/2" = 1'-0"



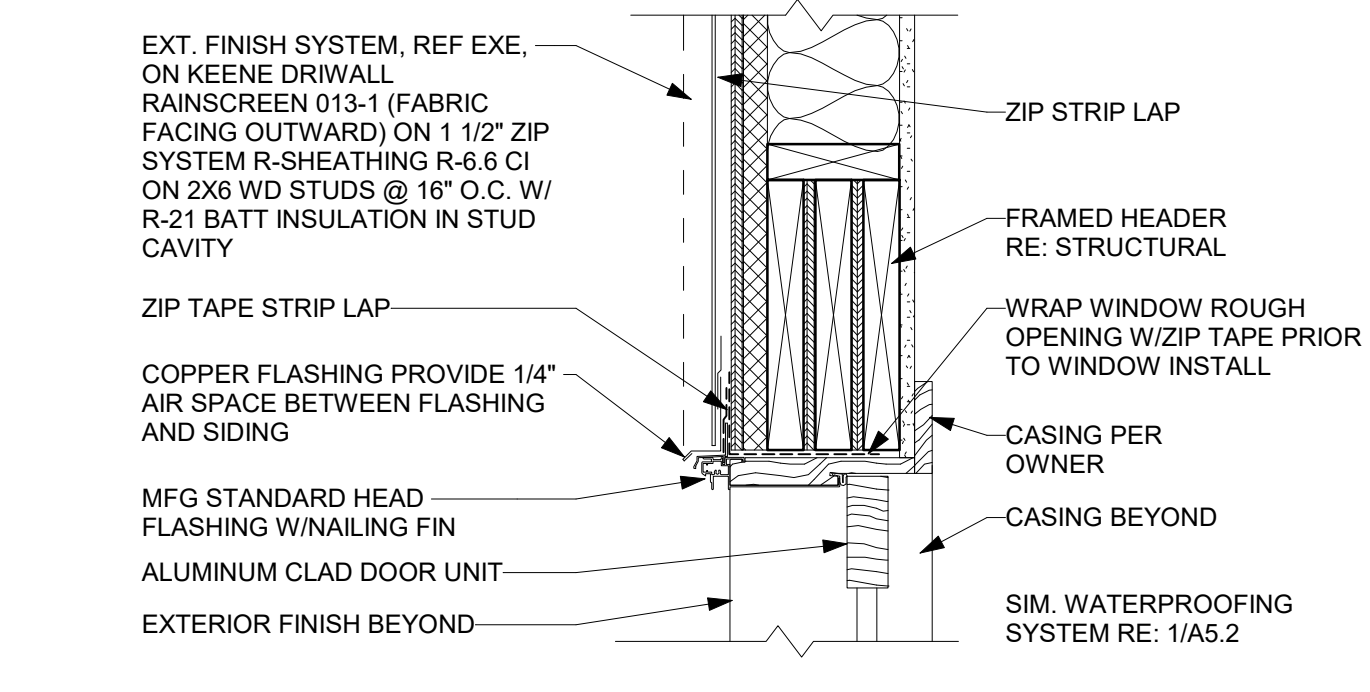
8 HANDRAIL TO WALL DETAIL
 A5.1 3" = 1'-0"



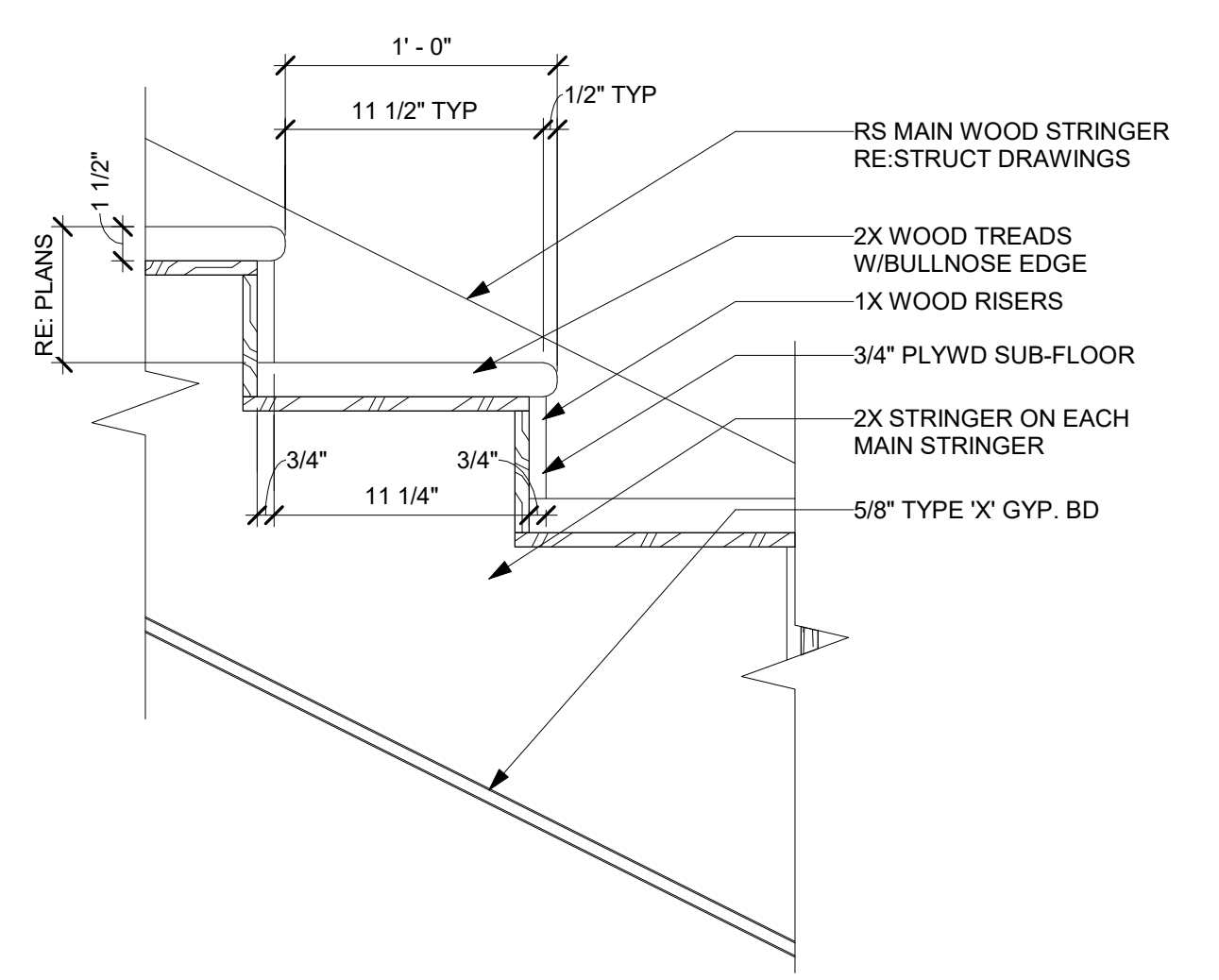
12 INT/EXT DOOR THRESHOLD
 A5.1 3" = 1'-0"



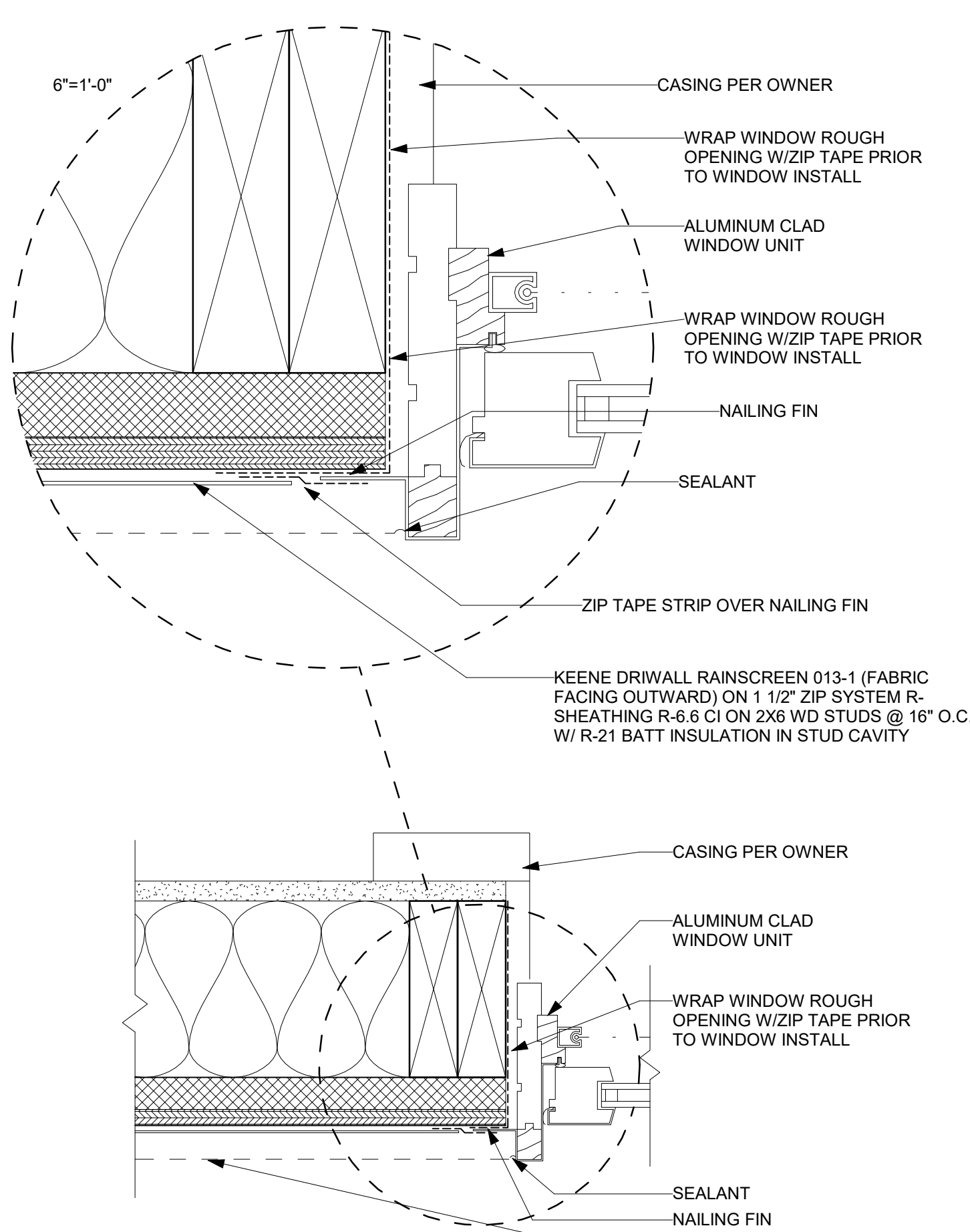
2 WINDOW HEAD/SILL WOOD
 A5.1 1 1/2" = 1'-0"



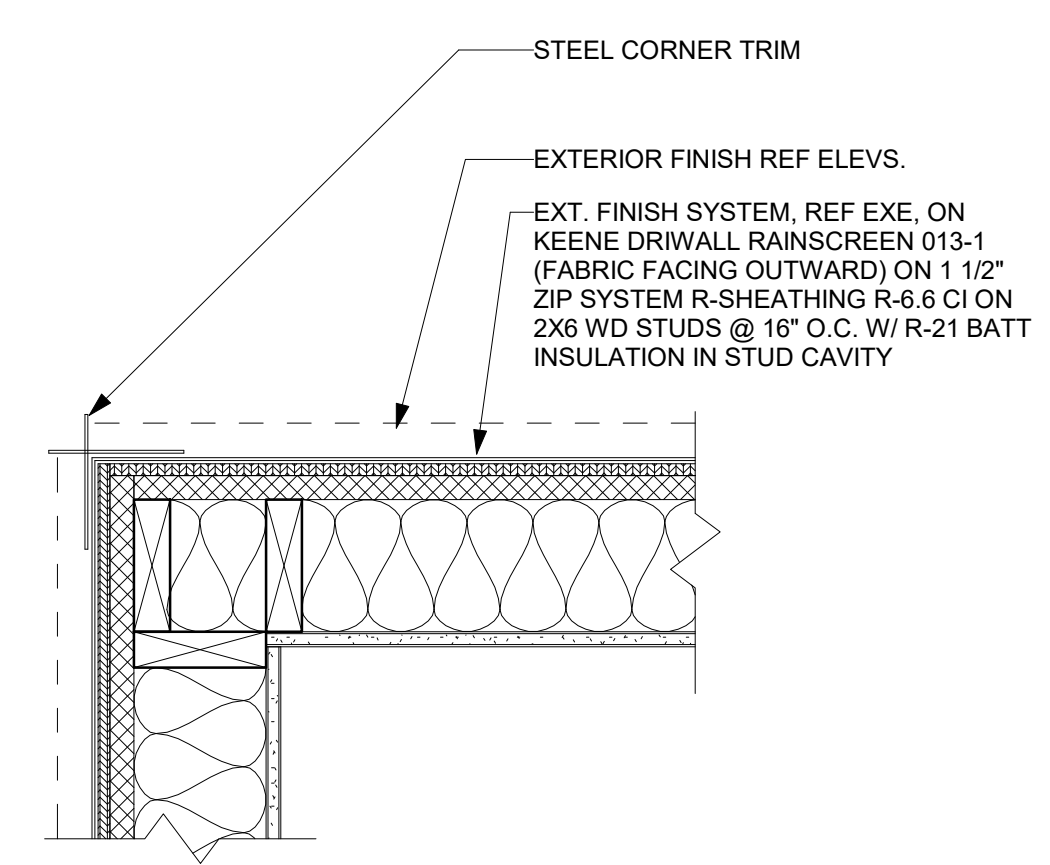
7 DOOR HEADER IN SIDING
 A5.1 1 1/2" = 1'-0"



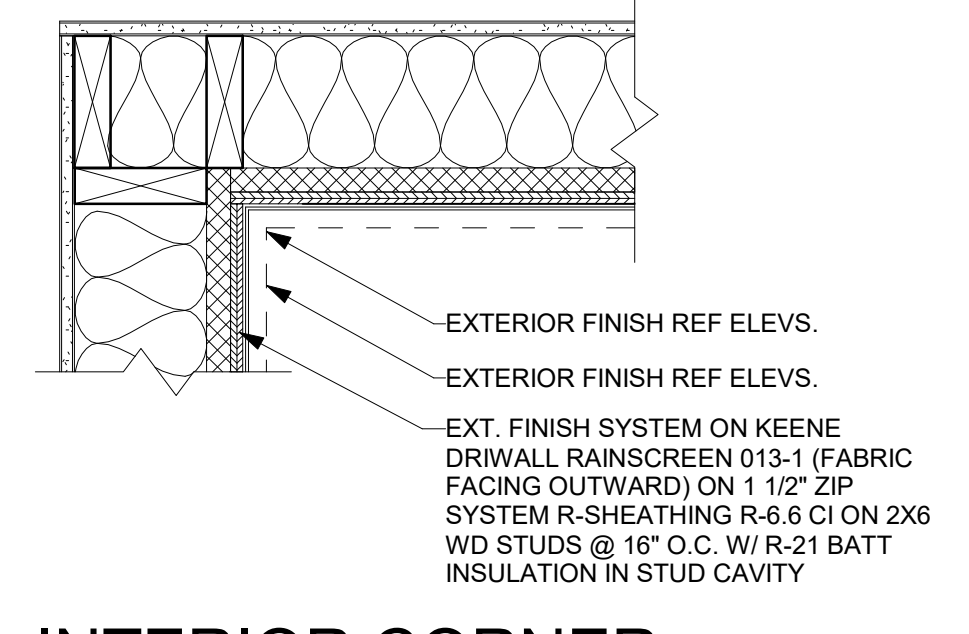
11 STAIR DETAIL WD
 A5.1 1 1/2" = 1'-0"



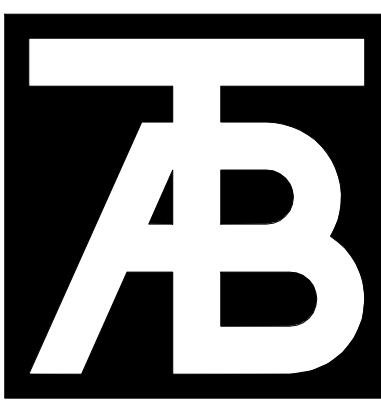
1 WINDOW JAMB WOOD
 A5.1 3" = 1'-0"



6 EXTERIOR CORNER
 A5.1 1 1/2" = 1'-0"



10 INTERIOR CORNER
 A5.1 1 1/2" = 1'-0"



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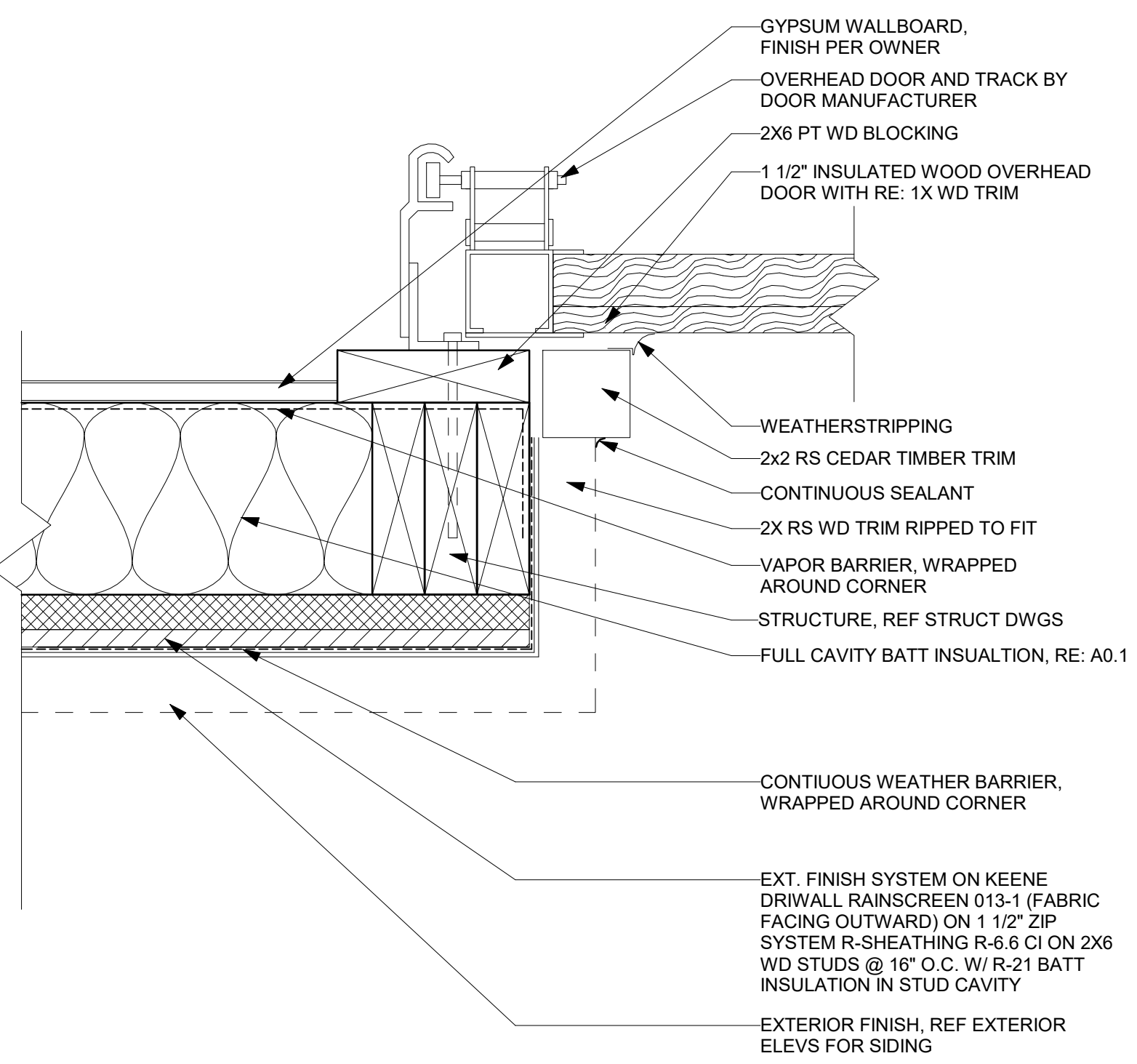
Revisions:		
No.	Description	Date

Issue Dates:
 SD - 01/26/22
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 CD R1 - 06/07/22
 Rev3 - 08/31/22

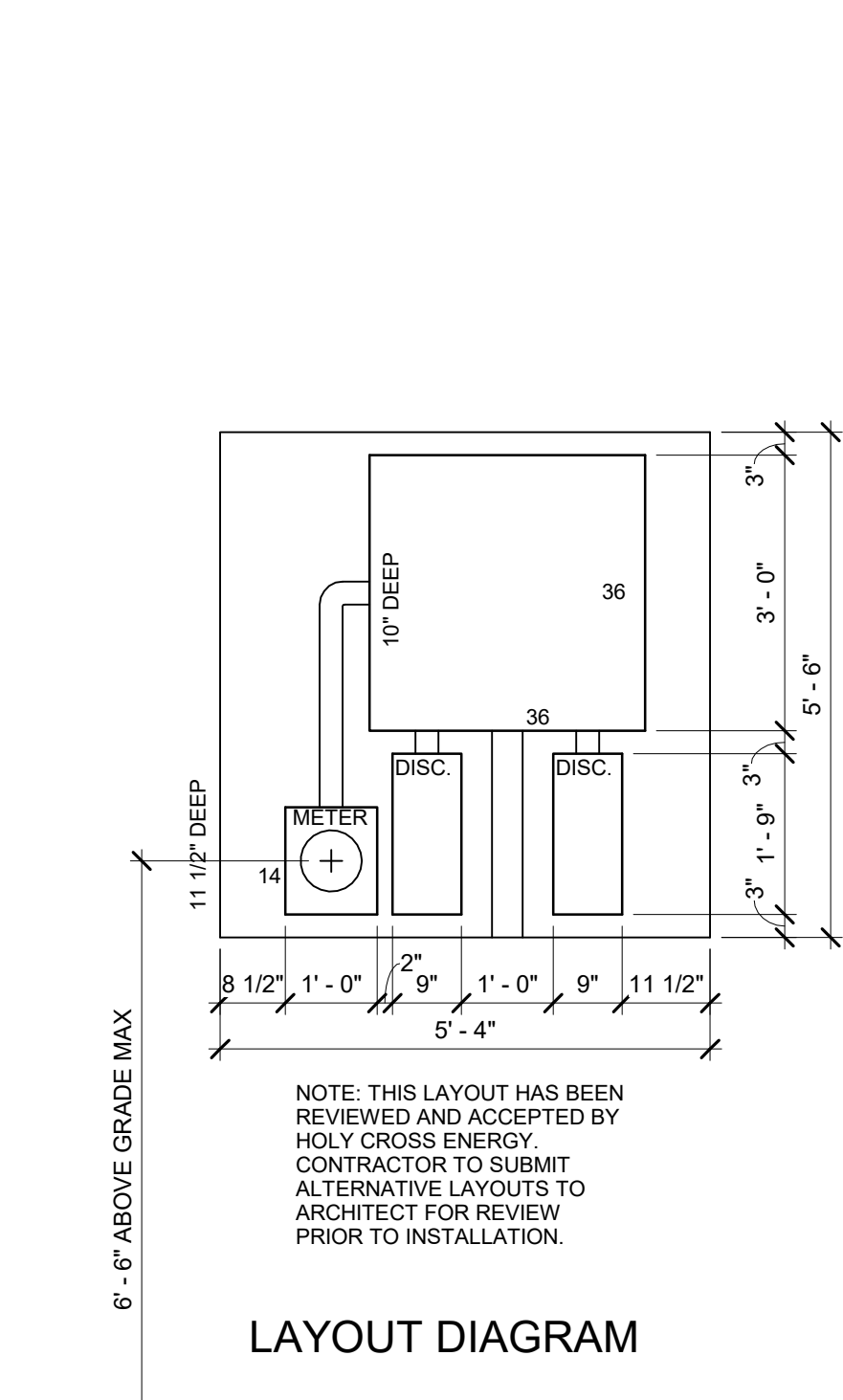
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Details

Project No:
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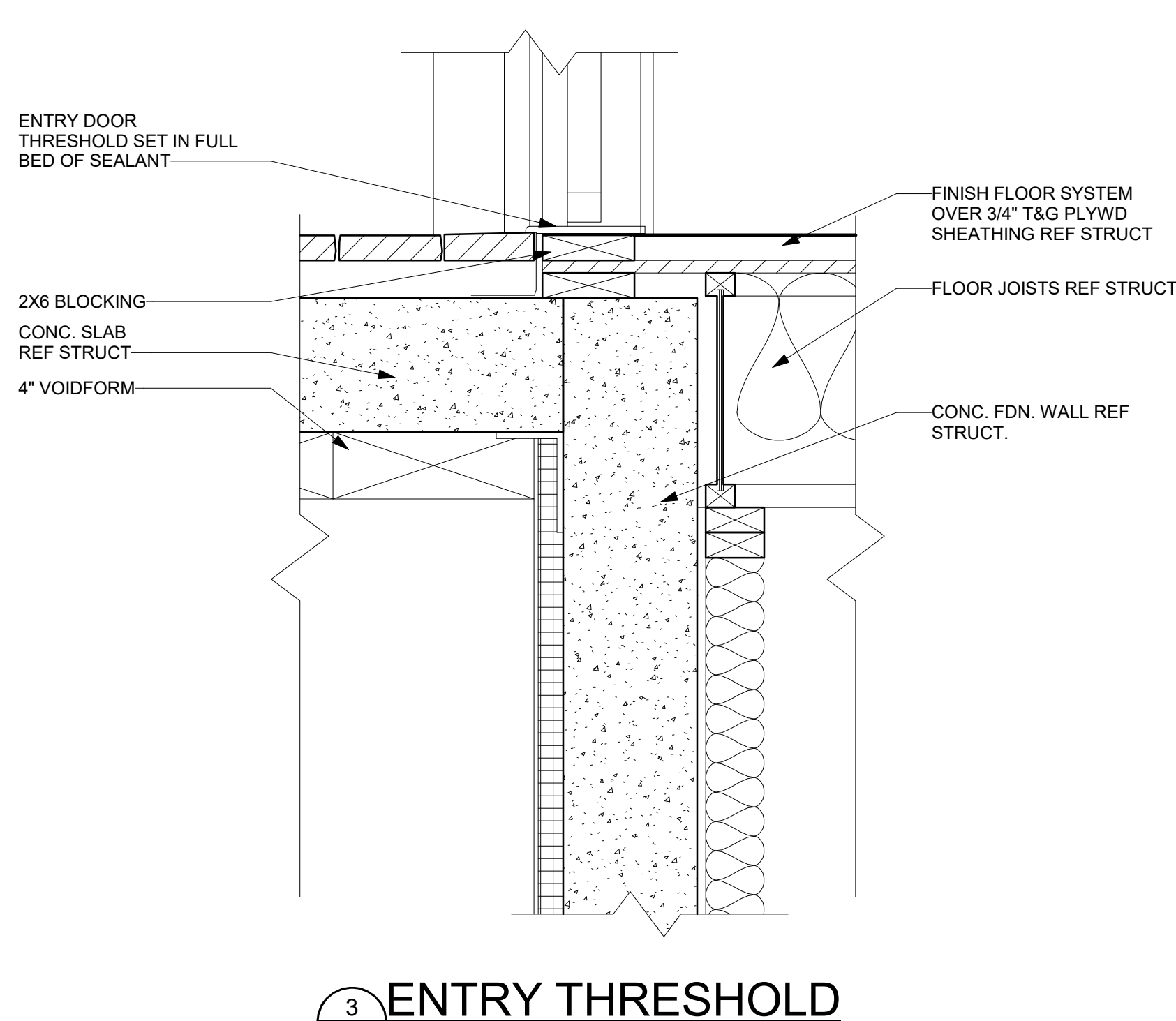
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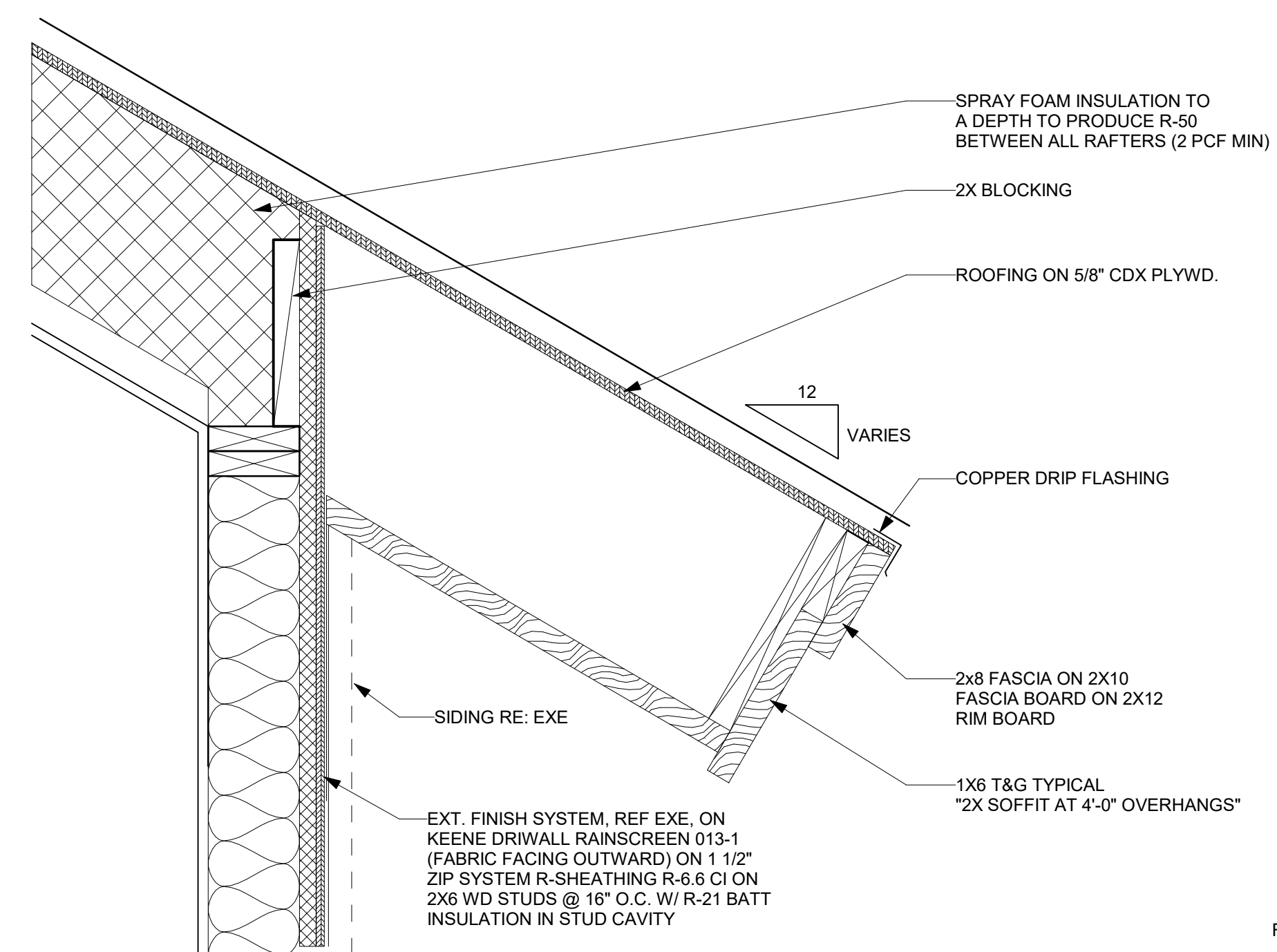
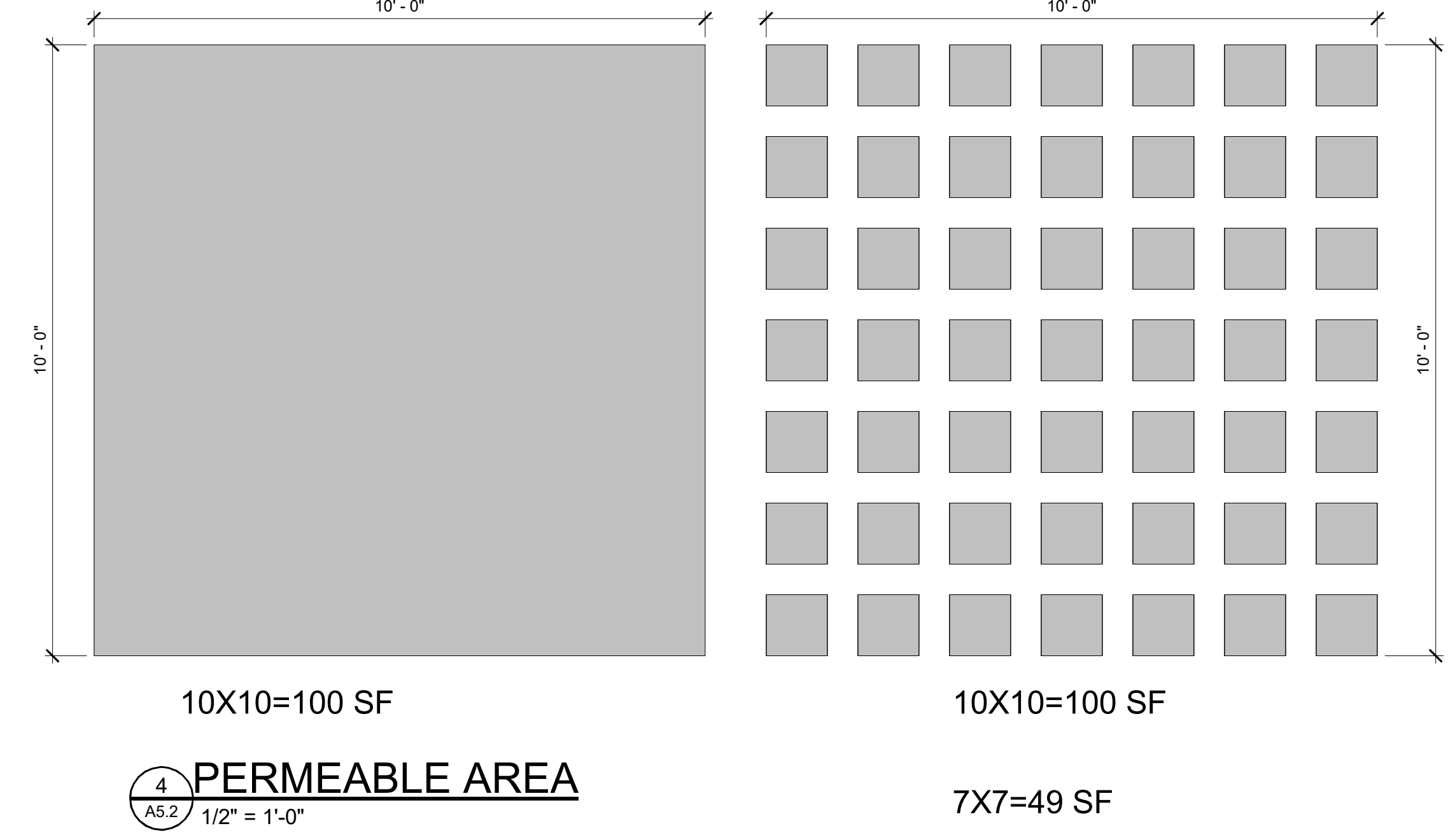
1 GARAGE DOOR IN SIDING
 A5.2 / 3" = 1'-0"



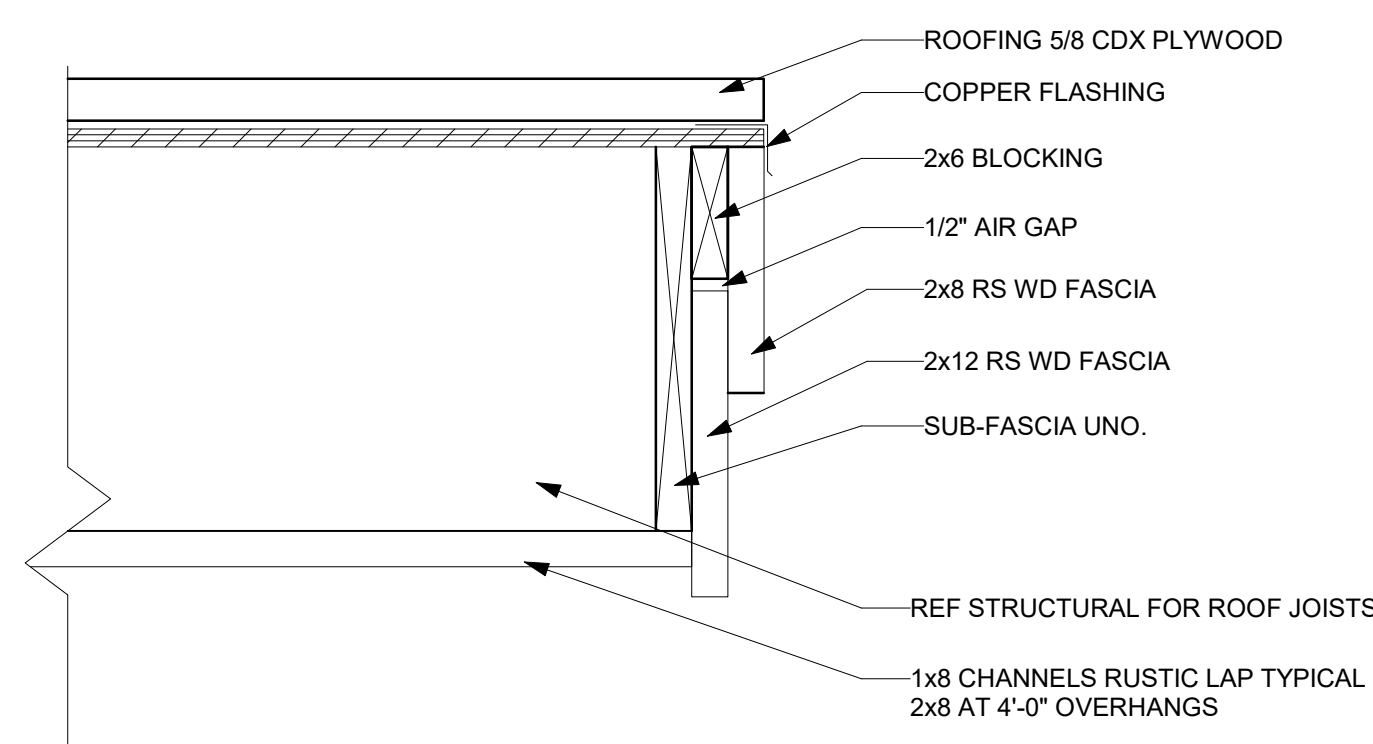
2 ELEC PANEL LAYOUT
 A5.2 / 1/2" = 1'-0"



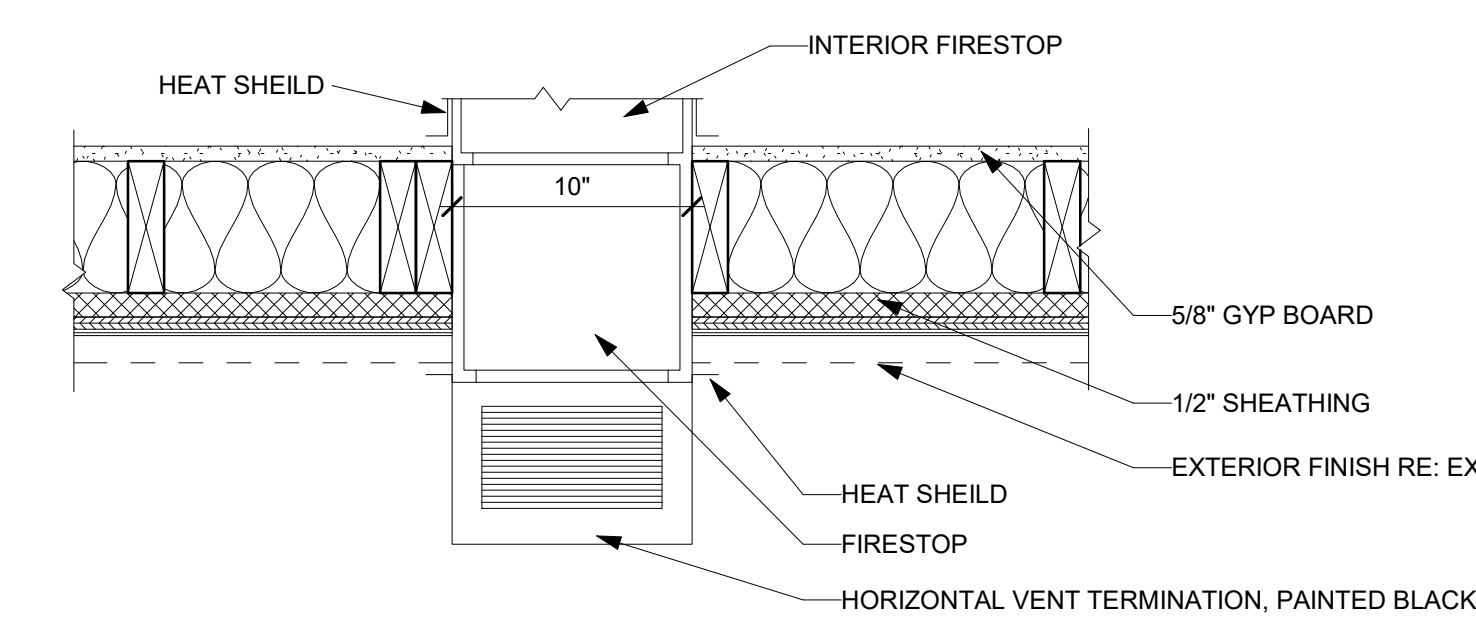
3 ENTRY THRESHOLD
 A5.2 / 1/2" = 1'-0"



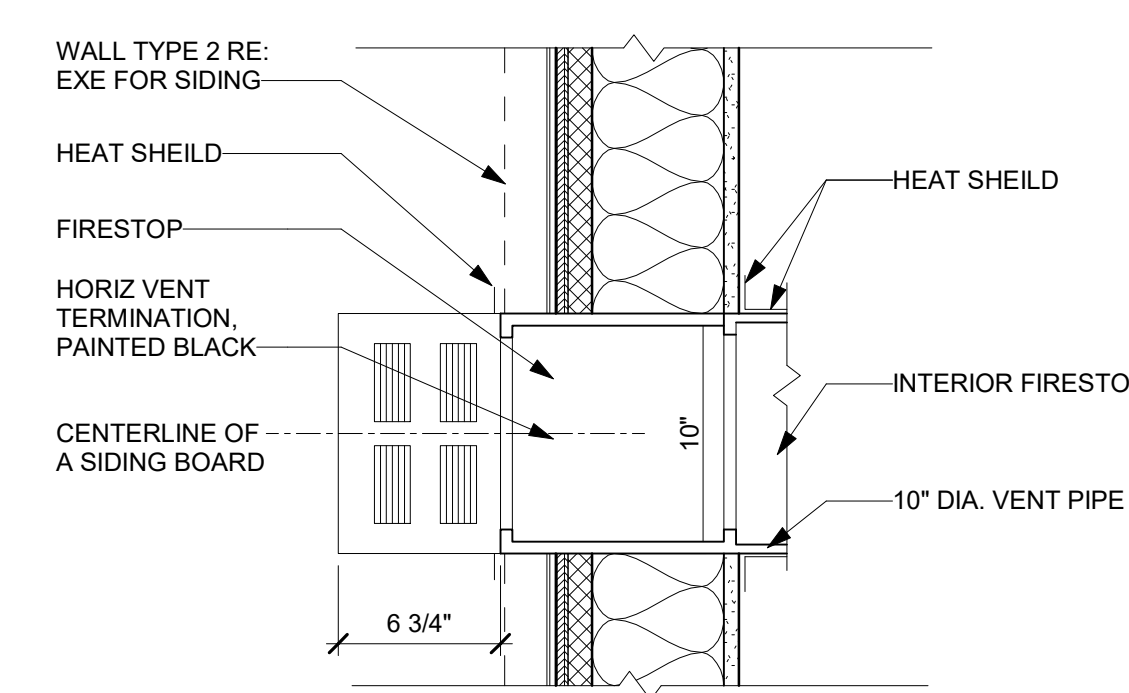
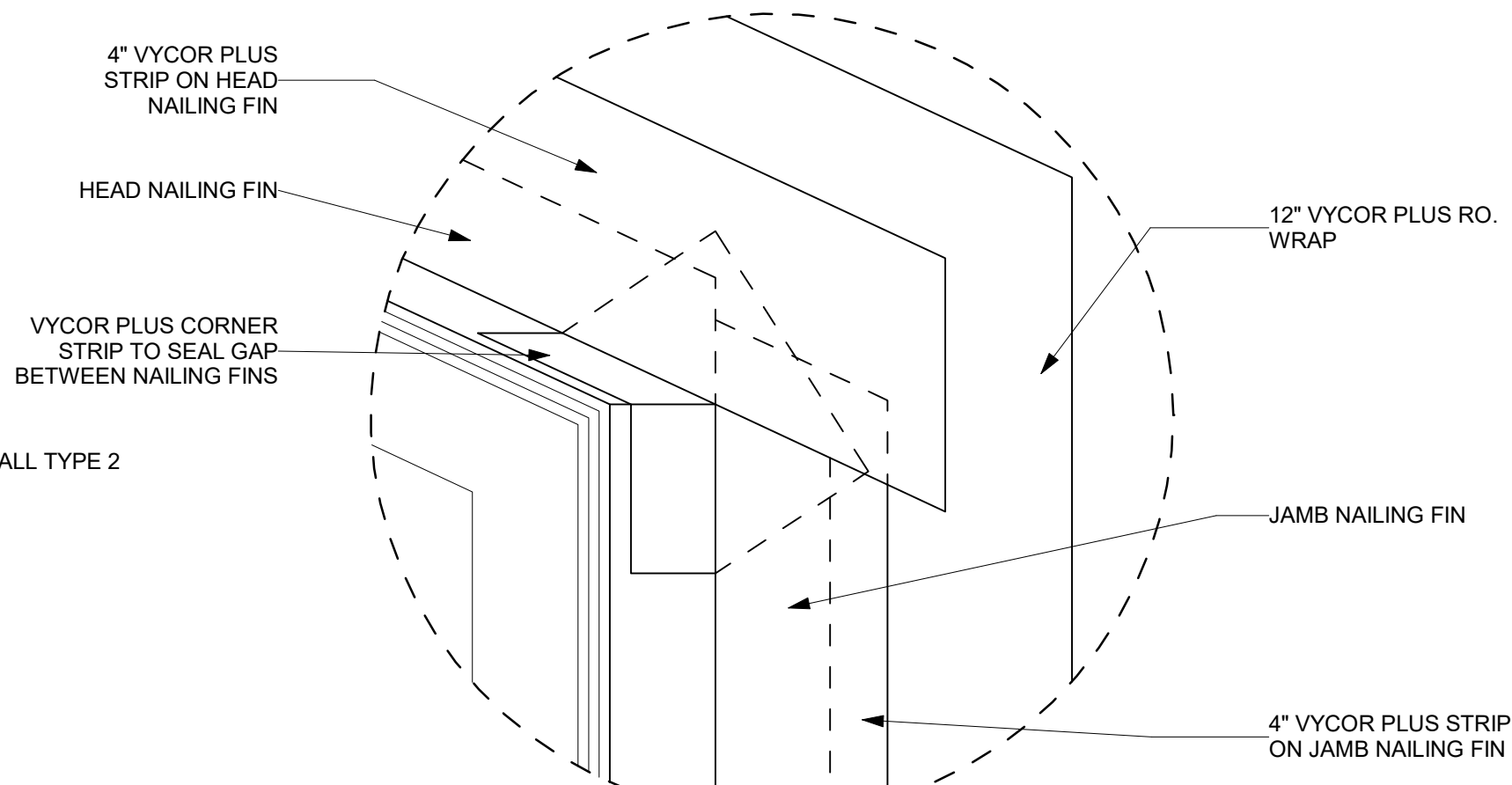
5 ROOF FASCIA
 A5.2 / 1 1/2" = 1'-0"



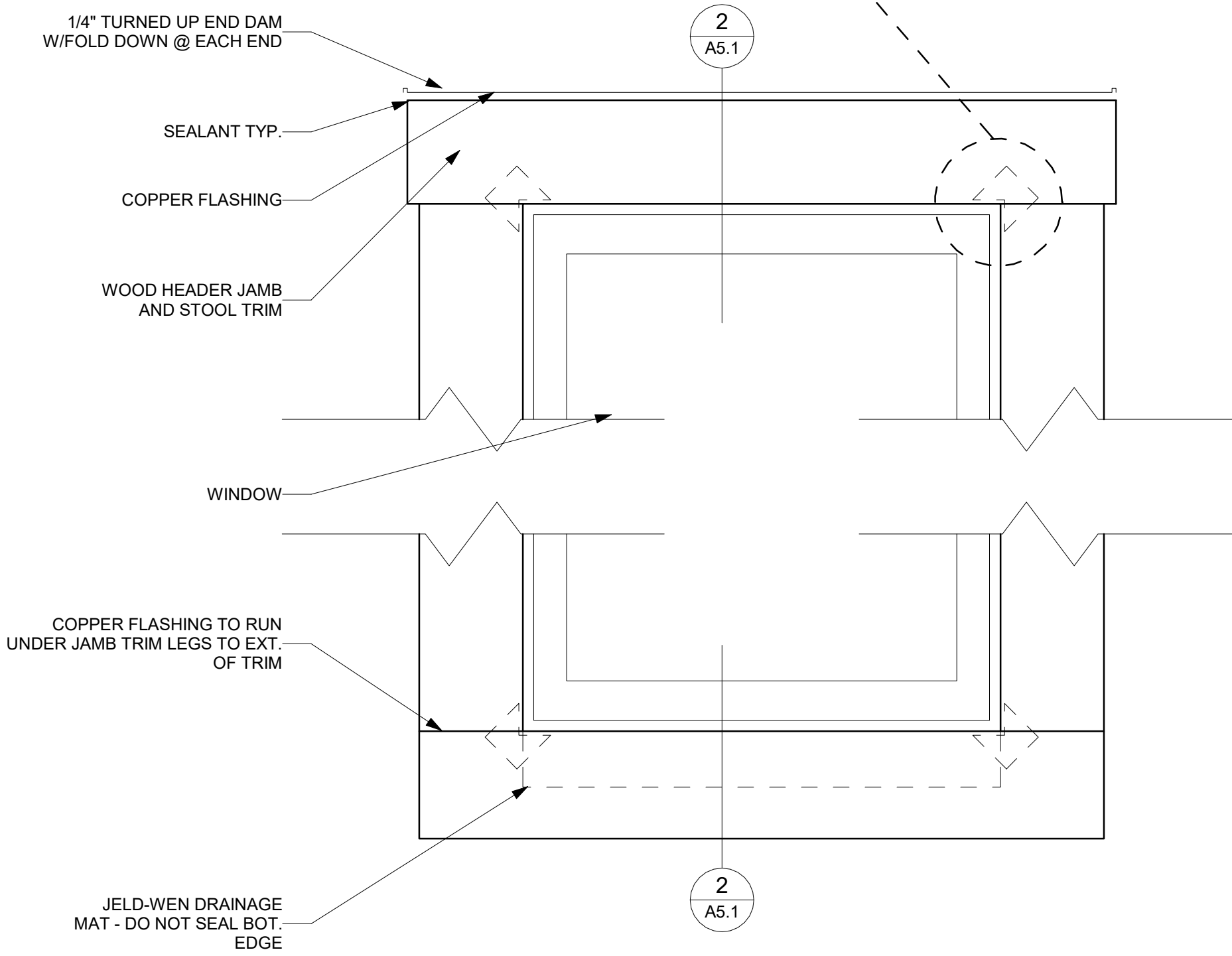
6 ROOF EAVE
 A5.2 / 1 1/2" = 1'-0"



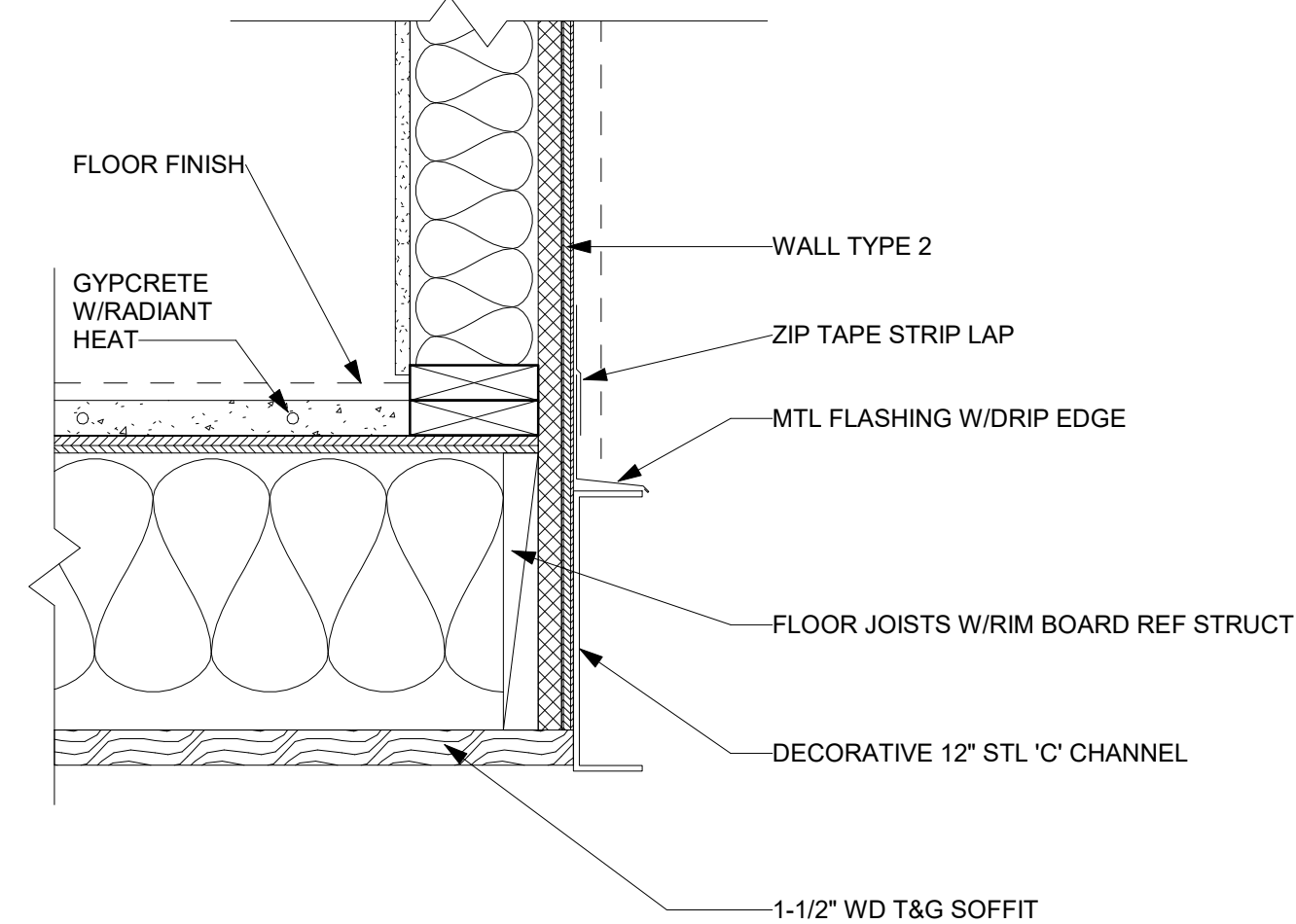
7 VENT TERMINATION PLAN
 A5.2 / 1 1/2" = 1'-0"



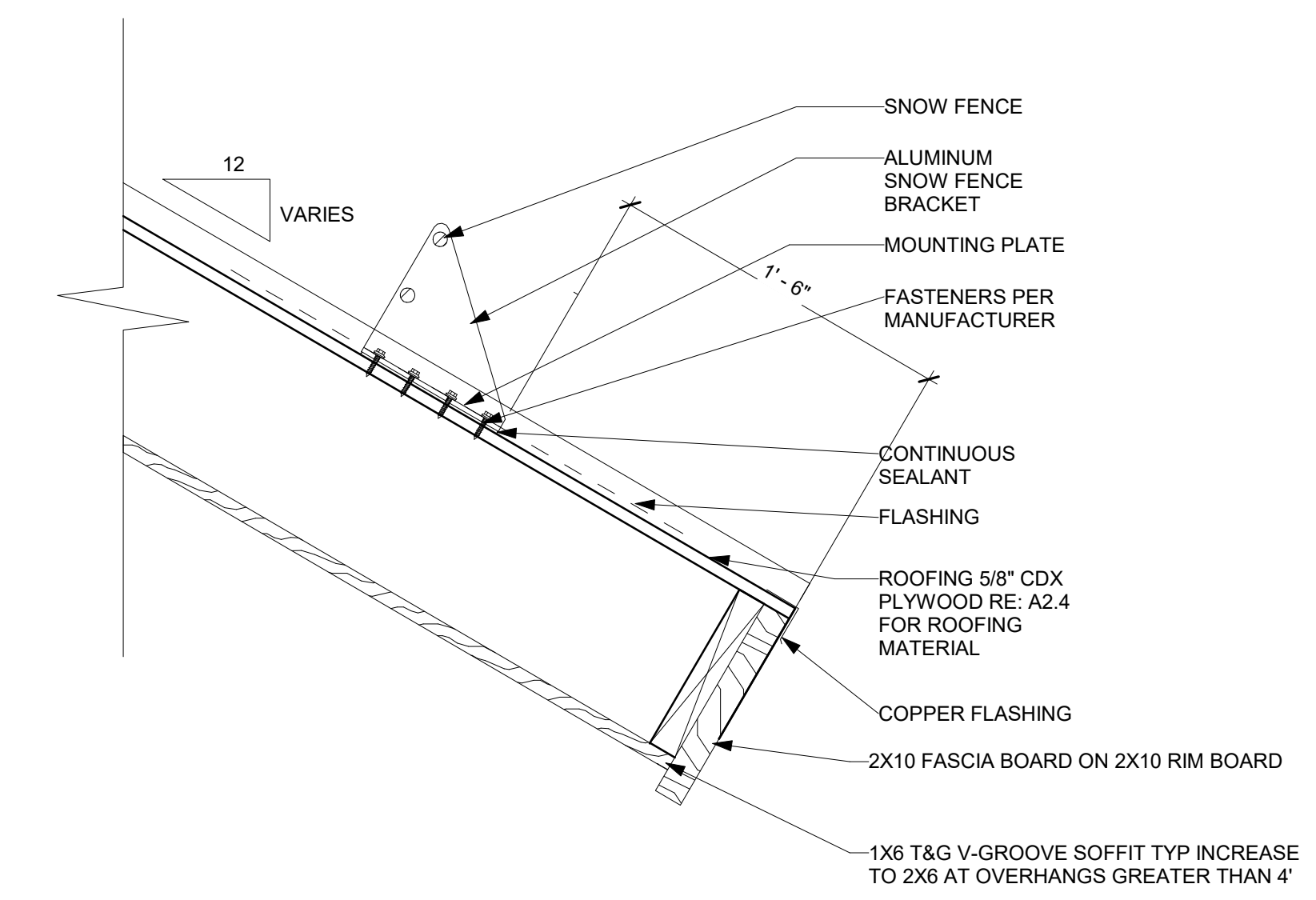
8 VENT TERMINATION SECTION
 A5.2 / 1 1/2" = 1'-0"



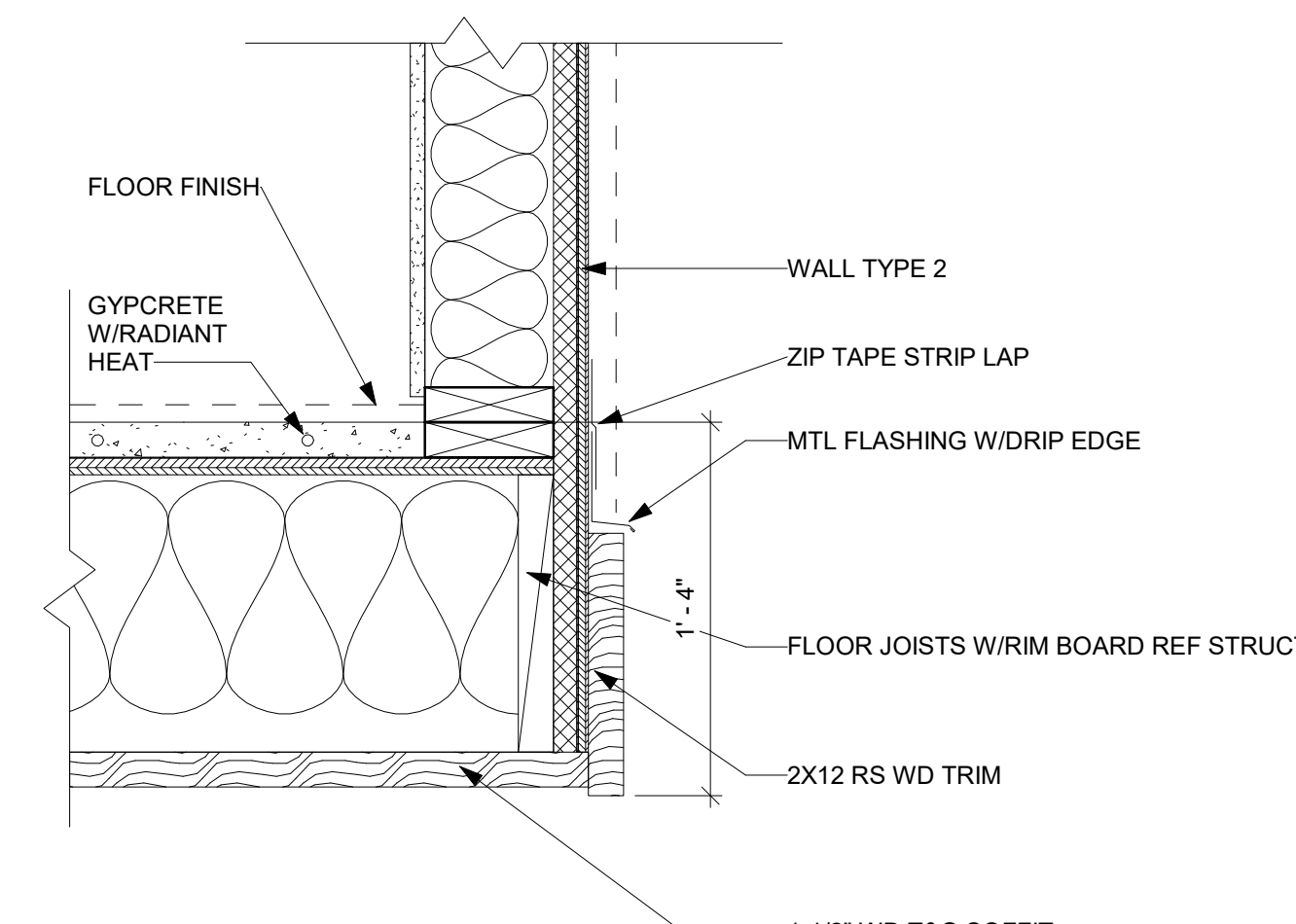
9 WINDOW WATERPROOFING
 A5.2 / 1 1/2" = 1'-0"



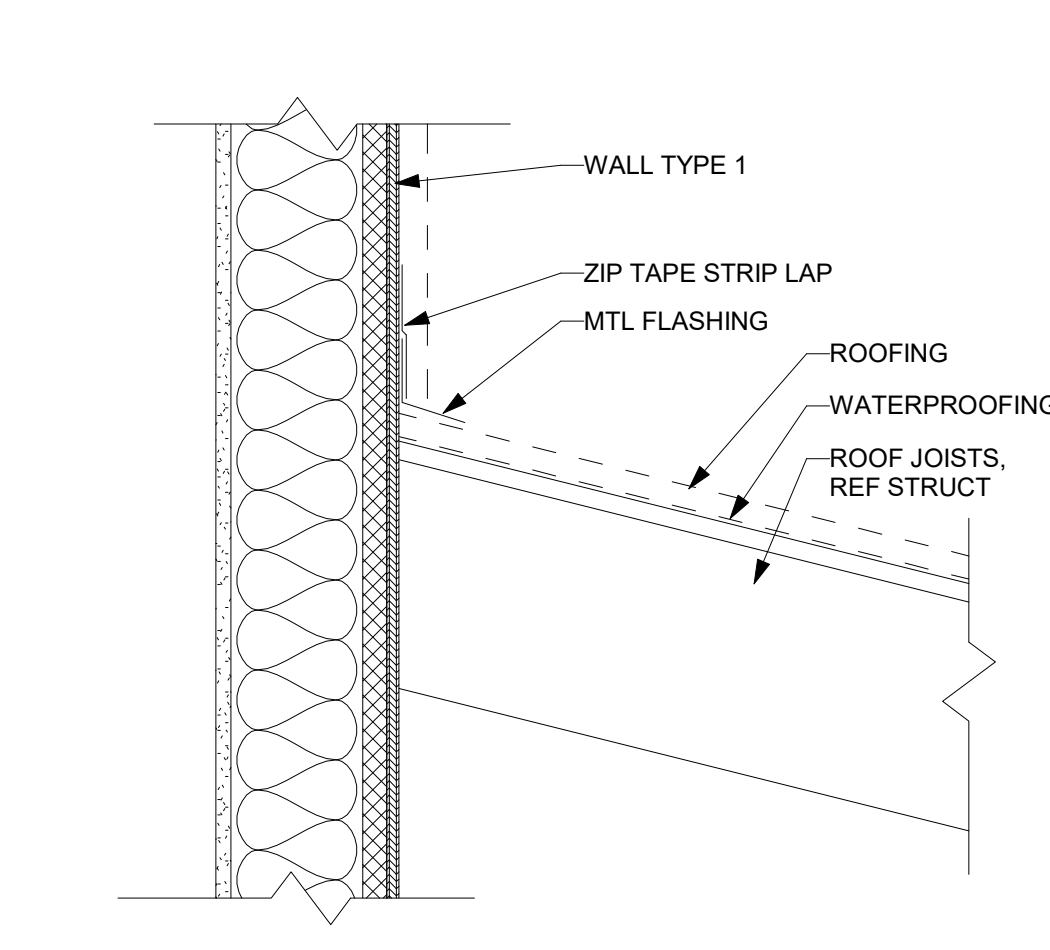
11 ENTRY OVERHANG
 A5.2 / 1 1/2" = 1'-0"



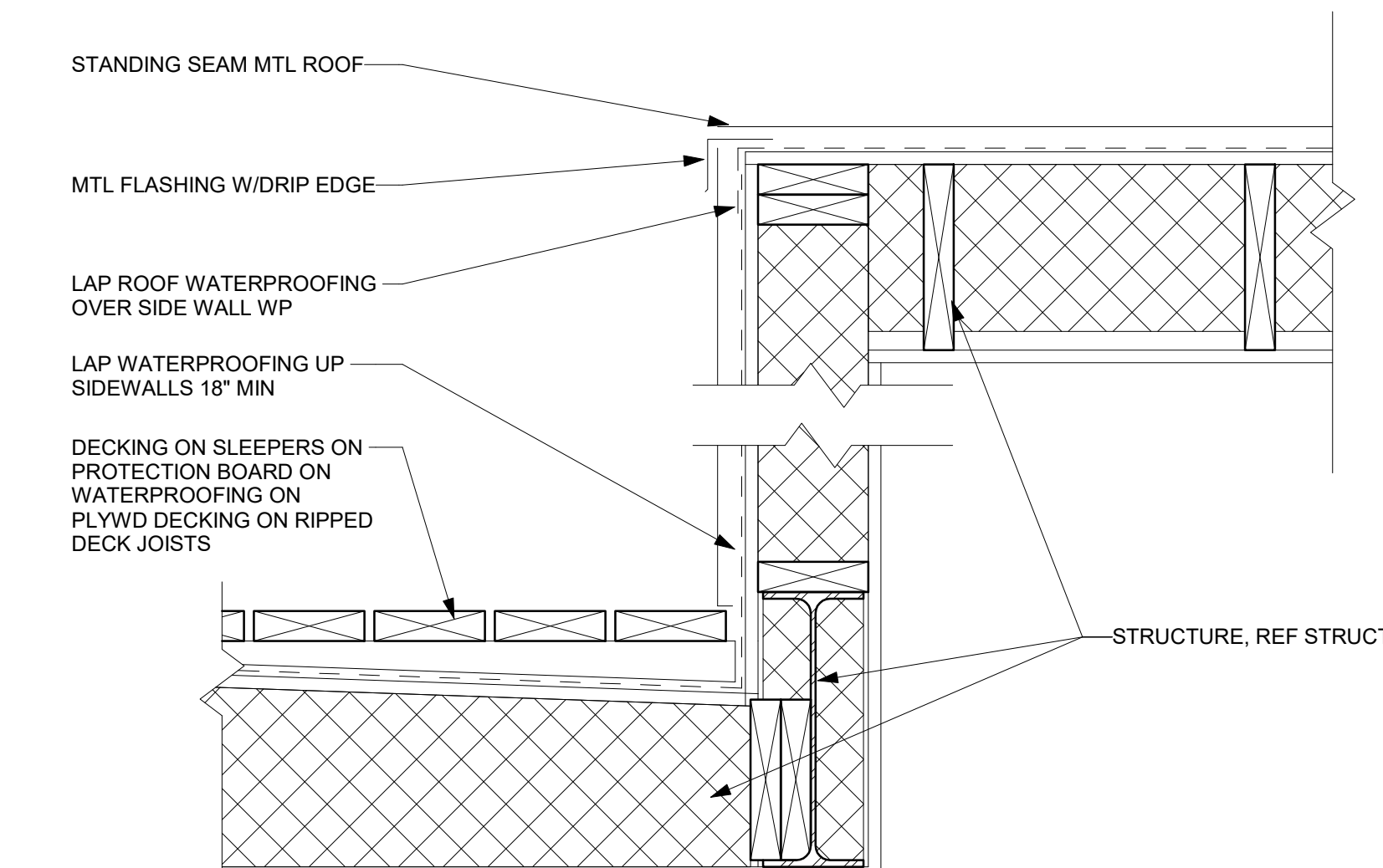
10 SNOW FENCE
 A5.2 / 1 1/2" = 1'-0"



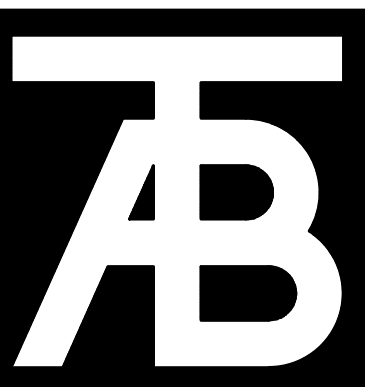
12 FLOOR CANTILEVER
 A5.2 / 1 1/2" = 1'-0"



13 ROOF TO SIDEWALL
 A5.2 / 1 1/2" = 1'-0"



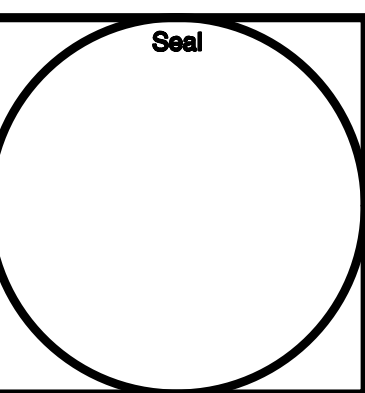
14 MASTER DECK SIDEWALL
 A5.2 / 1 1/2" = 1'-0"



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Mechanical Engineer:
Electrical Engineer:



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Revisions:

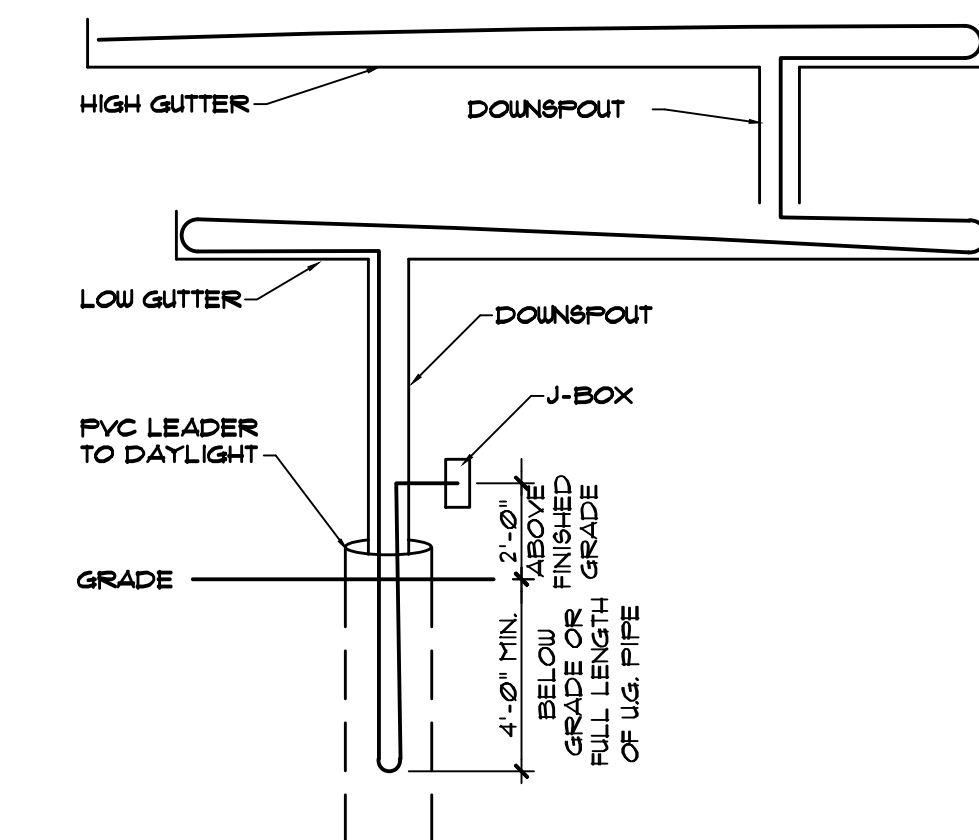
Issue Dates:
CD's - 5/4/22
Rev 3 - 8/31/22

Sheet Title:
Lower Level Power and Lighting Plan

Project No:
2120
Sheet No:
E2.1

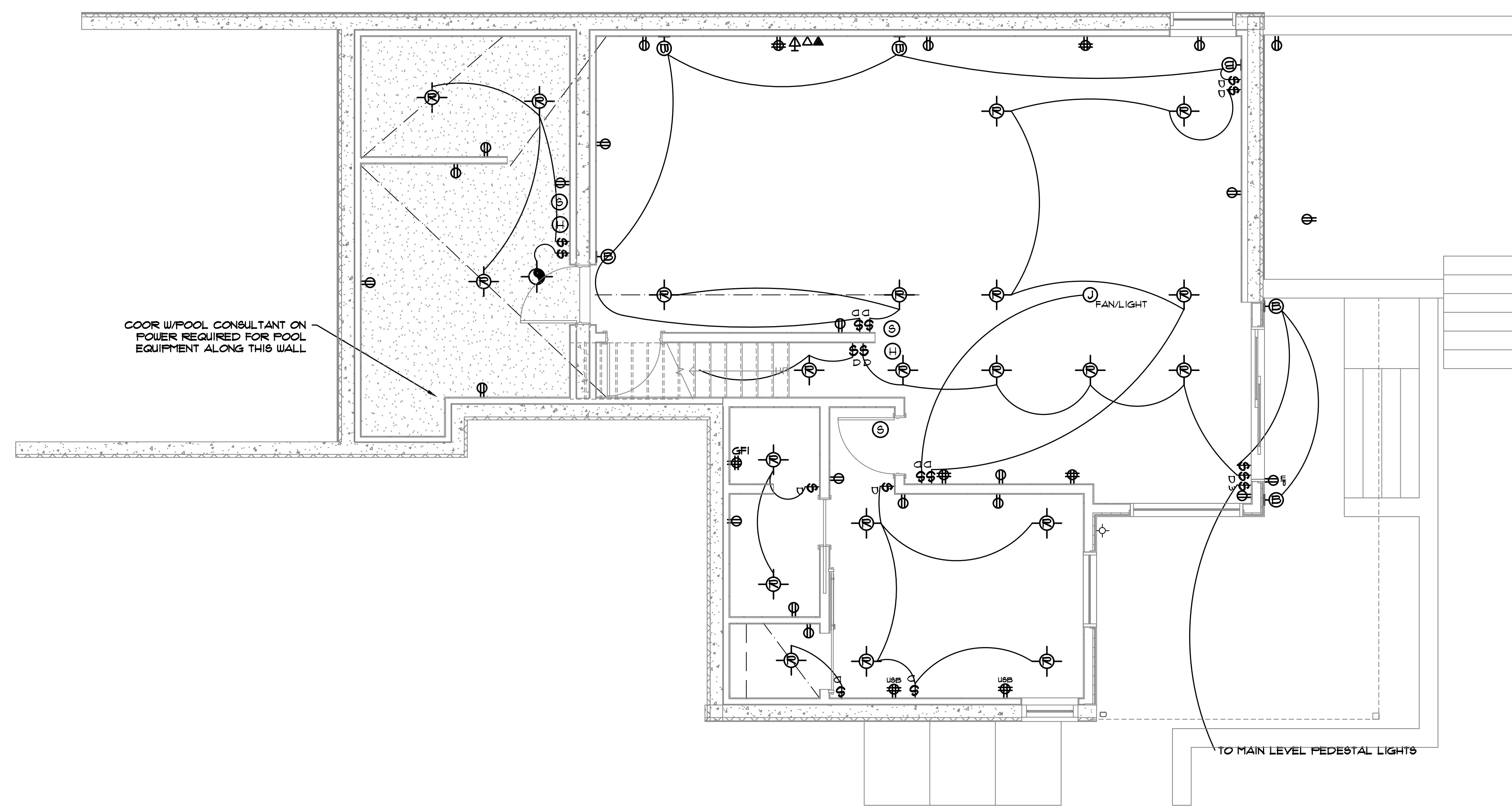
HEAT TAPE DIAGRAM

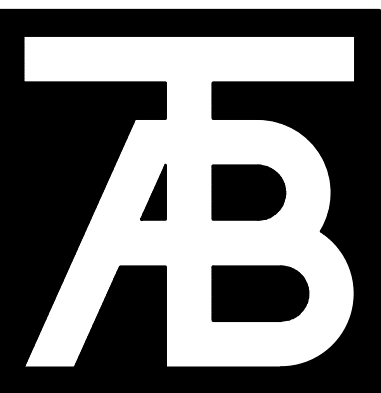
NOTE: ALL GUTTERS, DOWNSPOUTS AND LEADERS TO RECEIVE HEAT TAPE FOR FULL LENGTH.



ELECTRICAL LEGEND

	WALL MTD. LIGHT FIXTURE		LED TAPE LIGHTING
	PENDANT LIGHT FIXTURE		SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
	RECESSED LIGHT FIXTURE		RADIANT HEAT UNIT
	SURFACE MTD. LIGHT FIXTURE		SURFACE MTD. LOW-VOLTAGE FRAMING PROJECTOR
	RECESSED CEILING SPOTLIGHT		RECESSED LOW-VOLTAGE SPOTLIGHT
	WALL MOUNTED SPOTLIGHT		WALL MTD. LOW-VOLTAGE FRAMING PROJECTOR
	UNDER CABINET SURFACE MOUNTED HALOGEN OR LED LIGHT FIXTURE		FLOOR MTD. UP LIGHTS
	SWITCH		KEY OPERATED SWITCH
	3-WAY SWITCH		MANUAL START SWITCH
	4-WAY SWITCH		PILOT LIGHT SWITCH
	DIMMER SWITCH		LOW VOLTAGE SWITCH
	GFI SWITCH		VARIABLE SPEED SWITCH
	TIMED SWITCH		THERMAL OVERLOAD SWITCH
	WATERPROOF SWITCH		MOMENTARY CONTACT SWITCH
	ELECTRIC OPERATOR		THERMOSTAT
	DUPLEX OUTLET		BELL
	SINGLE OUTLET		GARAGE OPENER/ BELL BUTTON
	SWITCHED DUPLEX OUTLET		TELEPHONE
	GFI OUTLET		COMFORT, CONNECT W/ 1" CONDUIT, NOTED IN FROM TELEPHONE BOX TO OFFICE
	WATERPROOF OUTLET		TELEVISION
	FLOOR OUTLET		PANEL
	SWITCHED FLOOR OUTLET		MOTOR DISCONNECT
	FOUR PLEX OUTLET		EXHAUST FAN
	DUPLEX OUTLET WITH TWO USB/USB-C PORTS		STEP LIGHT
	JUNCTION BOX		SPEAKERS
	JUNCTION BOX FOR HEAT TAPE		MOTOR
	REINFORCED JUNCTION BOX W/ BLOCKING FOR FAN		JUNCTION BOX FOR UNDERCABINET FLUSHHOLD
	220V SPECIAL OUTLET		
	SMOKE DETECTOR		
	RATE OF RISE/HEAT DETECTOR		
	READING LIGHT		
	GFI UNDERCABINET STRIP OUTLETS		
	UNDERCABINET STRIP OUTLETS		
	FLUORESCENT		





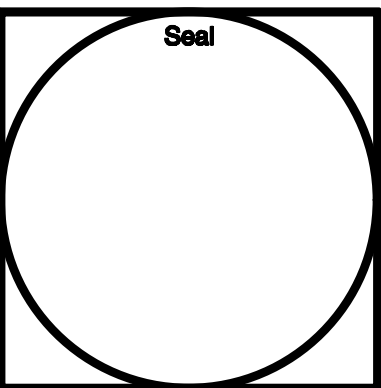
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Revisions:

Issue Date:
CD's - 5/4/22
Rev 3 - 8/31/22

Sheet Title:
Main Level Power and Lighting Plan

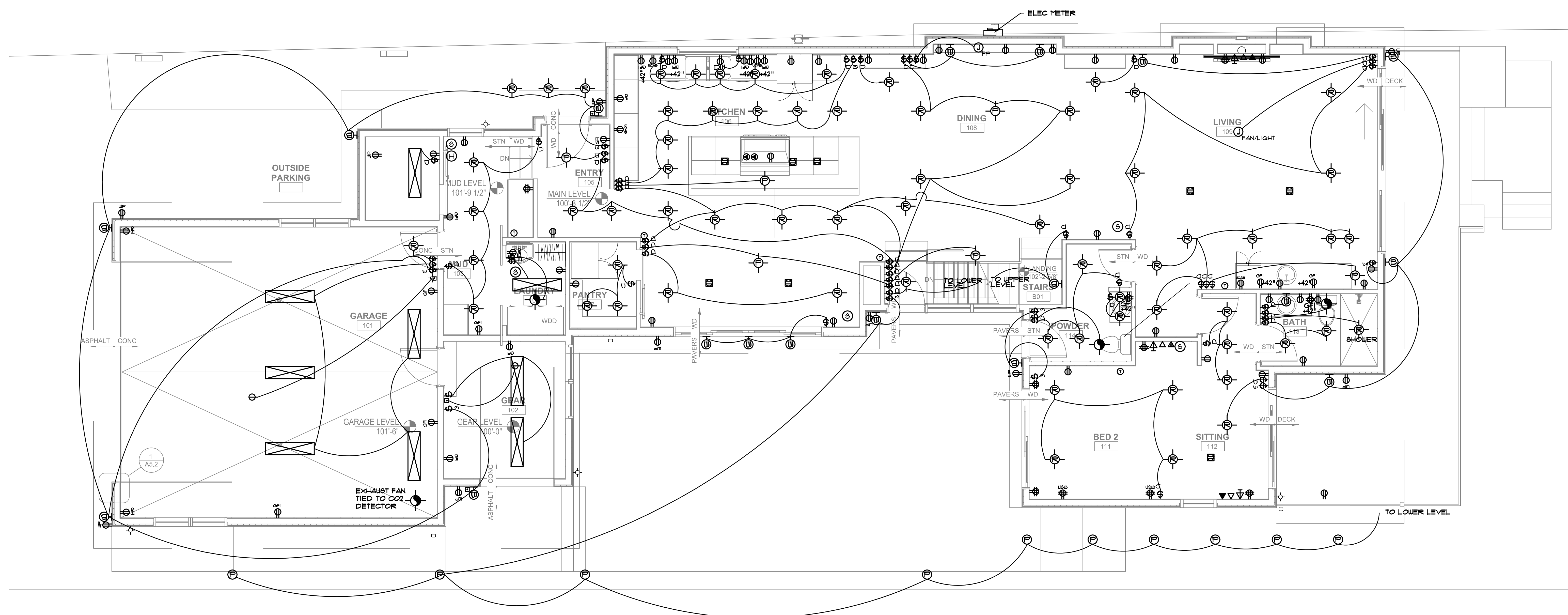
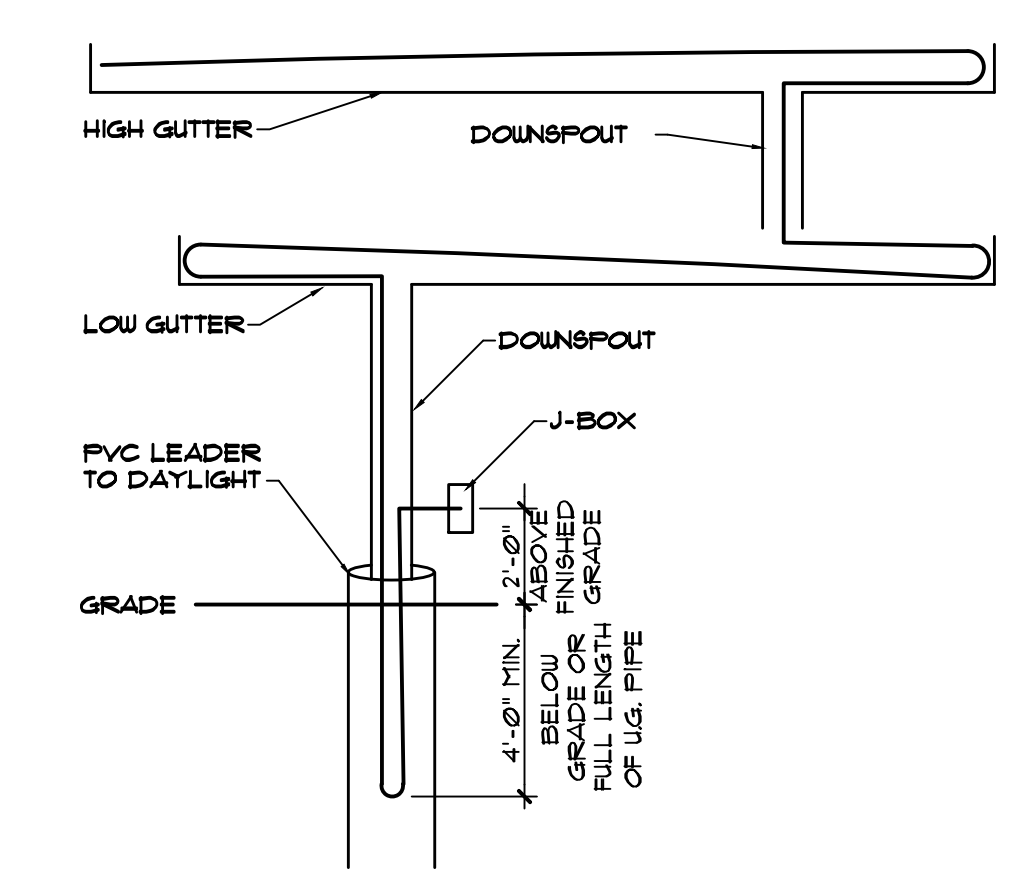
Project No:
2120
Sheet No:
E2.2

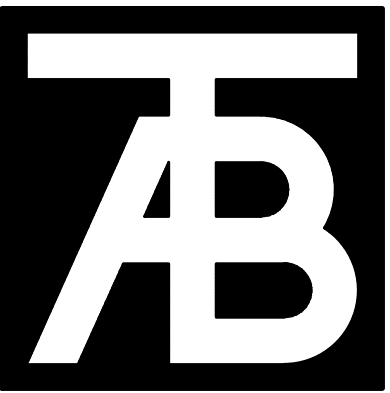
ELECTRICAL LEGEND

	WALL MTD. LIGHT FIXTURE		LED TAPE LIGHTING
	PENDANT LIGHT FIXTURE		SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
	RECESSED LIGHT FIXTURE		RADIANT HEAT UNIT
	SURFACE MTD. LIGHT FIXTURE		SURFACE MTD. LOW-VOLTAGE FIXING PROJECTOR
	RECESSED CEILING SPOTLIGHT		RECESSED LOW-VOLTAGE SPOTLIGHT
	WALL MOUNTED SPOTLIGHT		FLOOR MOUNTED PEDESTAL LIGHT FIXTURE
	UNDER CABINET SURFACE MOUNTED HALOGEN OR LED LIGHT FIXTURE		FLOOR MTD. UP LIGHTS
	SWITCH		KEY OPERATED SWITCH
	3-WAY SWITCH		MANUAL START SWITCH
	4-WAY SWITCH		PILOT LIGHT SWITCH
	DIMMER SWITCH		LOW VOLTAGE SWITCH
	GFI SWITCH		VARIABLE SPEED SWITCH
	TIMED SWITCH		THERMAL OVERLOAD SWITCH
	WATERPROOF SWITCH		MOMENTARY CONTACT SWITCH
	ELECTRIC OPERATOR		THERMOSTAT
	DUPLEX OUTLET		BELL
	SINGLE OUTLET		GARAGE OPENER/BELL BUTTON
	SWITCHED DUPLEX OUTLET		TELEPHONE
	GFI OUTLET		COMFORT-CONNECT 1/2" CONDUIT, HOPIERUN FROM TELEPHONE BOX TO OFFICE
	WATERPROOF OUTLET		TELEVISION
	FLOOR OUTLET		PANEL
	SWITCHED FLOOR OUTLET		MOTOR DISCONNECT
	FOUR PLEX OUTLET		EXHAUST FAN
	DUPLEX OUTLET WITH TWO USB PORTS		STEP LIGHT
	JUNCTION BOX		SPEAKERS
	JUNCTION BOX FOR HEAT TAPE		MOTOR
	REINFORCED JUNCTION BOX w/ BLOCKING FOR FAN		JUNCTION BOX FOR UNDERCABINET PLUGMOLD
	FANLIGHT		READING LIGHT
	220V SPECIAL OUTLET		GFI UNDERCABINET STRIP OUTLETS
	SMOKE DETECTOR		UNDERCABINET STRIP OUTLETS
	RATE OF RISE/HEAT DETECTOR		FLUORESCENT

HEAT TAPE DIAGRAM

NOTE: ALL GUTTERS, DOWNSPOUTS AND LEADERS TO RECEIVE HEAT TAPE FOR FULL LENGTH.

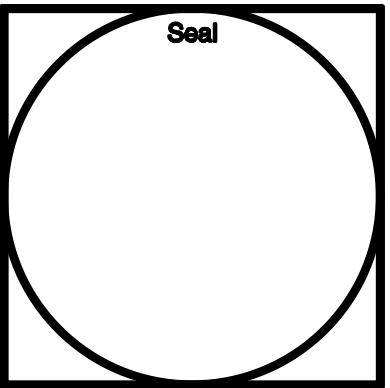




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Revisions:

Issue Date:
CD's - 5/4/22
Rev 3 - 8/31/22

Sheet Title:
Upper Level Power and Lighting Plan

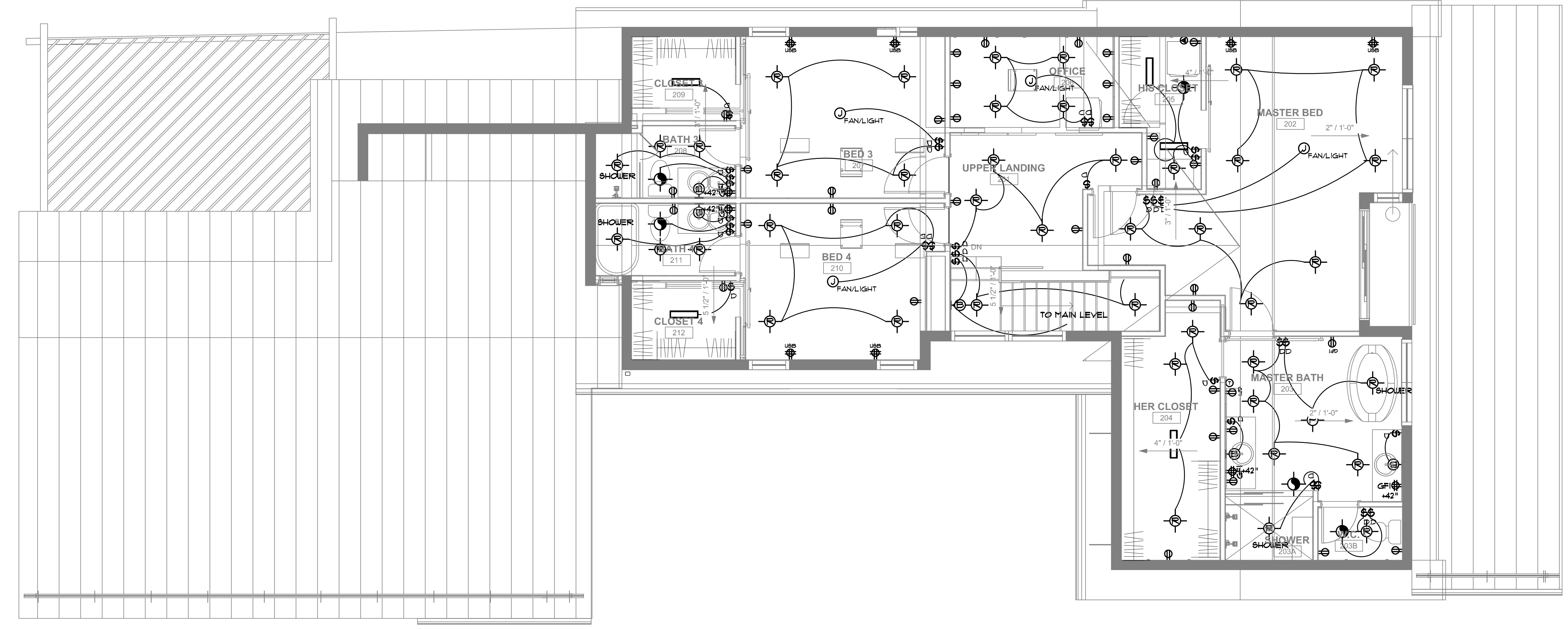
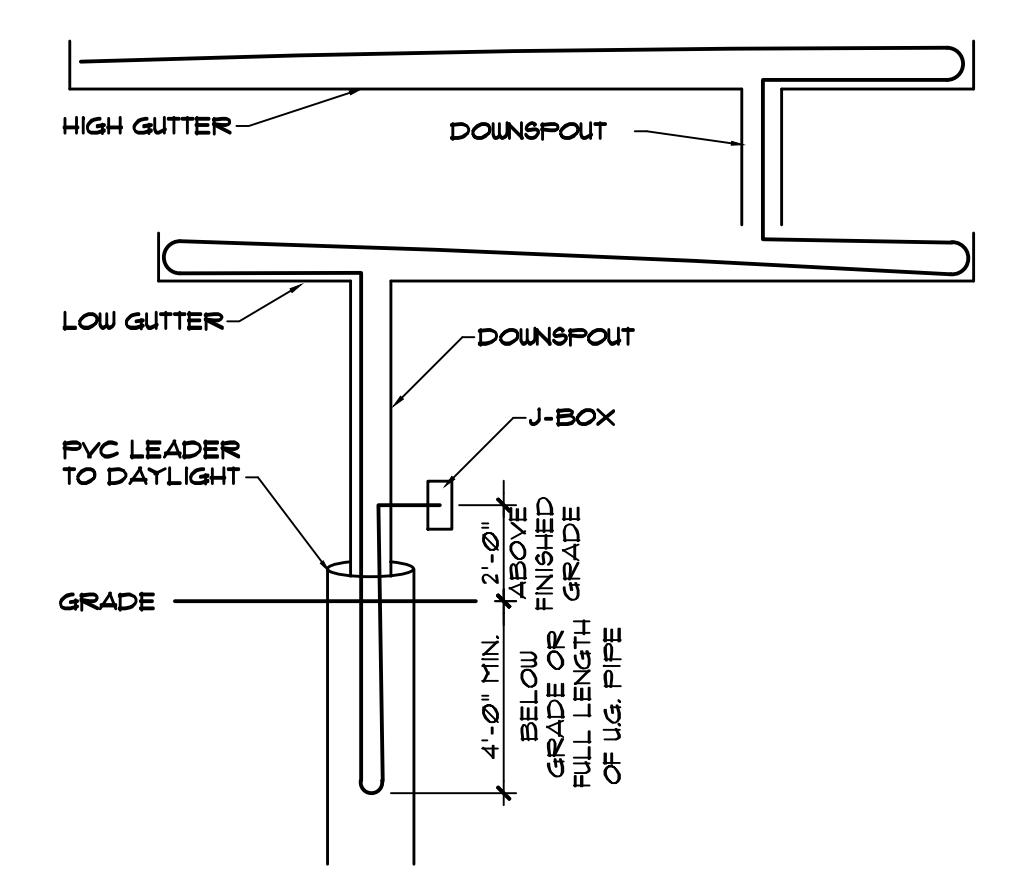
Project No:
2120
Sheet No:
E2.3

ELECTRICAL LEGEND

- | | | | |
|--|--|--|---|
| | WALL MTD. LIGHT FIXTURE | | LED TAPE LIGHTING |
| | PENDANT LIGHT FIXTURE | | SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE |
| | RECESSED LIGHT FIXTURE | | RADIANT HEAT UNIT |
| | SURFACE MTD. LIGHT FIXTURE | | SURFACE MTD. LOW-VOLTAGE FRAMING PROJECTOR |
| | RECESSED CEILING SPOTLIGHT | | RECESSED LOW-VOLTAGE SPOTLIGHT |
| | WALL MOUNTED SPOTLIGHT | | WALL MTD. LOW-VOLTAGE FRAMING PROJECTOR |
| | UNDER CABINET SURFACE MOUNTED HALOGEN OR LED LIGHT FIXTURE | | FLOOR MTD. UP LIGHTS |
| | SWITCH | | KEY OPERATED SWITCH |
| | 3-WAY SWITCH | | MANUAL START SWITCH |
| | 4-WAY SWITCH | | PILOT LIGHT SWITCH |
| | DIMMER SWITCH | | LOW VOLTAGE SWITCH |
| | GFI SWITCH | | VARIABLE SPEED SWITCH |
| | TIMED SWITCH | | THERMAL OVERLOAD SWITCH |
| | WATERPROOF SWITCH | | MOMENTARY CONTACT SWITCH |
| | ELECTRIC OPERATOR | | THERMOSTAT |
| | DUPLEX OUTLET | | BELL |
| | SINGLE OUTLET | | GARAGE OPENER/BELL BUTTON |
| | SWITCHED DUPLEX OUTLET | | TELEPHONE |
| | GFI OUTLET | | COMFORT-CONNECT W/ 1" CONDUIT, HOFERIN FROM TELEPHONE BOX TO OFFICE |
| | WATERPROOF OUTLET | | TELEVISION |
| | FLOOR OUTLET | | PANEL |
| | SWITCHED FLOOR OUTLET | | MOTOR DISCONNECT |
| | FOUR PLEX OUTLET | | EXHAUST FAN |
| | DUPLEX OUTLET WITH TWO USB/UBC PORTS | | STEP LIGHT |
| | JUNCTION BOX | | SPEAKERS |
| | JUNCTION BOX FOR HEAT TAPE | | MOTOR |
| | REINFORCED JUNCTION BOX W/ BLOCKING FOR FAN | | JUNCTION BOX FOR UNDERCABINET PLUGHOLD |
| | 220V SPECIAL OUTLET | | FLUORESCENT |
| | SMOKE DETECTOR | | |
| | RATE OF RISE/HEAT DETECTOR | | |
| | READING LIGHT | | |
| | GFI UNDERCABINET STRIP OUTLETS | | |
| | UNDERCABINET STRIP OUTLETS | | |

HEAT TAPE DIAGRAM

NOTE: ALL GUTTERS, DOWNSPOUTS AND LEADERS TO RECEIVE HEAT TAPE FOR FULL LENGTH.





To: Planning Commission
From: Madison Harris, Planner I
Date: September 28, 2022
Agenda Item: Ordinance TBD - Series 2022: An ordinance of the Town of Minturn amending Chapter 16 of the Minturn Municipal Code to provide for the addition and inclusion of waterwise landscaping regulations and standards

REQUEST:

Review and recommend approval of Ordinance TBD - Series 2022: An ordinance of the Town of Minturn amending Chapter 16 of the Minturn Municipal Code to provide for the addition and inclusion of waterwise landscaping regulations and standards.

INTRODUCTION:

Ord. TBD - 2022

The Town of Minturn continues to take steps in efforts to reduce water consumption. Earlier this year, the Town implemented watering restrictions, allowing properties with even-numbered addresses to water on Sundays, Wednesdays and Fridays, and odd-numbered addresses to water Tuesdays, Thursdays and Saturdays. Acknowledging that the Town needs to be cognizant of water use even more, staff has generated an ordinance that amends the landscaping regulations in Chapter 16 to allow for more waterwise landscaping regulations and standards.

ANALYSIS:

In reviewing the ordinance, the Planning Commission should consider the applicability and the implementability of the new and/or updated sections of the Minturn Municipal Code, as well as testimony of staff and members of the public. Staff will be working to generate an approved plant list to go along with this ordinance.

COMMUNITY INPUT:

Ongoing and encouraged.

BUDGET / STAFF IMPACT:

TBD.

STRATEGIC PLAN ALIGNMENT:

The Planning Commission’s review of ordinances and their actions aligns with the following key strategies:

PRACTICE FAIR, TRANSPARENT AND COMMUNICATIVE LOCAL GOVERNMENT

THE TOWN WILL SEEK TO MAKE INFORMED, DATA-BASED DECISIONS WITH A STANDARD OF “DOING IT RIGHT.” WITH AN HONEST APPROACH TO ALL ASPECTS OF LOCAL GOVERNMENT AND A FOCUS ON THE PUBLIC

PROCESS, THE TOWN COUNCIL AND STAFF ARE COMMITTED TO SERVING MINTURN WITH THE HONESTY AND INTEGRITY EXPECTED OF A SMALL-TOWN GOVERNMENT.

ADVANCE DECISIONS/PROJECTS/INITIATIVES THAT EXPAND FUTURE OPPORTUNITY AND VIABILITY FOR MINTURN

The ability for Minturn to approach development as resilient, sustainable, creative and diverse will allow the town to continue embracing what has “made Minturn, Minturn.” The town can further leverage its crossroads location as a valley-wide benefit and competitive advantage.

RECOMMENDED ACTION OR PROPOSED MOTION:

Recommend approval to the Town Council of:

1. Ordinance TBD - Series 2022: An ordinance of the Town of Minturn amending Chapter 16 of the Minturn Municipal Code to provide for the addition and inclusion of waterwise landscaping regulations and standards.

ATTACHMENTS:

- Ord. TBD - 2022: An ordinance of the Town of Minturn amending Chapter 16 of the Minturn Municipal Code to provide for the addition and inclusion of waterwise landscaping regulations and standards.

TOWN OF MINTURN, COLORADO
ORDINANCE NO. ___ – SERIES 2022

AN ORDINANCE OF THE TOWN OF MINTURN,
COLORADO AMENDING CHAPTER 16 OF THE MINTURN
MUNICIPAL CODE TO PROVIDE FOR THE ADDITION AND
INCLUSION OF WATERWISE LANDSCAPING
REGULATIONS AND STANDARDS.

WHEREAS, the Town of Minturn (“Town”) is a Colorado home rule municipality organized pursuant to Article XX of the Colorado Constitution and with the authority of the Town of Minturn Home Rule Charter for which the Minturn Town Council (“Town Council”) is authorized to act; and

WHEREAS, the Town of Minturn 2021-2023 Strategic Plan (hereinafter the “Strategic Plan”) seeks to “foster the authentic small town character that is Minturn,” and to “Lead Minturn to long-term viability while preserving its unique character and genuine mountain town community,” through specific strategic plan goals and policies;

WHEREAS, the Strategic Plan contains four key strategies for implementation including “Practice fair, transparent and communicative local government,” “Long-term stewardship of the natural beauty and health of Minturn’s environment,” “Sustain and invest in the things that define Minturn as a proud, sturdy mountain town to “keep Minturn Minturn,”” and “Advance decisions/projects/initiatives that expand future opportunity and viability for Minturn;” and

WHEREAS, the Strategic Plan contains specific strategies in support of proposed amendments to Chapter 16, Zoning, Article 17, Supplemental Regulations, to add Waterwise Landscape Standards, including “Minturn will work to become a leader in advancing renewable and sustainable initiatives; With a forward-thinking approach and focus on environmental stewardship the town can responsibly utilize the remaining developable land in the Minturn valley,” “Sustain and Invest in the Things That Define Minturn as a Proud, Sturdy Mountain Town to ‘Keep Minturn Minturn,’” “Incorporate low impact development (LID) standards for landscape site design into development requirements,” “Complete the Minturn Municipal Code Chapter 16 rewrite for better communication regarding code expectations across all zoning areas,” “Implement methods to recognize historic structures,” “Enforce ordinances aimed at maintaining the health, safety, welfare and aesthetic of the town – snow, trash, nuisance abatement and zoning/land use,” “Continue implementation of Minturn’s Water Capital Improvement Plan,” and “Develop a Capital Improvement Plan prioritizing upgrades to existing infrastructure including roads, water and storm water drainage and pedestrian/bicycle amenities;” and

WHEREAS, the Town has a Water Supply Plan which identifies consumptive use limitations on Cross Creek senior water rights; and

WHEREAS, the waters of the Eagle River, which reside entirely within Eagle County, are under increasing pressure from urbanization, climate change and transmountain diversions at the same time that the flow of the river is decreasing due to long term drought; and

WHEREAS, outdoor water use has the greatest potential for loss due to evaporation and other causes; and

WHEREAS, Town Council has directed staff to draft text amendments to Minturn Municipal Code Chapter 16, the Town Land Use Regulations, in accordance with the Town's strategic plan, capital improvements plan, and water capital improvement plan; and

WHEREAS, the Minturn Town Council passed Resolution 15 – Series 2021, a Resolution supporting healthy rivers and watersheds; and

WHEREAS, on September 28, 2022, the Minturn Planning Commission recommended approval of Ordinance No. ____, Series 2022; and

WHEREAS, on October 19, 2022, the Minturn Town Council reviewed and approved Ordinance No. ____ on second reading; and

WHEREAS, the Minturn Planning Commission and Town Council have determined that the text amendments to the Land Use Regulations Chapter 16 as provided herein are necessary and proper.

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF MINTURN, COLORADO:

SECTION 1. The foregoing recitals are incorporated herein as if set forth in full.

SECTION 2. Chapter 16 of the Minturn Municipal Code is hereby amended to read as follows, with additions shown in double underlined text and ~~strike through language~~ is deleted. Sections of Chapter 16 which are not expressly described in this Ordinance are deemed to continue to be in full effect without change.

ARTICLE 2 - Definitions, Illustrations and Lot Standards

* * *

Active programmed recreation turf means grass used for recreation that is 1,500 contiguous square feet or greater; and located at least ten (10) feet from a street or interior-facing parking lot unless the turf area is at least thirty (30) feet in all dimensions or immediately adjacent to an athletic field.

Athletic field turf means grass used for sports or physical education that is 1,500 contiguous square feet or greater; not less than thirty (30) feet in any dimension; and located at a school, daycare, religious institution, recreation center, senior center, park or water park. Athletic field turf may be located less than ten (10) feet from a street or interior-facing parking lot

Designated use area (landscaping) means grass designated for special use at cemeteries and mortuaries.

Functional turf means an irrigated grass area that provides a recreational benefit to the community and is:

- 1) Not located on single-family lots;
- 2) Located at least ten (10) feet from a street, on slopes less than 25 percent, and not installed within street medians, along streetscapes or at the front of entryways to parks, commercial sites, neighborhoods, or subdivisions; and
- 3) Active/Programmed recreation turf, Athletic field turf, Designated use area (landscaping), Pet relief area, Playground turf or Resident area turf.

High use area means an area within a required yard intended or expected to serve as the primary outdoor use, recreation, pedestrian traffic or gathering place for personal or commercial purposes.

Hydrozone means areas within the landscape defined by a grouping of plants requiring a similar amount of water to sustain health. For the purposes of this document, hydrozones are broken into the following four categories:

- (1) Very low hydrozones include plantings that need water when first planted, but none once established.
- (2) Low hydrozones include plantings that generally do not require more than 3 gallons per square foot of supplemental water per year. During plant establishment or drought, additional supplemental water may be beneficial.
- (3) Moderate hydrozones include plantings that generally require 3 and 10 gallons per square foot of water supplemental water per year.
- (4) High hydrozones include plantings that generally require 10 and 18 gallons of water per square foot of supplemental water per year.

Pet relief area means grass at a property providing commercial and retail services for pets, such as veterinarian and boarding facilities. The area must not exceed two-hundred (200) square feet.

Playground turf means grass in designated play areas with playground amenities, including but not limited to slides, swings and climbing structures on homeowner association owned/managed property or at a public park, water park, school, daycare or family care center facility, senior center or religious institution. Playground turf may be located less than ten (10) feet from a street if fenced.

Resident area turf means grass up to 150 square feet per dwelling or accommodation unit at multi-family residential properties, multi-family mixed use properties, or assisted living and rehabilitation centers used by tenants for recreation or leisure, and is separate from non-functional and non-accessible but required landscape areas typically associated with parking lots, streetscapes or other non-accessible areas.

* * *

Article 17 – Supplemental Standards.

* * *

Sec. 16-17-140. - Landscaping standards.

- (a) The Town of Minturn is situated in the Eagle River Valley, at an elevation above sea level of 7,861 feet. The Town is located in an semi-arid, mountainous area and is identified by the U.S. Department of Agriculture (USDA) as being within Zone 4b of the USDA's Plant Hardiness Zone Map. The intent of these standards is to ensure that new landscapes associated with new development and major remodel activity in the Town include drought-tolerant and disease resistant plant species native to the Zone 4b and the mountain region of Eagle County, and, specifically, that waterwise principles are integrated into landscape design, plant selection, and outdoor irrigation designs.
- (b) The purpose of this Section is to provide standards for landscaping and outdoor water usage for ~~of~~ development specific to Zone 4b within the Town so as to maintain and enhance the character of residential ~~neighborhoods, the commercial center,~~ mixed-use and industrial areas; to beautify the Town; and to promote waterwise landscaping and irrigation principles aimed at conserving and managing the Town's water resources. This is accomplished by setting minimum standards for planting and outdoor consumptive water use within residential and nonresidential development and their associated parking areas to prevent inefficient and/or excessive outdoor water use, soil erosion, improper drainage, damage to properties and unsightliness, and by requiring buffering and screening around and between the Town's more intensively developed areas.

The applicability standards of this Article shall apply to all development within the Town except as follows:

- (1) The landscape standards of this Article shall not apply to remodeling, repair, restoration, or alteration of an existing residential structure. However, additions or expansions that increase the footprint of an existing structure or increase the square footage by more than ten percent (10%) shall comply with those standards of this Article to the maximum extent possible.

(Prior code 16-17-14; Ord. 01-2015 §2)

~~Sec. 16-17-150. - Landscape standards and plan submittal required for multi-family, mixed-used, commercial developments, subdivisions and planned unit developments.~~

Water Efficient Landscape Standards

- (a) Water efficient design principles. Water efficient landscaping principles include the following:
 - (1) Design. The design identifies zones of different water requirements and groups plants together with similar water needs;
 - (2) Appropriate Use of Turf. Limit High-hydrozone turf and plantings to appropriate high-use areas with high visibility and functional needs;
 - (3) Low Water-using Plants. Choose low-water demanding plants and turf where practicable;

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(4) Irrigation. Design, operate and maintain an efficient irrigation system;

(5) Soil Preparation. Incorporate soil amendments before planting;

(6) Mulch. Add mulch to planting beds to a minimum depth of 3 inches;

(7) Maintenance. Provide regular and attentive maintenance.

(b) Soil amendment.

(1) Soil amendments for turf, shrubs, perennials and annuals shall be sandy loam to a depth of 6" containing at least five (5) percent organic matter by volume.

(2) Soil amendments for trees shall be sandy loam to a depth of thirty-six (36) inches containing one to three (1-3) percent organic matter by volume. In locations with existing good soils, soil shall be turned in an area three times the dimension of the root ball.

(c) Mulch. Mulch shall be applied at a minimum depth of 4 inches with modifications as appropriate for installed plant material. Mulch shall be renewed as needed. Mulch material may be organic material including, but not limited to: wood, bark nuggets, nut shells, grass clippings, straw, compost and chopped leaves; or inorganic material including decorative stone or river rock, pea gravel, pebbles.

(d) Plant selection and grouping. Plant materials shall be selected for water efficiency, drought tolerance, use of native species and their relationship to the Minturn regional ecology as well as local topographical and metrological conditions.

(1) Plants shall be selected from the following pre-approved list of native plantings appropriate for USDA Zone 4b [\[Link\]](#).

i. Hydrozones required. Plants shall be grouped together by soil suitability and by water use in distinct hydrozones (very low, low, moderate, and high) to increase irrigation efficiency. Plants from the same water use zone shall be grouped together on the same irrigation zones. Water use zones shall be consistent with plant selection and water needs.

ii. The landscape design shall promote and preserve native species and natural areas. Native species shall account for seventy-five (75) percent of provided plants and these must be drought tolerant species.

(e) The total amount of High hydrozones located on a property shall not exceed fifty (50%) percent of the total landscape area. Turf grass areas designated and approved as Functional turf shall be excluded from the total landscape area under this requirement. Trees in tree grates shall also be excluded from the total landscape area under this requirement.

(f) Plants from a High hydrozone zone shall not be planted on slopes at a twenty-five (25%) percent slope or greater.

(g) Turf.

(1) High-hydrozone turf grass is prohibited unless exempt pursuant to Section 16-17-150 (h).

(h) The developer of a property may submit an application to the Planning Director requesting consideration for a waiver or exemption from the prohibition of Section 16-17-150(g) for High hydrozone, Functional turf that provides a recreational benefit to the community and meets the Functional turf definition. Waiver applications must demonstrate that the turf substantially complies with the Functional turf definition as indicated by:

(1) Activity type;

(2) Activity-appropriate dimensions;

(3) Number of persons served and frequency of use;

(4) Location in proximity to similar turf areas;

(5) Public access and proximity to roadways;

(6) Presence of facilities and/or other recreational amenities;

(7) Irrigation efficiency.

(8) Demonstration that artificial turf is not practicable or appropriate as an alternative to water use turf.

~~Sec. 16-17-160. – Landscape standards and plan submittal for residential homes in all character areas for single family dwellings, duplexes, single family with accessory apartments, and single family with accessory dwelling.~~

Landscape standards and plan submittal required for multi-family, mixed-use, commercial developments, subdivisions and planned unit developments.

(a) Applicability. The landscape plan shall accompany an application for a proposed multi-family, mixed-use, commercial developments, subdivisions and Planned Unit Developments.

(b) The landscape plan shall address the following issues and standards and contain the following information:

(1) The landscape plan ~~submitted~~ shall illustrate the overall intent of the applicant with regard to landscaping of the property subject to the application.

(2) Water efficiency. The landscape plan shall demonstrate conformance with Section 16-17-150. – Water efficient landscape standards.

~~(2)~~ Erosion control. The landscape plan shall include a description of how erosion will be controlled on site during and after construction.

~~(3)~~ The landscape plan shall include a description of how the ~~application~~ applicant will re-vegetate all disturbed areas.

- (4~~5~~) The landscape plan shall include description of how bordering properties will be buffered or screened from surrounding land uses and streets.
- (5~~6~~) The landscape plan shall include a design of pervious and impervious surfaces and open space on the property. The percentage of pervious, impervious and open space area required is dependent on zoning and storm water management requirements.
- (6~~7~~) The landscape plan shall include a description of the proposed landscape vegetation which shall be labeled, identifying the type of landscaping planned and the size, number and species of plants (identified by both common name and scientific botanical name).
- (7~~8~~) Only Native Plant Species ~~Zone 2~~ identified as appropriate for Plant Hardiness Zone 4b as identified by the U.S. Department of Agriculture, Plant Hardiness Zone Map ~~can~~ shall be used in the landscape plan. Ornamental plants can be added upon discretion of the property owner(s) as decoration to be added after the completed landscape plan. Native species to Zone ~~2~~ 4b promote water wise use and to ensure plants are appropriate for the Town's unique high altitude mountain climate.
- (8~~9~~) The landscape plan shall depict areas where plant materials will be preserved, removed or replaced (including the river/creek setback). The drawing shall identify all existing deciduous trees of six (6) inches in caliper or greater (measured four (4) inches from the ground) and coniferous trees six (6) feet in height or greater, and shall identify which trees will be preserved and which will be removed or relocated. Where it would be impractical to identify each tree, the drawing shall outline the dimensions of existing groves and proposed trees.
- (9~~10~~) The landscape plan shall be designed so that healthy tree, native vegetation and natural or significant rock outcroppings and other valued features are preserved and integrated with planted areas.
- (10~~11~~) When plantings occur on hillsides, slopes, drainage ways or similar natural areas, plant materials should duplicate adjacent plant communities both in species composition and spatial distribution patterns. Plants should be planted in clusters to maximize their chance for survival.
- (c) The Planning Director can request additional landscaping be added to a proposed landscape plan in order to effectuate the intent of this Article.
- (d) Maintenance program. A description of the proposed program to maintain the landscaping after it has been installed shall be provided. The maintenance program shall demonstrate that landscaping receives irrigation water for at least six (6) weeks after planting.
- (e) Trees and shrubs depicted on the landscape plan shall be of at least the following minimum size at the time of planting unless a larger tree size is specified in any applicable development permit for buffering, screening or planting on the subject property.

- (1) Deciduous trees: Deciduous trees shall be a minimum of one and one-half (1½) inches in caliper, measured four (4) inches above the ground.
- (2) Coniferous trees: Coniferous trees shall be a minimum of four (4) feet in height, measured from the top of the root ball to the top of the tree.
- (f) Trees within a paved area. Any tree planted within a paved area shall be placed in a tree vault and shall have a tree grate installed around its trunk.
- (g) Parking and storage prohibited. Required landscaped areas shall not be used for parking, outdoor storage and similar uses, but may be used for snow storage if properly designed for this function.
- (h) Obstructions prohibited in clear vision area. Plant materials shall be limited to thirty (30) inches in height within the clear vision area, so as to avoid visibility obstructions or blind corners at intersections.
- (i) Street trees. Any tree planted along the street shall be located a minimum of five (5) feet from the curb or the edge of the street, to provide room for snow plowing, street maintenance and opening of car doors.
- (j) Landscaping within off-street parking areas.
 - (1) A minimum of twenty percent (20%) of the total area for all parking lots shall be landscaped. Such landscaping may occur on the perimeter or on parking islands within the lot. Any landscape area used for vehicle overhang, if compatible with parking, may be counted towards the required landscaping.
 - (2) All off-street parking areas containing fifteen (15) or more spaces, except for enclosed or subgrade parking structures, shall provide the following forms of landscaping:
 - (1) Planting strips. There shall be a planting strip provided along all property lines where a street right-of-way is located adjacent to the parking area.
 - (2) Width. The planting strip shall have a minimum width of eight (8) feet.
 - (3) Screen. A minimum of seventy-five percent (75%) of the length of the planting strip shall be used to screen the parking area from the street. The screen shall be a minimum of thirty (30) inches in height and may consist of a berm, wall, plant materials or combination thereof; however, the clear vision area shall be maintained.
 - (4) Trees. A minimum of one (1) tree shall be planted for every thirty (30) lineal feet of planting strip. The trees may be massed together, provided that the massing does not leave a gap between individual trees or tree masses that exceeds fifty (50) feet.
 - (3) Interior off-street parking area planting requirements. Planting areas shall be established to break up the interior of all parking areas.

- (1) Minimum area. A minimum of five percent (5%) of the interior areas of the parking shall be required landscaping.
- (2) Islands. One (1) planting island that is a minimum of six (6) feet wide shall be provided for every fifteen (15) parking spaces. The planting islands shall be dispersed throughout the parking area to provide visual relief and shade.
- (3) Parking rows. Where double rows of parking are planned, there shall be a center planting strip installed that is a minimum of six (6) feet wide. Where any parking row is adjacent to a circulation way, there shall be a planting strip installed that is a minimum of six (6) feet wide.
- (4) Trees. There shall be a minimum of one (1) tree planted in each planting island. Within each planting strip, there shall be a minimum of one (1) tree planted for every thirty (30) lineal feet of planting area.

(Prior code 16-17-15; Ord. [01-2015 §2](#))

Sec. 16-17-170. - ~~Installation and maintenance requirements for all landscaping.~~

Landscape standards and plan submittal for residential homes in all character areas zone districts for single-family dwellings, duplexes, single-family with accessory apartments, and single-family with accessory dwelling.

- (a) The purpose of this Section is to provide standards for landscaping of development within the Town so as to maintain and enhance the character of residential neighborhoods. This is accomplished by setting minimum standards for planting within residential development and their associated parking areas to prevent soil erosion, improper drainage, damage to properties and unsightliness, and by requiring buffering and screening around and between the Town's more intensively Id areas.
- (b) The landscape plan shall address the following issues and standards and contain the following information:
 - (1) The landscape plan submitted shall illustrate the overall intent of the applicant with regard to landscaping of the property subject to the application.
 - (2) Water efficiency. The landscape plan shall demonstrate conformance with Section 16-17-150. – Water efficient landscape standards.
 - (23) Erosion control. The landscape plan shall include a description of how erosion will be controlled on site during and after construction.
 - (34) The landscape plan shall include a description of how the ~~application~~-applicant will re-vegetate all disturbed areas.
 - (42) The landscape plan shall include a description of how bordering properties will be buffered or screened from surrounding land uses and streets.

- (56) The landscape plan shall include a design of pervious and impervious surfaces and open space on the property. The percentage of pervious, impervious and open space area required is dependent on zoning and storm water management requirements.
- (67) The landscape plan shall include a description of the proposed landscape vegetation which shall be labeled, identifying the type of landscaping planned and the size, number and species of plants (identified by both common name and scientific botanical name).
- (78) Only Native Plant Species ~~Zone 2~~ identified as appropriate for Plant Hardiness Zone 4b as identified by the U.S. Department of Agriculture, Plant Hardiness Zone Map ~~can~~ shall be used in the landscape plan. Ornamental plants can be added upon discretion of the homeowner as decoration to be added after the completed landscape plan. Native species to Zone ~~2~~4b promote water wise use and to ensure plants are appropriate for the Town's unique high altitude mountain climate.
- (89) The landscape plan shall depict areas where plant materials will be preserved, removed or replaced (including the river/creek setback). The drawing shall identify all existing deciduous trees of six (6) inches in caliper or greater (measured four (4) inches from the ground) and coniferous trees six (6) feet in height or greater, and shall identify which trees will be preserved and which will be removed or relocated. Where it would be impractical to identify each tree, the drawing shall outline the dimensions of existing groves and proposed trees.
- (910) The landscape plan shall be designed so that healthy tree, native vegetation and natural or significant rock outcroppings and other valued features are preserved and integrated with planted areas.
- (4011) When plantings occur on hillsides, slopes, drainage ways or similar natural areas, plant materials should duplicate adjacent plant communities both in species composition and spatial distribution patterns. Plants should be planted in clusters to maximize their chance for survival.
- (c) Maintenance program. A description of the proposed program to maintain the landscaping after it has been installed shall be provided. The maintenance program shall demonstrate that landscaping receives irrigation water for at least two (2) years after planting.
- (d) Trees and shrubs depicted on the landscape plan shall be of at least the following minimum size at the time of planting unless a larger tree size is specified in any applicable development permit for buffering, screening or planting on the subject property.
- (1) Deciduous trees: Deciduous trees shall be a minimum of one and one-half (1½) inches in caliper, measured four (4) inches above the ground.
 - (2) Coniferous trees: Coniferous trees shall be a minimum of four (4) feet in height, measured from the top of the root ball to the top of the tree.

(3) Shrubs and vines: Shrubs shall be in a minimum five-gallon container. Vines shall be in a minimum one-gallon container.

~~(e) Landscaping and Setbacks: On any lot the required yard setbacks and all non-impervious areas shall be landscaped. Landscape requirements shall also include landscaping of the public right of way as follows:~~

~~(1) Old Town Character Area: to the sidewalk, curb and gutter, or street pavement, as appropriate.~~

~~(2) South Minturn Character Area: to within ten (10) feet of the paved surface. Any existing parking areas in the right of way or front yard setback are to be removed and replaced with landscaping.~~

~~(3) Game Creek Character Area: to within 5 feet of the paved surface. Any existing parking areas in the right of way or front yard setback are to be removed and replaced with landscaping.~~

~~(ef)~~ The landscape plan shall demonstrate that there is a minimum of one (1) tree for each one thousand (1,000) square feet of lot area (i.e. five (5) trees on a five thousand (5,000) square foot lot). This standard shall not apply to commercial development.

~~(fg)~~ Parking and storage prohibited. Required landscaped areas shall not be used for parking, outdoor storage and similar uses, but may be used for snow storage if properly designed for this function.

~~(gh)~~ Obstructions prohibited in clear vision area. A clear vision area shall run along property lines and along the entrance to the site. Plant materials shall be limited to thirty (30) inches in height within the clear vision area, so as to avoid visibility obstructions or blind corners at intersections.

~~(hi)~~ Fire hydrants and utilities. Landscaping shall be installed so it does not obstruct fire hydrants or utility boxes and should not grow into any overhead utility lines.

~~(Prior code 16-17-16; Ord. [01-2015 §2](#))~~

Sec. 16-17-~~1780~~. - Installation and maintenance requirements for all landscaping.

(a) Financial guarantee. Prior to the issuance of a temporary certificate of occupancy, the ~~Town Planning Director~~ ~~Manager~~ shall require the applicant to submit to the Town a cost estimate approved by the Town for completion of the landscaping including operable irrigation systems described in the approved landscape plan together with a financial guarantee (a cash escrow payment or letter of credit) to guarantee the installation of the required landscaping. The financial guarantee shall be in an amount equal to one hundred twenty-five percent (125%) of the total cost of supplying and installing the material depicted in the approved landscape plan based on the cost estimate. No certificate of occupancy shall be issued for any portion of the development where landscaping has not been installed and approved by the Town.

- (b) Certificate of release. Following inspection of the required landscaping to determine conformance with the landscape plan, the applicant shall certify that the landscaping has been installed in conformance with the approved plans. The financial guarantee shall be released within fourteen (14) working days following receipt of the certification and inspection by the Town.
- (c) Town use of financial guarantee. In the event the landscaping items contained within the cost estimate or approved plan are not installed in conformance with the approved plan, the Town may draw upon the financial guarantee to bring the landscaping into conformance with the approved plan.
- (d) Required time for completion. All required landscaping including operable irrigation systems shall be installed prior to or within the first planting season following occupancy of the property. When phasing of a project's construction is approved, then installation of required landscaping and associated irrigation systems may be phased consistent with the project's approved development phasing.
- (e) Maintenance. All landscaping shall be healthy at the time of its installation and shall meet the standards of the American Association of Nurserymen. Landscaping shall be maintained so that it remains alive or it shall be replaced.
 - (1) Landowner responsibility. Maintenance of landscaped area shall be the responsibility of the landowner.
 - (2) Replacement. Landscaping that does not survive within the first three (3) years after it is planted shall be replaced by the property owner within thirty (30) days during the planting season or as soon as possible during the next planting season. The replacement vegetation shall be similar in size, type and amount to the vegetation being replaced.

(f) Irrigation System Design.

- (1) Irrigation systems for multi-family and commercial projects shall be professionally designed by a landscape architect or irrigation specialist.
- (2) When available, raw water shall be utilized for irrigation. Irrigation systems shall be designed to prevent water from spraying on impervious surfaces adjacent to landscape areas, shall utilize drip irrigation where appropriate to minimize run-off from sprinklers, and shall incorporate moisture sensors to reduce water consumption.
- (3) A soil moisture sensing device or other irrigation management system shall be required for irrigation systems in turf areas.
- (4) The landscape plan shall indicate the nature, location, and specifications of the irrigation system which shall be used. Separate irrigation circuits should be specified for different zones on the landscape plan. The landscape plan shall have sufficient detail to show that adequate irrigation will be provided to all required landscape areas and plant materials.
- (5) The irrigation system shall be designed to correlate to the organization of plants into zones with similar watering requirements.
- (6) Low-volume, drip, or subsurface irrigation systems shall be used in the following conditions:

- i. In landscaped areas where any one dimension is less than six feet in width and surrounded by impervious surfaces;
- ii. In all non-turf grass areas where plantings exist as differentiated from areas where only inorganic materials such as rocks or mulch are planned or exist.

(Prior code 16-17-17; Ord. [01-2015](#) §2)

* * *

Appendix B – Design Guidelines and Standards; Exhibit B Recommended Plant Material List

**EXHIBIT B
RECOMMENDED PLANT MATERIAL LIST**

The Colorado State University Extension Office publishes many pamphlets that are readily available to the general public. These pamphlets include information on xeriscape, Colorado gardening, ornamental grasses, ground covers, flower gardens and wildflower gardens, to name a few. Slope, soil characteristics, sunlight needs, and irrigation are important characteristics that should be considered in the planning of your landscaping. Please contact the CSU Extension office at (970) 328-8878 for further information.

The following is a list of recommended plant materials that require little to no summer irrigation. The materials marked with an asterisk (*) are classified as medium in irrigation needs, requiring a thorough soaking every 3-4 days.

DECIDUOUS TREES

- | | |
|---------------------|------------------------|
| Box Elder | Green Ash* |
| Shubert Chokecherry | European Mountain Ash* |
| Siberian Elm | |

EVERGREEN

- | | |
|------------------------|------------------|
| Rocky Mountain Juniper | Subalpine Fir* |
| Bristlecone Pine | Colorado Spruce* |
| Lodgepole Pine | |

SHRUBS

- | | |
|----------------|-----------------|
| American Elder | Tamarix Juniper |
|----------------|-----------------|

Boulder Raspberry	Japanese Barberry
Bridalwreath Spirea	Mountain Mahogany
Bristlecone Pine	Mountain Mockorange
Canada Buffaloberry	Mountain Spirea
Common Juniper	Mugo Pine
Common Lilac	Rabbitbrush
Currant & Gooseberry	Savin Juniper
Shrubby Cinquefoil	Serviceberry
European Cranberrybush	Siberian Peashrub
Froebel Spirea	Wormwood Sage
GROUNDCOVER	Creeping Junipers — "Wilton" Creeping Junipers — "Andorra" Creeping Junipers — "Bar Harbor"

PERENNIALS

The following list includes common varieties of flowers used in the valley; however, this list does not consider irrigation needs.

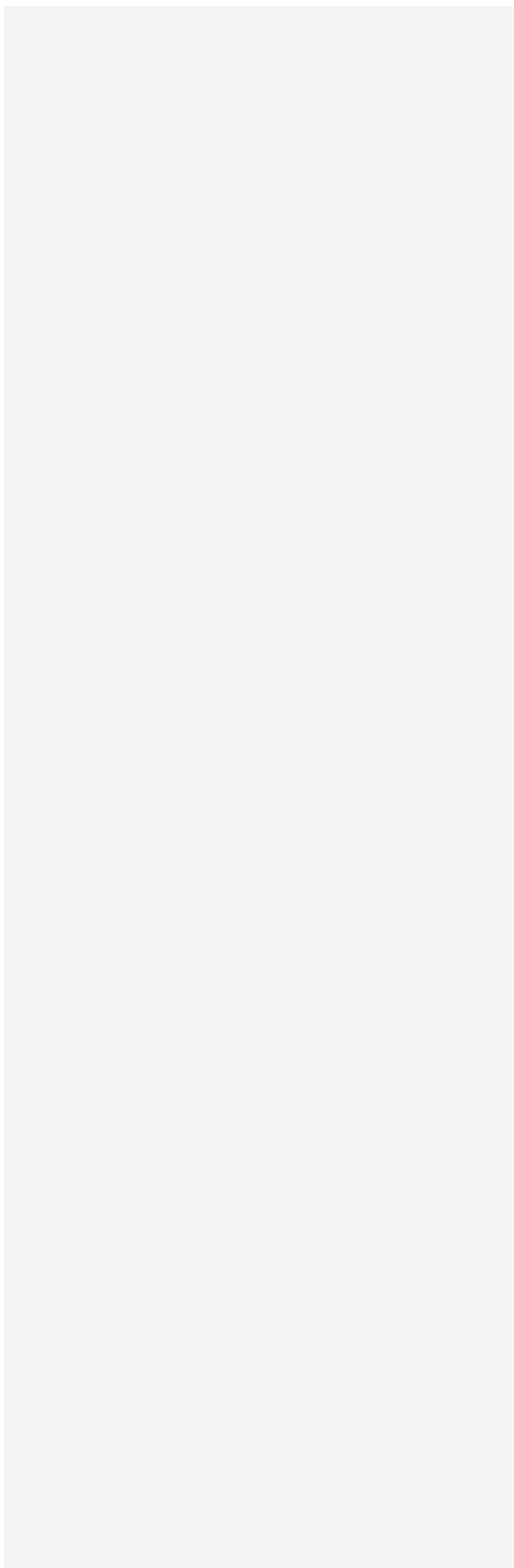
Alpine Rockeress	Heliotrope
Bearded Iris	Johnny Jumpup
Bleeding Heart	Narcissus
Columbine	Peony
Common Flax	Perennial Phlox
Creeping Penstemon	Pussytoes
Forget-me-not	Shasta Daisy
Foxglove	Siberian Iris
Glacier Poppies	Snow-in-Summer

Hardy Delphinium

Woolly Yarrow

-

(Ord. 21-2006 §2)



Minturn Planning Department
Minturn Town Center
301 Boulder St. #309
Minturn, CO 81645
970-827-5645
planner1@minturn.org
www.minturn.org



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Elliot Hovey
Sage Pierson
Tom Priest

Memorandum

Date: September 23, 2022
To: Minturn Planning Commission
From: Madison Harris, Planner I
Re: Planning Department Update

Community Plan Update

Planning Commission and Town Council had a joint session on September 21, 2022 to discuss the draft of the 2022 Minturn Community Plan. Staff and consultants received much appreciated feedback and are currently working to incorporate that and any feedback received from stakeholders. There will be a Community Plan Open House held on September 27, 2022 from 7:00 pm to 8:30 pm in the Minturn Council Chambers.

DRB Moratorium Extension

At their regular meeting on September 21, 2022, the Town Council extended the DRB Moratorium in the 100 Block to November 15, 2022 to allow staff enough time to reflect the changes requested at the last hearing of the 100 Block Design Guidelines.