



AGENDA

MEETING OF THE MINTURN PLANNING COMMISSION Minturn, CO 81645 • (970) 827-5645

Meeting will be held online via Zoom Conferencing and call-in OR in person at 302 Pine Street Council Chambers

Public welcome to join meeting using the following methods:

Join from PC, Mac, Linux, iOS or Android:

<https://us02web.zoom.us/j/85726624530>

Phone:

+1 651 372 8299 US

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Meeting ID: 857 2662 4530

OR 302 Pine Street Council Chambers for In-Person Option

**Wednesday, July 14, 2021
Regular Session – 6:30 PM**

CHAIR – Lynn Teach

COMMISSION MEMBERS:

Jeff Armistead

Elliot Hovey

Tom Priest

Christopher Manning

Jena Skinner

When addressing the Commission, please state your name and your address for the record prior to providing your comments. Please address the Commission as a whole through the Chair. All supporting documents are available for public review in the Town Offices – located at 302 Pine Street, Minturn CO 81645 – during regular business hours between 8:00 a.m. and 5:00 p.m., Monday through Friday, excluding holidays.

Regular Session – 6:30pm

1. Call to Order

- Roll Call
- Pledge of Allegiance

2. Approval of Agenda

- Items to be Pulled or Added

- Declaration of Conflicts of Interest
3. **Approval of Minutes**
 - June 23, 2021
 4. **Public comments on items, which are NOT on the agenda (5min time limit per person)**
 5. **Planning Commission Comments**

DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

6. **261 Main Street – Faircloth Residence Variance Request**
Review of a variance request for a garage addition with a bedroom below, a breezeway connecting the primary structure with the secondary structure, and a dining room extension at 261 Main Street.

Recommendation: Approval with Conditions
7. **482 Eagle River Street – Hutton Residence Final Plan Review for Phase II Addition**
Review of a Phase II addition at 482 Eagle River Street.

Recommendation: Approval with Conditions
8. **Eagle River Enclave – Landscaping Plan Renovation**
Review of a new landscaping plan at the Eagle River Enclave.

Recommendation: Approval with Conditions

PROJECTS AND UPDATES

9. **Project Updates**
 - Community Plan Update
10. **Planning Director Report & Minor DRB Approvals by Director**
 - Minturn North PUD Application Status
11. **Future Meetings**
 - July 28, 2021
 - August 11, 2021
12. **Adjournment**



OFFICIAL MINUTES

MEETING OF THE MINTURN PLANNING COMMISSION Minturn, CO 81645 • (970) 827-5645

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<https://us02web.zoom.us/j/81352135204>

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Meeting ID: 813 5213 5204

OR 302 Pine Street Council Chambers for In-Person Option

Due to an anticipated large viewing, and restrictions within the virtual meeting platform, the Town is making additional efforts during the COVID pandemic to make these meetings as readily accessible to all. If you do not intend to actively participate, please view the meeting on the Town of Minturn's YouTube channel where it will be live streamed and archived. For members of the public without internet access, there is availability at the Town Hall for meeting viewing, reservations are required.

Wednesday, June 23, 2021

Regular Session – 6:30 PM

CHAIR – Lynn Teach

COMMISSION MEMBERS:

Jeff Armistead

Elliot Hovey

Tom Priest

Christopher Manning

Jena Skinner

When addressing the Commission, please state your name and your address for the record prior to providing your comments. Please address the Commission as a whole through the Chair. All supporting documents are available for public review in the Town Offices – located at 302 Pine Street, Minturn CO 81645 – during regular business hours between 8:00 a.m. and 5:00 p.m., Monday through Friday, excluding holidays.

Regular Session – 6:30pm

1. Call to Order

- Roll Call

Lynn T. called the meeting to order at 6:33 pm.

Those present at roll call: Lynn T., Jena S, Elliot H, Chris M, Tom P., and Jeff A.

Staff Members Present: Town Planner Scot Hunn, Town Manager Michelle Metteer, Town Attorney Richard Peterson-Cremer, and Planner I Madison Harris.

- Pledge of Allegiance

2. Approval of Agenda

- Items to be Pulled or Added

The agenda had the wrong date on it, which was corrected.

Motion by Jena S., second by Chris M., to approve the agenda as amended.

Motion passed 5-0.

Note: Elliot H. is attending in his status as an alternate.

- Declaration of Conflicts of Interest

Elliot H. will have to recuse himself for agenda item 8: Minturn North PUD – Railroad Planned Unit Development Preliminary Plan Review.

3. Approval of Minutes

- June 9, 2021

Lynn T. had a few minor corrections.

Motion by Chris M., second by Jena S., to approve the minutes of June 9, 2021 as amended. Motion passed 5-0.

Note: Elliot H. is attending in his status as an alternate

4. Public comments on items, which are NOT on the agenda (5min time limit per person)

No Public Comment.

5. Planning Commission Comments

Lynn T. told everyone that we are officially in person.

6. NAIOP Update

Scot H. introduced the discussion. This is a group that is associated with the Rocky Mountain Real Estate pitting students from DU and CU against each other, master planning a site. This was the first opportunity for students to do a site outside of the Front Range. Dowd Junction was chosen. In the past, PC has talked about development of this site and have sent out RFPs with access to Meadow Mountain, transportation center, sales tax generating retail. There needed to be some market analysis for the site to see what would work. NAIOP provided a cost effective means to do this. There were 7 teams, and two rounds of competition. Different perspectives and takes on what that area could look like. The property is owned by USFS so they will be involved in the future. Having this information go into future proposals for developers is very important for the RFP process. Greg Gastineau participated as a judge in this.

Greg Gastineau, 421 Main Street, Minturn CO 81645.

NAIOP was a cool experience. He has a background in architecture. While what was proposed isn't always feasible, it gives a good idea of what has to occur to make the land cost make sense. Every project has to make sense if a bank is going to back it. The winning team from CU was a very creative proposal with several place making ideas. Minturn was a unique Town and they took that to heart. There are little bits and pieces that we can take from this.

Michelle M. asked him to touch on the viability on long term retail.

- Mr. Gastineau said that both groups included hotel units which everyone agreed was a good idea. There needs to be realistic rent to cover costs while making sure that small store owners can actually afford it.

Lynn T. asked about Clarke's grocery store

- Mr. Gastineau said that Clarke's was interested, but it probably won't be a good fit as they rarely pay as much rent as everyone else. Transferable development rights is something that Pitkin and Summit County have programs for. Summit is getting 100K per unit. If this density scares us that is...
- Jena S. said that Eagle County had tried in the past, but no one wanted the receiving density.

Tom P. thinks that we should have a Trader Joes and something that generates revenue.

- Mr. Gastineau said that Trader Joe's won't come here.

Scot H. let everyone know that Town staff have had conversations recently about the parcel.

- Michelle M. stated that it will be a multi-year process to acquire the site in whatever way is best (sale or lease), as there are a lot of steps to go through. Included in those conversations will be workforce housing needs of the region. We will most likely be putting out an RFP this fall. The Town will need a financial partner for this. We need long-term viability for this site.

Jeff A. said that if supply chain was an issue to getting grocers here, then maybe we should look further west.

Elliot H. recommended we have a packet of materials to distribute to companies to entice them into looking at Dowd as a possible location.

DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

7. 152 Main Street – The Agora Addition

Review and approval of the new plans at 152 Main Street – The Agora Addition.

Recommendation: Approval with Conditions

Scot H. introduced the project. There has been an agora constructed at 152 Main in the

parking area between Helen's House and Frank's house. This is something that the Town has gone after and secured funding from the state during COVID to create outdoor seating areas and a safe environment for people. Larry Stone did approach the Town and there was some acknowledgment that it was going to happen, but there was some confusion as to what was being constructed, and so staff thought it best to bring it through Planning Commission.

Larry Stone, 152 Main Street, Kelly Toon, 531 Main Street, Minturn, CO 81645. Mr. Stone said that it was important to provide a corridor from Main Street and the River. This is supposed to be a true community space. Currently working out how to keep the place clean and the flowers watered.

Mr. Toon said that this has been a collaboration between multiple property owners. An agora is a meeting/gathering/market place from ancient Italy and Greece. There was inspiration from Finn's Manor in Rhino District. This creates a place for people.

Lynn T. asked if it was temporary or permanent.

- Mr. Toon said that it was designed to be taken down in an afternoon to return to parking. One person can take down the awnings for snow.
- Mr. Stone said that they buried twenty foot poles 4-5 feet deep in concrete which is the only permanent part. There are three parking spaces in the back. Would like to increase signage. If it isn't successful then they won't do it again next year, but hopefully the community finds it successful. The public doesn't need to buy food to sit there, it's a true community gathering place. Thinks it would be cool for a wood-fired oven.

Chris M. thanked Mr. Stone and Mr. Toon. It's fun and he has noticed people using it every day. How do liquor laws in the Town accommodate this?

- Mr. Stone said that there isn't a liquor license held in the space so you can bring your own liquor or buy from the restaurants around.

Jena S. likes the construction.

- Mr. Stone said that there will be a diverse use at the space.
- Mr. Toon said that he encourages the Town to make use of the space.
- Jena S. said that this could possibly encourage people to stay in Town and spend their money here. This is a very sustainable and trending land use.

Jeff A. said this is a perfect example of Minturn funky and unique. Appreciates that it isn't conflicting with the summer concert series. Asked if there has been any issues with noise levels.

- Mr. Stone said that at first there was an event that was geared towards a younger crowd that had a deep base as it was DJ music, and that has now been put a stop too. There just needs to be good management.
- Jeff A. said that there should be someone in charge, and that there should be a curfew for the community's benefit. Thinks it is an amazing addition to the Town as long as it is properly managed.

- Mr. Stone said they are looking for a 9am-9pm operation in the summer and then shutting it down in the winter.

Jena S. said that there should be a code of conduct posted and an “All Welcome” sign, especially for the Minturn Market season.

Public Comment was opened.

Michelle M. read into the record a public comment that had been received by email. “By way of introduction, I am a new resident of Minturn. I moved to 103 Lions Lane in the Minturn Towne Homes in January. I have lived in the valley full-time for 5 years. I am writing in support of the new community space. I believe the space is a much needed and welcome addition. Please let me know if I can do anything to help the town of Minturn. I am a retired lawyer and now have time available to volunteer.

Best regards,
Candice L Jenkins
103 Lions Lane”

Motion by Jena S., second by Jeff A., to approve the plans for an agora addition at 152 Main Street with the following four conditions. Motion passed 5-0.

1. A parking plan should be provided showing the remaining parking spots on the lot in order to adequately assess that enough parking is provided for the short term rental.
2. There should be signage and/or some evidence that someone is responsible for making sure that all trash is gathered at the end of the night and located within the bear-proof trash container
3. The Applicant shall comply with all ordinances of the Town especially concerning hours of operation and noise levels.
4. The Applicant will follow through with the building permit and inspection process

Note: Elliot H. recused himself.

8. Minturn North PUD – Railroad Planned Unit Development Preliminary Plan Review

The Public Hearing was opened.

Scot H. introduced the project. Minturn Crossing, LLC, represented by Greg Sparhawk, requests a continuance for the review of the Minturn North Preliminary Development Plan for PUD to the Planning Commission’s regular meeting of July 28, 2021. A formal request is attached to this memorandum. Minturn North’s Preliminary Development Plan for PUD was initially reviewed at the April 14, 2021 meeting, and, after much discussion about outstanding completeness and referral agency comments needing to be addressed prior to the continuing the public review of the application, the Planning Commission moved to table or continue the public hearing to the June 23, 2021 hearing date, with the understanding that the Applicant and staff would come to an agreement on the resubmission date that would allow staff ample time to review any resubmission

and craft an updated staff report. Following the hearing on April 14th, staff informed the Applicant that all updated information, plans, narratives and reports would be due no later than May 28, 2021. Before the May 28th deadline, the Applicant alerted staff to the fact that they would not be able to submit in a timely fashion, and thus they were requesting an extension. The Planning Director granted an extension in this case as the Applicant had demonstrated a good faith effort to work with staff and demonstrate that circumstances that delayed their resubmittal. As a reminder, the Minturn Municipal Code does not permit the staff to recommend continuance, but instead only recommend approval, approval with conditions, or denial. It is the Planning Commission's decision and discretion to grant the requested continuance. In this case, staff suggests that the Applicant has demonstrated an ongoing commitment to meeting the requirements of the Town. In particular, the Applicant has been in constant communications with the Town and has, in good faith, been persistent in soliciting and implementing direction from staff and the Town's consultants as a means to meet the previously established submittal deadline of May 28th. Staff has met as recently as June 16th with the Applicant to review the timelines and expectations of the Town and staff believes that the Applicant should be ready to re-submit a comprehensive response to outstanding issues by Monday, June 28th. This will allow approximately two (2) weeks for the Town staff to review the re-submission and make a determination that the re-submission is complete and adequate to allow for the creation of a full, comprehensive staff report.

Greg Sparhawk, 245 Pine Street, Minturn, CO 81645.

When they had originally requested the 60 day extension, they thought it would be enough time, however, in the back and forth with Town staff, it was felt that there were still some holes that needed to be addressed. So they are formally requesting a continuance to continue to work with staff. They will have everything to staff on Monday, June 30, 2021.

Jena S. asked if there is anything that the Applicant sees that could hold up the project.

- Mr. Sparhawk said that he had the impression that the Railroad access agreement is very close to being resolved.

Chris M. thanked the Applicant and the Town staff for working together.

Tom P. expressed concerns on the credibility of the package. Asked about parking on Minturn Rd.

- Mr. Sparhawk said that they have removed most of the parking on Minturn Rd. so that they aren't impacting UPRR property by over-grading.
- Tom P. asked about an estimate of parking on Taylor Ave.
- Mr. Sparhawk said those numbers will be with the submittal.
- Tom P. asked about the one-way on Taylor Ave.
- Mr. Sparhawk said that he would have the engineer talk about that after the submittal.
- Tom P. asked about the left turn lane over Minturn Rd. bridge.

- Mr. Sparhawk said that there will be a deceleration lane that they are working through with CDOT. They have the access permit for both Highway 24 and Bellm Bridge and Highway 24 and Minturn Rd. Bridge.
- Tom P. asked about the safety of Railroad Ave. and the S-curve
- Mr. Sparhawk said that any asking about changing the S-curve was shot down by UPRR.

Anthony Martinez 232 Taylor Street, Minturn, CO 81645.

Thinks the Applicant is doing a pretty good job trying to redevelop this area. He would like the Applicant to consider wildlife behind the houses. He asked if there was a possibility of putting a stop sign on Minturn Road to mediate the intersection with Taylor.

Madison H. read into the record a public comment submitted via email.

“To the Planning and Zoning Commission:

We would like to express a few concerns /considerations regarding the development near game creek. We live on Taylor St and therefore have a close relationship with this project.

1. Snow storage — how will this be addressed per lot? Packing homes on tight lots will make it difficult to remove snow on this small parcel, unless it is abundantly clear as to how much space is required on each lot for snow cleared from entryways, decks and driveway. It is not sustainable, eco-friendly or logical to plan such tight lot spacing that will require snow to be trucked away. It will be an unnecessary and burdensome cost for the town that can be avoided.

2. Parking. 184 units with 3 bedrooms per unit = 552 vehicles.

—>Add 40+ vehicles needed for busiest days to access Game Creek trailhead. We live near the trailhead and have counted 40+ vehicles MID week, even more on weekends (for which the new residents of this parcel will be more likely to have guests parking on their properties or on the roads as well).

For reference, the entire top of Lionshead parking structure holds approximately 400 vehicles. Although Lionshead is likely not as big as the parcel it is quite large and certainly paints the picture as to how much space cars alone take up. Now add 100+ vehicles and houses.

—>we feel it is absolutely necessary that each dwelling is required to have at least 1 parking spot per bedroom and 2 parking spots for any lock off and/or 1 bedroom rental units as renters always have guestsor couples, each with 1 car could rent 1 room.

—>please remember the town will take on the costs of the daily working needs of the development (snow removal, managing parking violations, etc) well beyond the developers short lived role in this project

3. Parking at Game Creek: 14 spaces is not sufficient for summer traffic. We live near the trailhead and can promise you that it is not sufficient for even mid-week summer traffic and daily Minturn mile shuttle parking in the winter. Again we have consistently counted over 40 vehicles parked mid week.

4. Density: Have you considered duplex lots to make best use of setback space and offer more space for parking and snow storage on the lots?

5. Please consider an alley with all driveway access to units within the parcel (rather than the Minturn mile ski path). The ski path is a nice idea but parking is a bigger problem and strain for residents. It will allow for better traffic flow and offload Taylor street which is already overloaded with dense street parking.

Thank you for your time and consideration, Ana & Duncan Robinson
531 Taylor St”

Motion by Jena S., second by Chris M. to continue the Minturn North PUD hearing to July 28, 2021.

PROJECTS AND UPDATES

9. Project Updates

- Chapter 16 Zoning Code Amendment
 - There probably won't be any Chapter 16 code amendments in the near future.

10. Planning Director Report & Minor DRB Approvals by Director

- Belden Place Preliminary Plan Application Status
 - Approved by the Town Council, so they will be moving forward to final plan, final plat, and subdivision improvement agreements.
- Fence Approval – 841 Main Street
 - This is a 4 foot tall dog-eared cedar plank fence to block out a little bit of the highway noise.
- Fence Approval – 443 Pine Street
 - This house was bought a couple of years ago, and they were told by the Town that they had seven years to remove their rear fence from Meadow Lane. So the Applicant was just pulling the fence in closer to the house.
- Sign Permit Approval – Belden Place Temporary Sign
 - A temporary sign permit was granted. The sign is single sided, six feet by four feet.

Note: Elliot H. rejoined the meeting.

11. Future Meetings

- July 14, 2021
 - Chris M. will not be available
 - Scot H. will not be available
 - Tom P. might not be available
- July 28, 2021
 - Elliot H. might not be available

12. Adjournment

Motion by Jena S., second by Tom P., to adjourn the regular meeting of June 23, 2021 at 8:57 pm. Motion passed 5-0.

Note: Elliot H. is attending in his status as an alternate.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Elliot Hovey
Tom Priest
Christopher Manning
Jena Skinner

Design Review Board Hearing

Faircloth Residence Garage Addition / Variance Request 261 Main Street

Hearing Date: July 14, 2021

File Name and Process: Faircloth Garage Addition / Variance Request

Owner/Applicant: Heather Faircloth

Representative: Tom Warzecha

Legal Description: BOOCO Subdivision, Block F, Lot 12 and Part of Lot 13

Address: 261 Main Street

Zoning: Old Town Mixed-Use (Old Town Character Area)

Staff Member: Scot Hunn, Planning Director
Madison Harris, Planner I

Recommendation: **Approval, with Conditions**

Staff Report

I. Summary of Request:

The Applicant, Heather Faircloth, requests review of a new garage addition with a breezeway connecting it to the main structure, and the expansion of the dining room located at 261 Main Street in the Old Town Mixed Use Zone District. The DRB has reviewed conceptual plans and the Applicants have been proactive in meeting with Town staff prior to submitting plans and have provided a relatively complete and thorough set of site, landscaping, and architectural plans allowing staff to conduct a final plan level review of the project.

The design shows a two-car garage with a maximum building height of approximately 11 feet above existing grade on the Boulder Street elevation of the proposed structure. The structure measures approximately 23' above grade on the downhill, or east elevation between the proposed garage and the existing house. The space below the proposed garage structure will be a bedroom and bathroom. The Applicant is proposing a new breezeway connecting the garage to the main structure on the property, plus an expansion of the dining area. The expansion of the dining area attached to the existing house will not affect lot or impervious coverage.

To necessitate the construction of a garage, the Applicants are also seeking a variance from Lot Coverage and Building Coverage requirements. Surveys included for review show that the existing residence (building footprint) is currently compliant with maximum allowable lot (building) coverage. Based on the lot acreage of .086 acres (3,750 sq. ft. lot) the total allowable building coverage is approximately 1,687.5 sq. ft. (45% max.); existing lot coverage is estimated at approximately 1,526.9 sq. ft. (40.72%). The total allowable impervious coverage is approximately 2,026.5 sq. ft. (55% max.); existing impervious coverage is estimated at approximately 1,623.0875 sq. ft. (43.28%).

However, the proposed 664.6 sq. ft. garage addition along with the breezeway addition to the existing residence will result in a maximum building coverage of approximately 2,043.05 sq. ft., or approximately 54.48% building coverage, and a maximum lot coverage of approximately 2,342.28 sq. ft., or approximately 62.46% lot coverage with the new driveway and exterior stairs.

Proposed Plans

The plans show a new garage addition with a maximum building height of 22.5 feet above proposed grade, well within the maximum allowable 28-foot limit within the Old Town Mixed Use Zone District. This structure will have a bedroom and bathroom beneath the garage. There will be a breezeway connecting the garage addition to the primary structure. Additionally, the dining area in the main structure is proposed to be expanded.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – Design Guidelines and Standards.

Parking is adequate, with four off-street spaces provided: two in the proposed garage and two in front of the garage.

According to staff's analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town's standards in all but two areas.

Staff has identified the following minor issue needing to be addressed prior to or concurrent with building permit application or during the construction process:

- **Exterior Light Fixtures** – the floor plans and elevations should be updated prior to building permit to show all exterior lighting locations as well as cut sheet/specifications.

With the exception of the above issue, staff believes that the Applicant and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review. The plans (Sheet A2.01) calls out that exterior materials will match the existing residential structure. Building permit set of plans should show exterior material dimensions and architectural detailing. (Photos of the existing residence are attached for the DRB's reference).

The Applicant is requesting a variance from the following:

- **Building Lot Coverage** - Based on the lot acreage of .086 acres (3,750 sq. ft. lot) the total allowable building coverage is approximately 1,687.5 sq. ft. (45% max.); existing lot coverage is estimated at approximately 1,526.9 sq. ft. (40.72%). However, the proposed 664.6 sq. ft. garage addition along with the breezeway addition to the existing residence will result in a maximum building coverage of approximately 2,043.05 sq. ft., or approximately 54.48% building coverage.
- **Impervious Surface Coverage** - Based on the lot acreage of .086 acres (3,750 sq. ft. lot) the total allowable impervious coverage is approximately 2,026.5 sq. ft. (55% max.); existing impervious coverage is estimated at approximately 1,623.0875 sq. ft. (43.28%). However, with the proposed 664.6 sq. ft. garage addition along with the breezeway addition, the new driveway and the exterior stairs there is a maximum lot and impervious coverage of approximately 2,342.28 sq. ft., or approximately 62.46% lot coverage.

As a reminder, the Planning Commission, acting as the DRB, has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or, the Commission may take action to recommend approval, approval with conditions, or denial to the Town Council regarding the Final Plans and the variance request.

Staff is **recommending approval**, with conditions of the Final Plans as well as a variance request from the strict interpretation and application of the Town's Lot and Impervious Coverage limits.

II. Summary of Process and Code Requirements:

This is a final plan-level of review for a new garage structure on a legally created lot within the Town of Minturn. This is a formal public hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB's concerns or feedback regarding suggested revisions to the project.

As noted above, if the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve or approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions to the plans.

In addition, the Planning Commission is responsible for reviewing the variance request and for making a recommendation to the Town Council to approve or deny the variance request based on criteria for approval and specific “findings” listed within Section 16-21- 690 – *Variances* of the Town Code (detailed below under Section IV with staff analysis).

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) Administrative procedure.

(1) Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.

(2) Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 261 Main Street meet or can be revised to meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*, as long as the variance request is approved..

III. Zoning Analysis:

Zoning

The subject property is located within the “Old Town Character Area” Mixed-Use Zone District. The purpose of the Old Town Mixed-Use Zone District is to:

- a. This area allows a compatible mix of **residential uses**, low-impact commercial uses and institutional uses that serve residents and visitors. The Old Town*

Mixed-Use Zone can accommodate various types of development if found not to significantly impact nearby properties.

- b. The Old Town Mixed-Use Zone is intended to **provide sites for combined residential and low-impact commercial and service uses which maintain a predominantly residential appearance. This area can accommodate reasonable growth where land and services are available and when services and amenities are needed for residents and visitors.**

- Town of Minturn Town Code Section 16-6-40

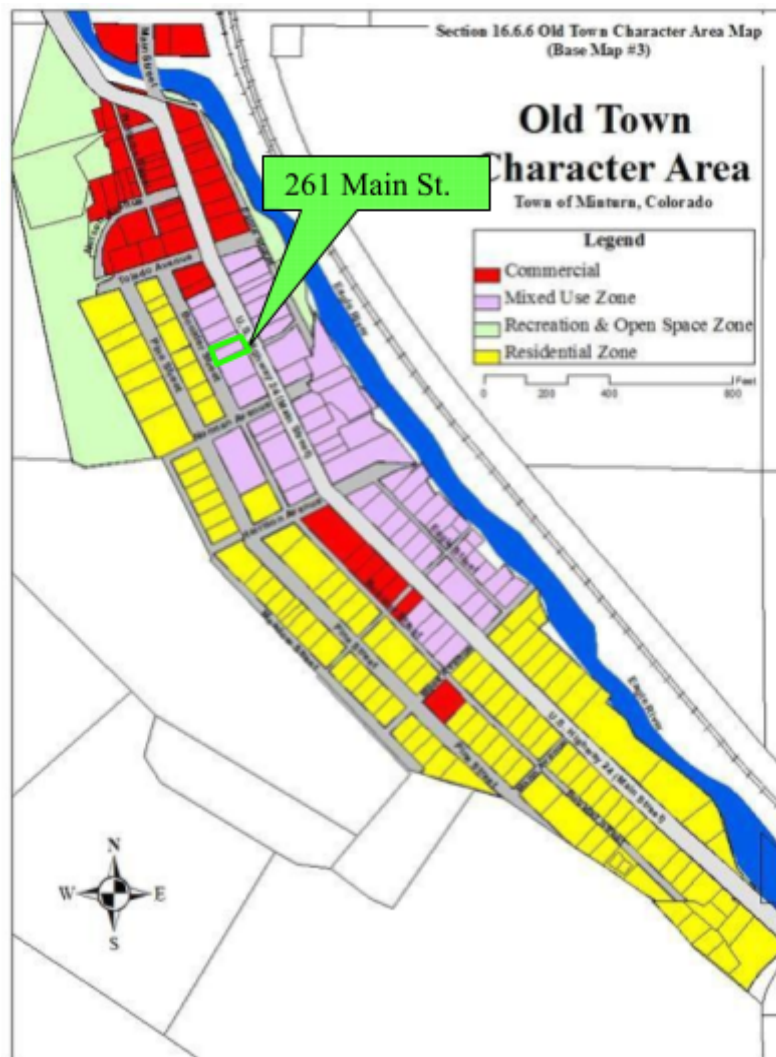


Figure 1: Old Town Character Area Zoning Map

Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - *General lot*

requirements and dimensional standards and 16-16-20 – Parking Required for Residential and Lodging Uses.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	5,000 sq. ft.	3750 sq. ft.
Maximum Building Height:	28 feet	22.5 feet
Minimum Front Setback:	10 feet	No Change
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	10 feet
Maximum Lot Coverage:	45% (1687.5 sq. ft.)	1,526.9 sq. ft. (40.72%) Existing 2,043.05 sq. ft. (54.48%) Proposed
Maximum Impervious Coverage:	55% (2,062.5 sq. ft.)	1,623.0875 sq. ft. (43.28%) Existing 2,342.28 sq. ft. (62.46%) Proposed
Minimum Snow Storage Area:	5% of Driveway Area (20.2235 sq. ft.)	75 sq. ft. (18.54%)
Parking:	3 spaces	4 spaces

Note: the above calculations are based on the following:

$$\text{Lot 12 and part of 13} = .086 \text{ acres} \times 43,560 \text{ sq. ft./acre} = 3,750 \text{ sq. ft.}$$

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The design guidelines encourage designs that integrate or account for snow storage and snow shed from roof structures, along with ensuring that the orientation of buildings – to street frontages and neighboring properties – is considered.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed garage design:

“Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes the proposed design and scale of the proposed garage structure is generally complimentary to the existing single-family residential structure as well as adjacent properties and improvements. The placement of the proposed garage relative to the edge of the pavement of Boulder Street is similar, if not more compliant than, other structures on adjacent properties.

Variance

The Town Code provides the following purpose, intent and criteria for the approval of a variance:

Sec. 16-21-690. - Variances.

(a) Purpose of provisions; limitations.

(1) In order to prevent or to lessen such practical difficulties and unnecessary physical hardships inconsistent with the objectives of this Chapter as would result from strict or literal interpretation and enforcement, variances from certain regulations may be granted. Cost or inconvenience to the applicant of strict or literal compliance with a regulation shall not be a reason for granting a variance.

(2) Variances may be granted only with respect to the development standards prescribed for each zone, including lot area and site dimensions, setbacks, distances between buildings, height, density, site coverage, usable open space, landscaping, site development and parking and loading requirements.

(3) The power to extend variances does not extend to the use regulations prescribed for each district because the flexibility necessary to avoid results inconsistent with the objectives of this Chapter is provided by Sections 16-21-620, Conditional Use Permits, and Division 3 of this Article, Amendments to text of Land Use Regulations or Character Area and Zone District Map.”

(c) Approval criteria. *Before acting on a variance application, the Planning Commission and the Zoning Board of Appeals shall consider the following factors with respect to the requested variance:*

(1) The relationship of the requested variance to other existing or potential uses and structures in the vicinity;

(2) The degree to which relief from the strict or literal interpretation and enforcement of a specified regulation is necessary to achieve compatibility and uniformity of treatment among sites in the vicinity, or to attain the objectives of this Chapter without grant of special privilege;

- (3) *The effect of the requested variance on light and air, distribution of population, transportation and traffic facilities, public facilities and utilities and public safety; and*
- (4) *Such other factors and criteria as the Planning Commission and Zoning Board of Appeals deem applicable to the proposed variance.*

(d) Findings required. *The Planning Commission and Zoning Board of Appeals shall make the following findings before granting a variance:*

- (1) *There are exceptional or extraordinary circumstances or conditions applicable to the site of the variance that do not apply generally to other properties in the same zone;*
- (2) *The exceptional or extraordinary circumstances of the site create a situation in which the strict, literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of this Chapter;*
- (3) *That the granting of the variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements in the vicinity and will not result in substantial impairment to the purposes of this Chapter.*
- (4) *There is no substantial impairment to the public that would result from the granting of the variance.”*

Staff Response:

As noted above, the Planning Commission must make positive findings for all four variance criteria. Although no one criterion should be weighted differently or considered more important, the first two criteria are typically the most difficult to establish.

In this instance, the Applicant will be required to demonstrate an ‘extraordinary circumstance,’ ‘physical hardship,’ and/or ‘practical difficulty’ when the regulations are applied strictly and literally to their property.

Staff suggests that while the subject property is not unlike other lots in the vicinity (it is a typical, regularly shaped lot), it is, however, an undersized lot (the lot is 3,750 sq. ft. instead of the required 5,000 sq. ft.). Therefore, there may be a case for physical hardship and/or a practical difficulty associated with this property that makes construction of a typically sized garage difficult without a variance.

That said, the Applicant is not asking for the minimum amount of relief from the strict application of the regulations, another criteria for consideration of any variance request. Staff respectfully suggests that the plans could be modified to reduce coverage and by eliminating the breezeway. By staff’s calculations, removal of the breezeway would reduce the total lot and impervious coverage by approximately 3.7%, bringing the total at or below 60%.

In this respect, staff respectfully suggests that the Planning Commission consider the amount of relief sought by the Applicant from the strict interpretation and application of the Code. Meaning, if the main objective of this project - and perhaps the primary benefit

to the property owner and the Town - is to provide on-site parking for existing residential uses, the plans could be modified to reduce the total amount of relief sought without taking away from the main objective of the project - to construct a garage.

Staff is recommending approval of this request with the condition that the breezeway be removed from the plans to reduce the overall, or total lot coverage and impervious coverage to no more than 60%, allowing for a total variance from the Town's standards of no more than 5%.

V. Issues and Areas of Non-Conformance:

Issues or Required Plan Revisions

The following issues or areas of refinement have been identified by staff that must be addressed prior to any building permit submittal:

Exterior Light Fixtures

The plans should be updated to show exterior light locations. Light fixtures and lighting solutions are to be dark sky compliant.

VI. Staff Recommendation and Suggested Conditions:

Staff suggests that the Final Plans for 261 Main Street generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code, with the exception of lot and impervious coverage limits. Staff further recommends that the Applicant's request for a variance for relief from the strict application of the Town's Lot and Impervious Coverage limits may be granted as the request generally meet all variance criteria, particularly for physical hardship and practical difficulty.

Staff is **recommending approval** of the Final Plans, with a variance from the strict interpretation of the regulations for lot and impervious coverage, with the following recommended condition(s):

1. The Applicant shall provide final grading and drainage details, including an updated survey showing spot elevations, for review by the Town Planner and Engineer prior to the submittal for building permit.
2. The Applicant shall revise the site and/or floor plans to show all proposed exterior light locations and provide final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit applications to ensure compliance with the Town's lighting standards as well as consistency with fixtures found on the existing residential structure on the subject property.
3. The Applicant shall revise the Final Plans to remove the breezeway and/or revise other aspects of the plan to reduce overall, total impervious surface coverage to no more than 60%.
4. The Applicant shall provide final details and dimensions for all proposed exterior

materials, finishes and fixtures prior to or concurrent with building permit application. Exterior materials and dimensions are to match those existing on the existing residential structure on the property to the highest degree practical.



VARIANCE APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Faircloth Garage addition

Project Location**Street Address:**

261 Main Street Minturn.Co

Zoning:

Mixed use

Parcel Number(s):**Application Request:**

To provide onsite parking by adding a garage with a living space below. The garage will be accessed from Boulder Street.

Applicant:**Name:**

Wei Construction

Mailing Address:

P.O.Box 1384 Vail,Co 81645

Phone:

970-390-3674

Email:

wei04@comcast.net

Property Owner:**Name:**

Heather Ehrhardt Faircloth

Mailing Address:

216 Main street

Phone:

720-320-9333

Email:

Faircloth@gamil.com

Required Information:

Lot Size: 3750	Type of Residence (Single Family, ADU, Duplex) redidence	# of Bedrooms 3	# On-site Parking Spaces 1
# of Stories: 2	Snow storage sq ft: 75sqft	Building Footprint sq ft: 1958.76	Total sq ft Impervious Surface: 2148.41

Signature:

Fee Paid: \$575-

Date Received: 6/22/21

Planner: Madison Hurns

VARIANCE APPLICATION

SUBMITTAL CHECKLIST REQUIREMENTS (TO BE INCLUDED WITH APPLICATION)

Applicant Staff

Application Fee (Non-Refundable application fee shall be collected)

- Planning Commission Review - \$575 + Costs attributable to the review by consultant time are billed at actual hourly rates. Cost assessed after first hour.

RESPOND TO THE FOLLOWING QUESTIONS:

1. **Please describe the nature of the requested variance:** _____

To build on site parking inside the set backs but over the allowable lot coverage.

2. **Are there exceptional or extraordinary circumstances or conditions applicable to the site of the variance that does not apply generally to other properties in the same zone? (If yes, please elaborate):** _____

The lot is small 3750 sqft.

The code is based on a 5000sqft lot so the percentage of the lot coverage is increased by the smaller lot size.

3. **Do the exceptional or extraordinary circumstances of the site create a situation in which the strict, literal interpretation and enforcement of the specified regulation result in practical difficulty or unnecessary physical hardship inconsistent with the objectives of the zone code! (if yes, please elaborate):** _____

The code is based on 5000sqft.lot resulting in the lot coeverage to be increased and over the allowable coverage.

Also the adjacent properties are over there lot coverage

So the project seems to be consitent with neighborhood

Vicinity Map

-- Directional Map indicating how to get to the Property involved in the request.

- Zoning of Property

Improvement Location Certificate of Survey (ILC or ILS)

Site Plan showing Precise Nature of the Proposed Use – To Scale

- Scaled Drawings of Proposed Design of Structure
 - Plan View and Sections
- Building Heights – all 4 directions N/S/E/W
- Topography

Madison Harris

From: wei04@comcast.net
Sent: Friday, July 2, 2021 7:28 AM
To: Madison Harris
Subject: FW: Variance representation

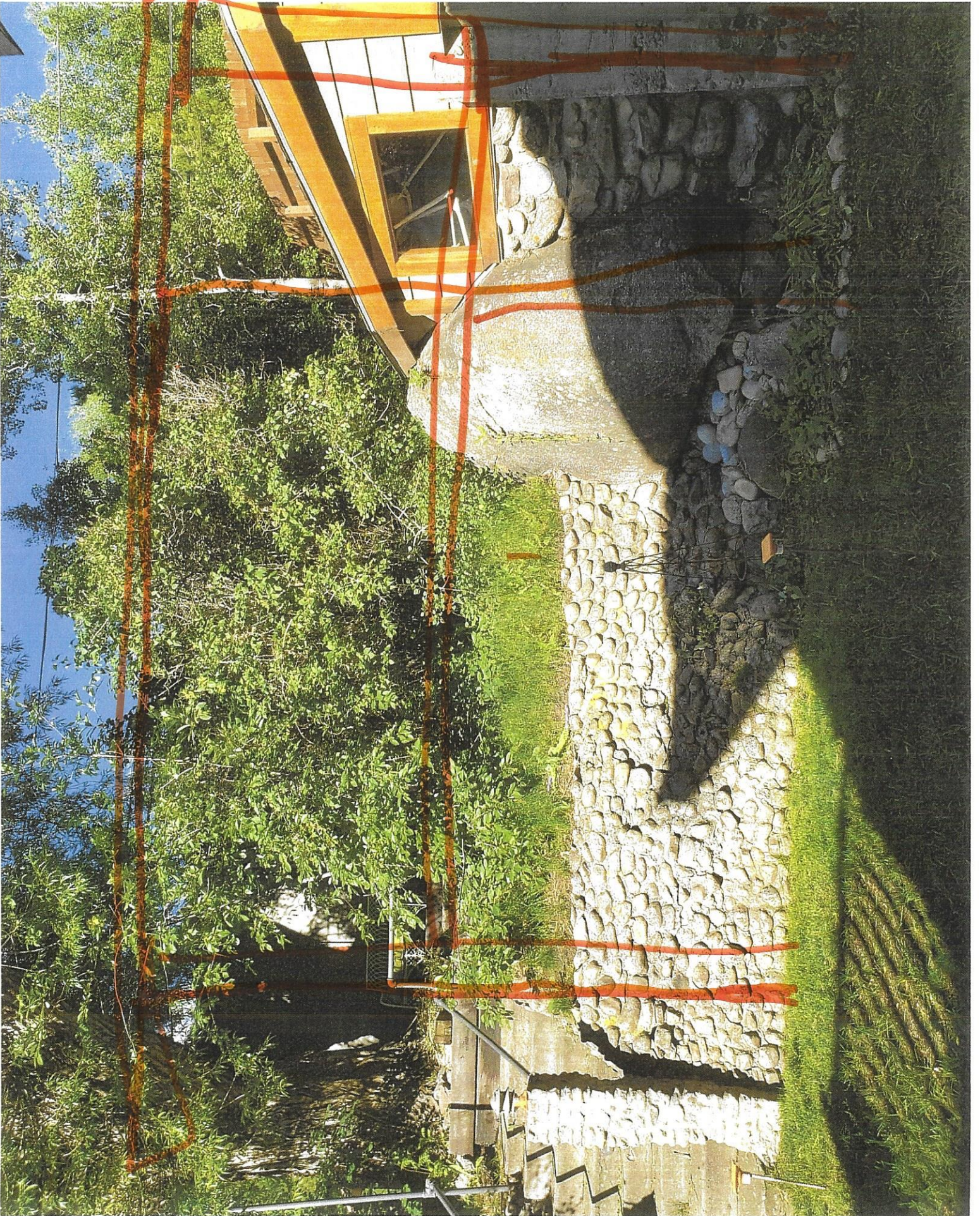
From: Heather Faircloth <fairclothh@yahoo.com>
Sent: Thursday, July 1, 2021 4:38 PM
To: Tom Warzecha <wei04@comcast.net>
Subject: Variance representation

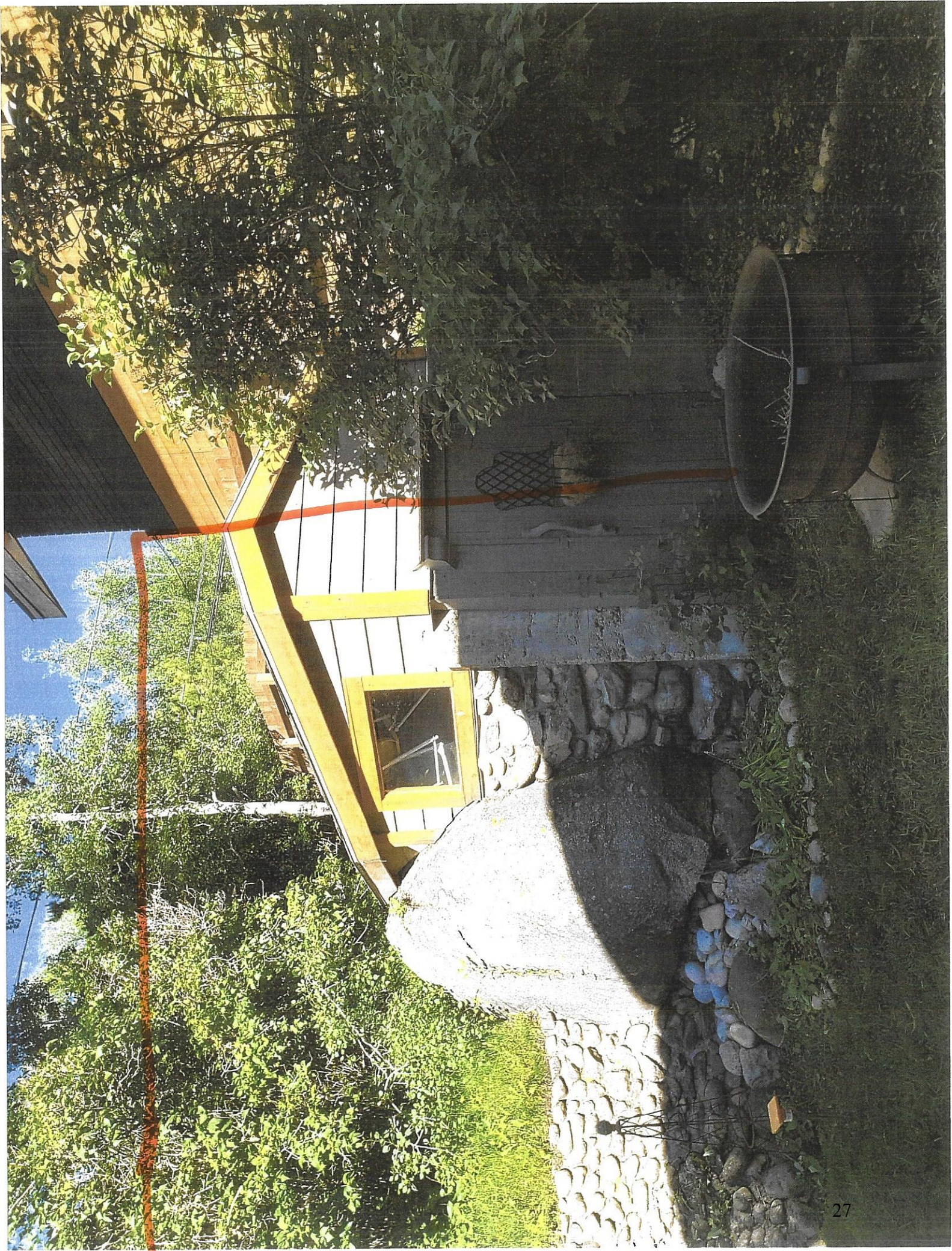
To whom it may concern

I would like Tom Warzecha to represent me in the application for variance regarding 261 Main Street in Minturn, Colorado

Heather Ehret- Faircloth
Kentwood Real Estate
Residence XXV
Denverheather@kentwood.com
720-320-9333 cell







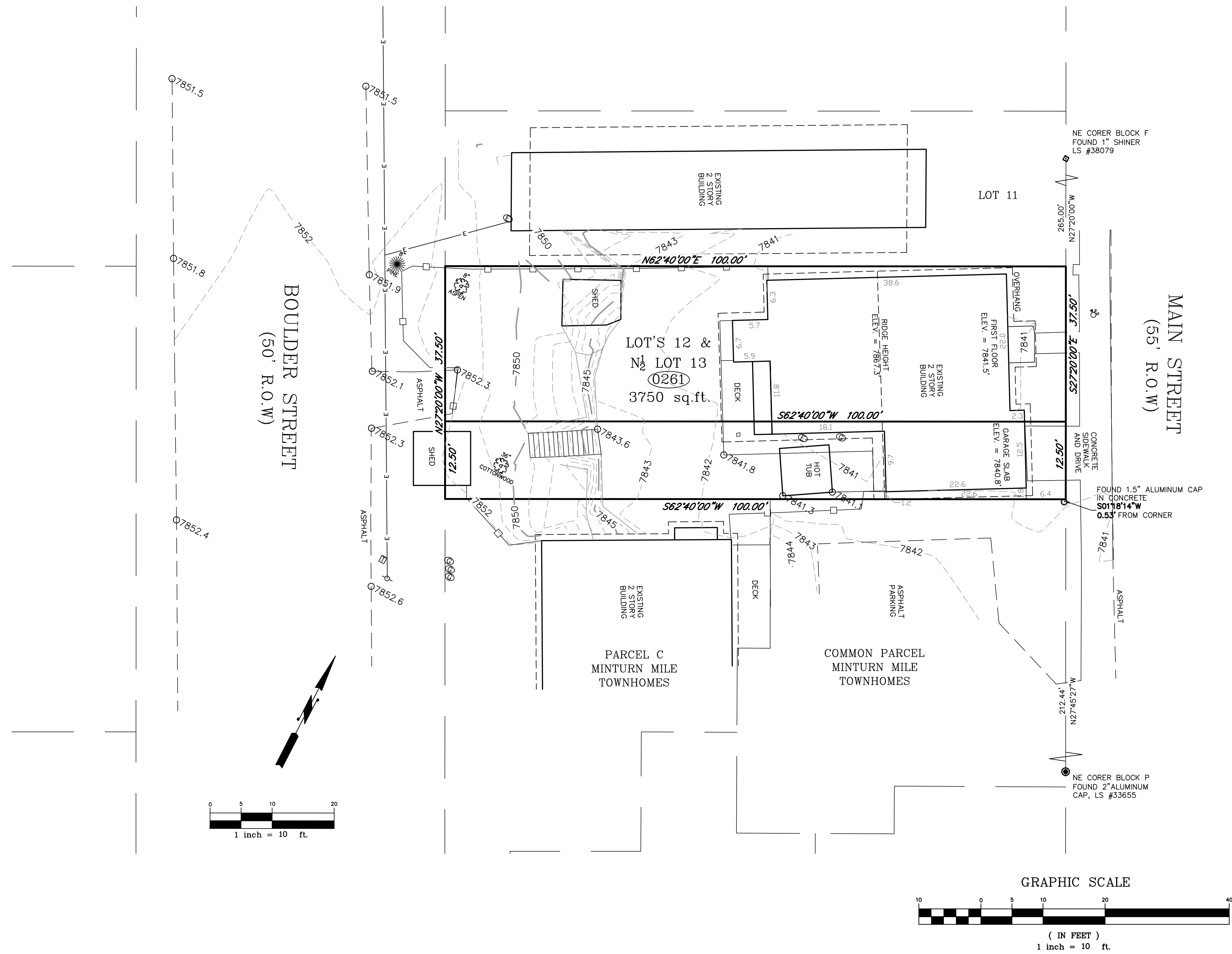




TOPOGRAPHIC SURVEY

Lot 12 and N $\frac{1}{2}$ LOT 13, Block F, Booco's Addition To Minturn

Located in Section 26, T5S, R81W, 6th P.M.
Town of Minturn, Eagle County, Colorado



LEGAL DESCRIPTION:
 Lot 12 and the Northerly $\frac{1}{2}$ Lot 13, Block F, Plat of Booco's Addition to Minturn, dated February 14, 1891, according to the plat thereof, recorded under Reception No. 9109, in the Office of the Clerk and Recorder, Eagle County, Colorado.

NOTES:

- 1) Survey Date: June 14, 2018.
- 2) Street Address: 261 Main Street. (posted)
- 4) Record easements, legal description, and rights-of-way shown hereon were derived from above referenced Final Plat, monuments found at the time of the survey and Warranty Deed Reception No. 201606076. This survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property.
- 5) This survey was performed using U.S. Survey Feet.
- 6) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.
- 7) Notice: According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.
- 8) Benchmark: Derived from NGS S-280 with an Elevation = 7894.5 and the first floor elevation shown hereon is relative thereto.

CERTIFICATION

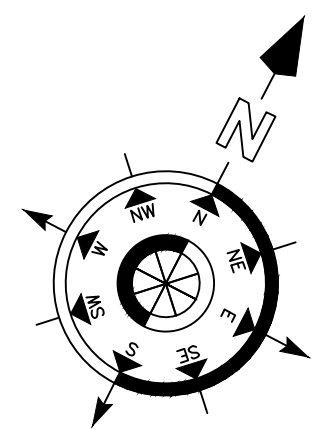
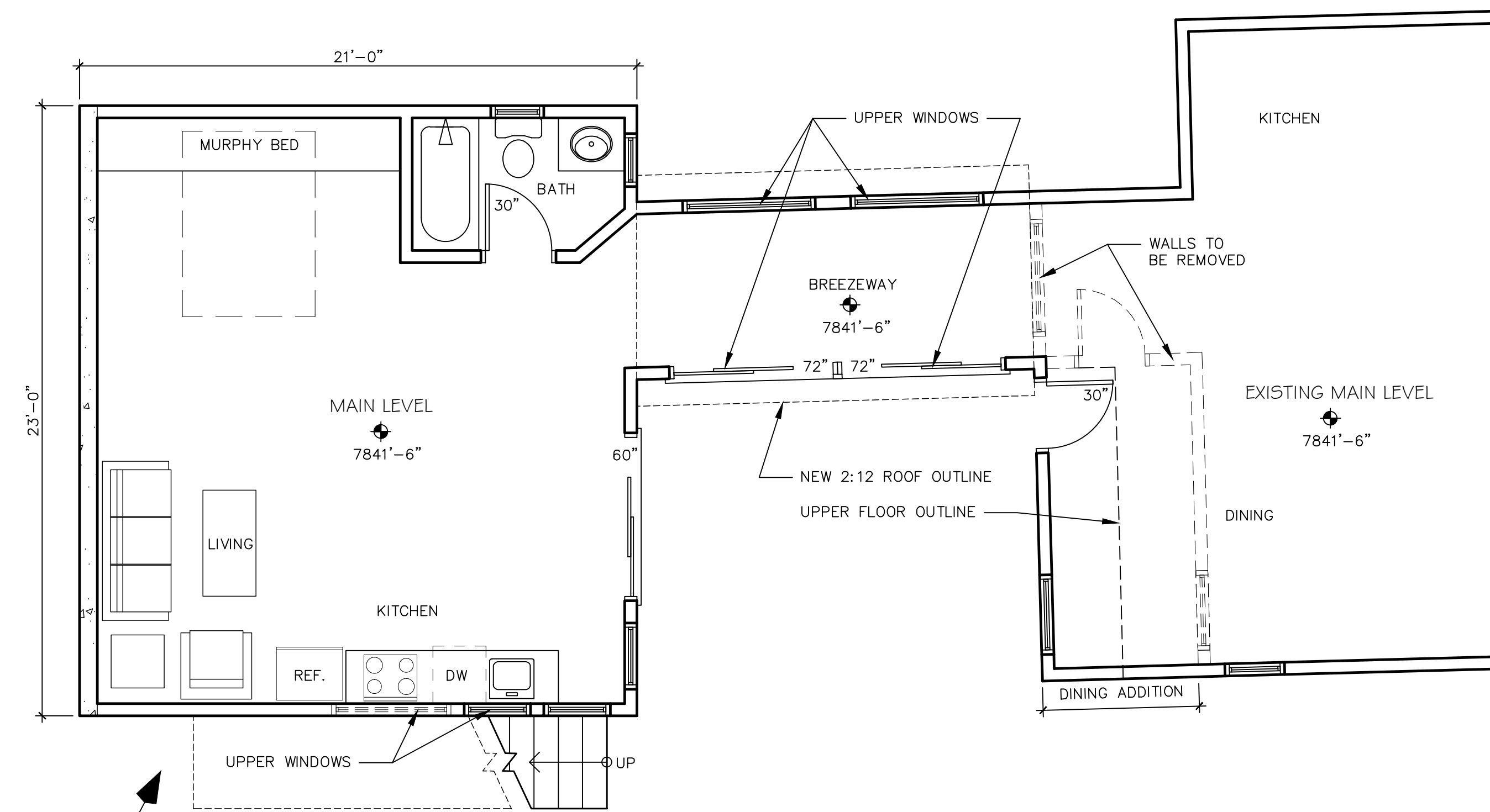
I, Randall P. Kipp, a Registered Professional Land Surveyor in the State of Colorado, hereby certify that this TOPOGRAPHIC SURVEY was done by me or under my direct supervision, and that it was performed using the standard care and practice used in the area at the time of the survey. The Notes hereon are a part of this certification.



Randall P. Kipp
 P.L.S. No. 38079
 Colorado Professional
 Land Surveyor

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

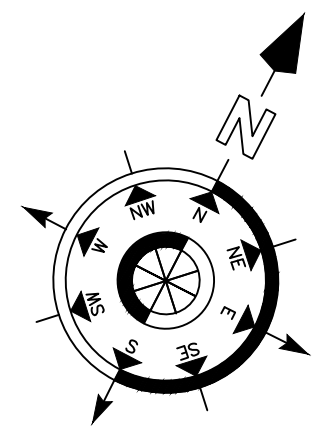
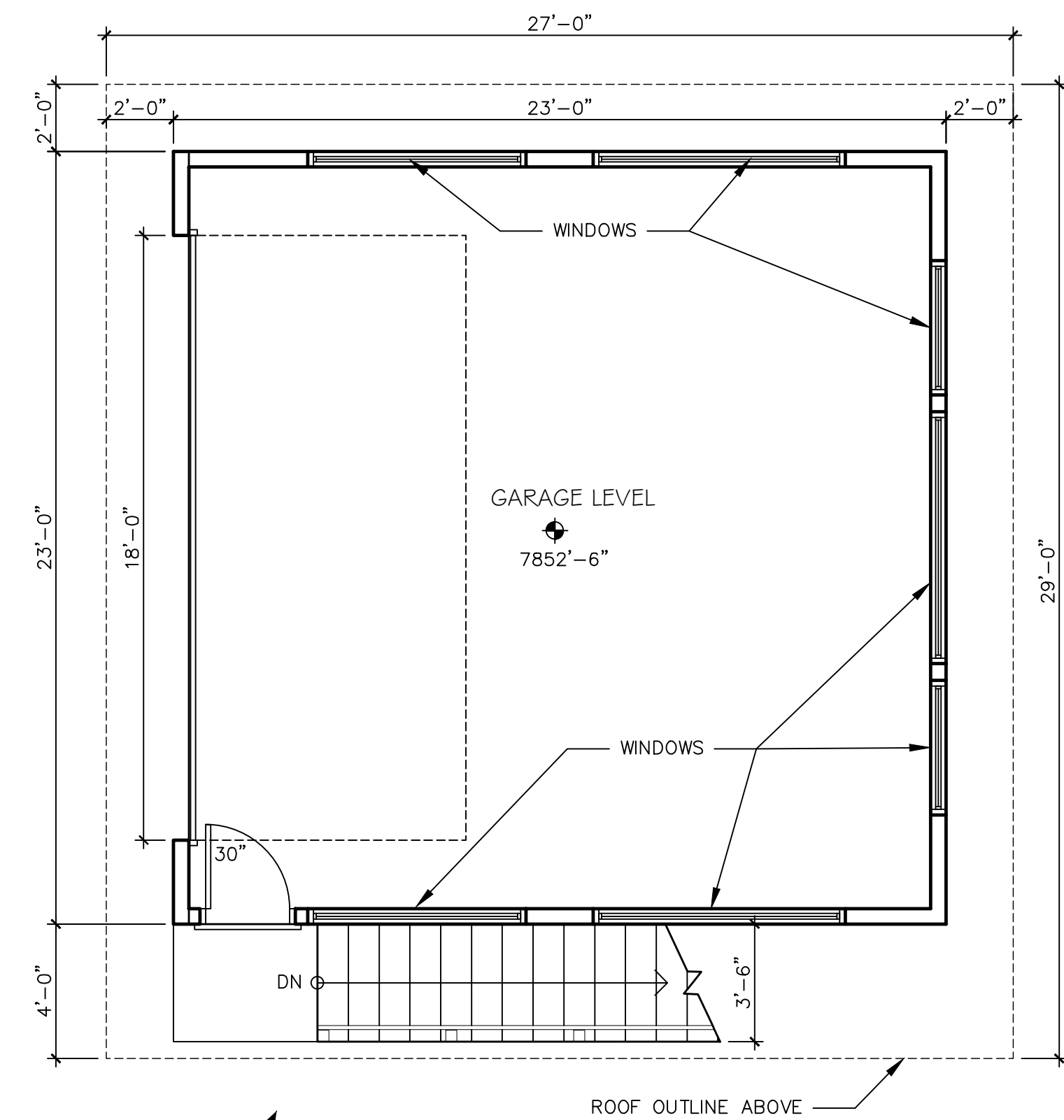
KIPP LAND SURVEYING		TOPOGRAPHIC SURVEY	
RANDY KIPP P.L.S. P.O. Box 3154 Eagle, CO 81631 (970) 390-9540 email: randy@kipplandsurveying.com web: kipplandsurveying.com		LOT 12 AND N $\frac{1}{2}$ LOT 13, BLOCK F Booco's Addition To Minturn Town of Minturn, Eagle County, Colorado	
DRAWN BY: RPK	DATE: 6/18/18		
SHEET: 1 OF 1		18116 L12N13 TOPO DWG NO.:	



MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

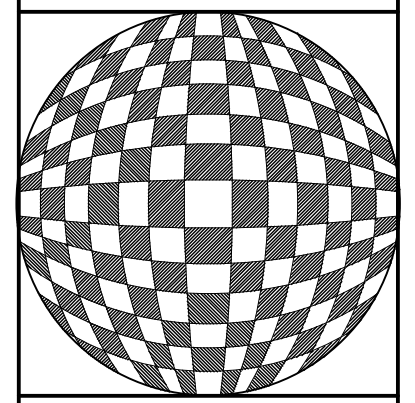
MAIN LEVEL = 483.00 SQ. FT.
 BREEZE WAY = 99.76 SQ. FT.
 DINING = 35.84 SQ. FT.
 TOTAL = 618.60 SQ. FT.



GARAGE LEVEL FLOOR PLAN

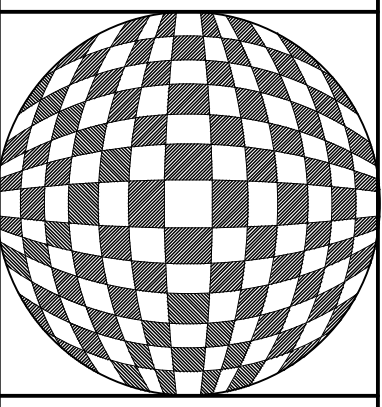
1/4" = 1'-0"

GARAGE = 529 SQ. FT.

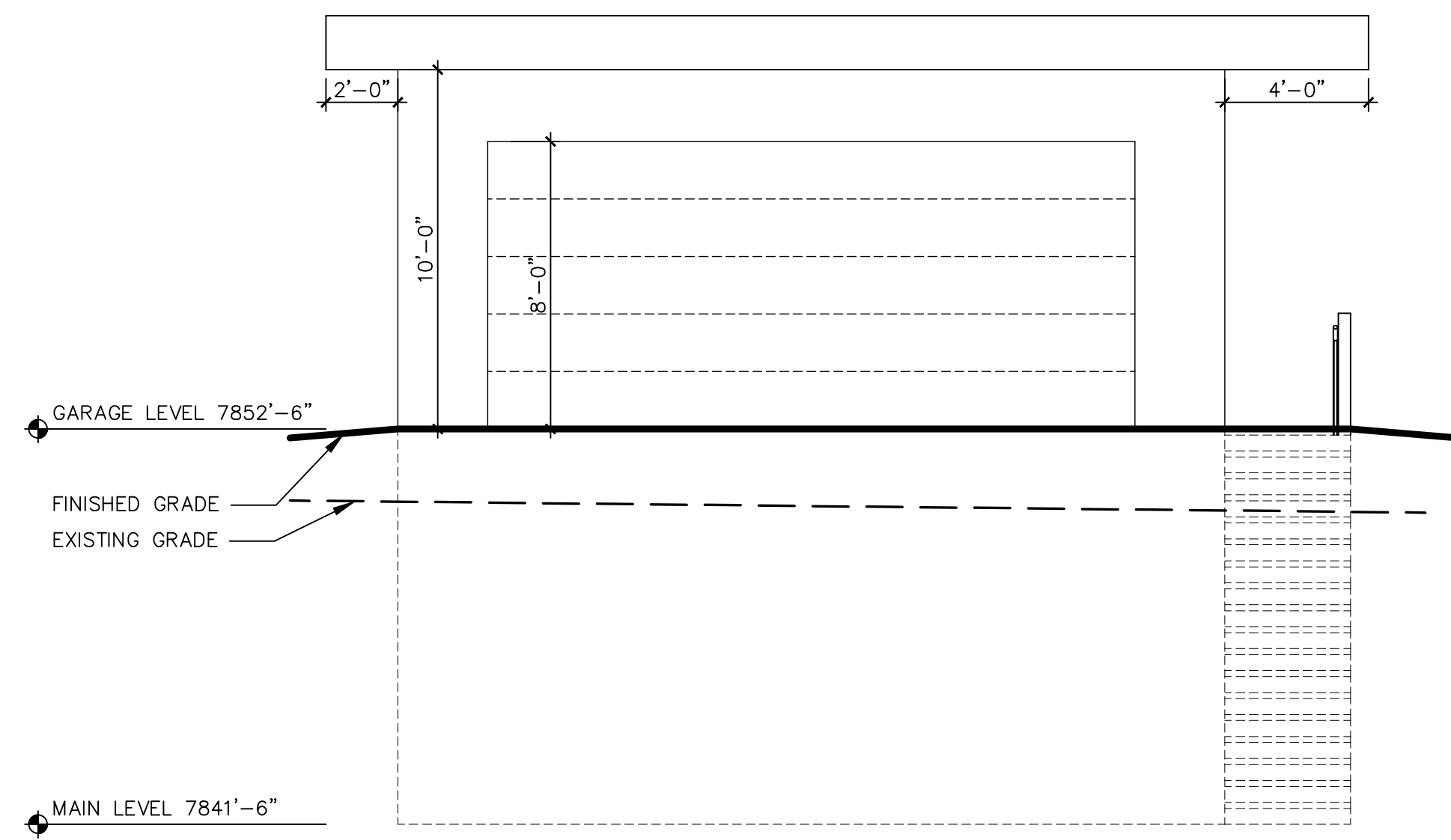


GARAGE ADDITION
 261 MAIN STREET
 MINTURN COLORADO 81645

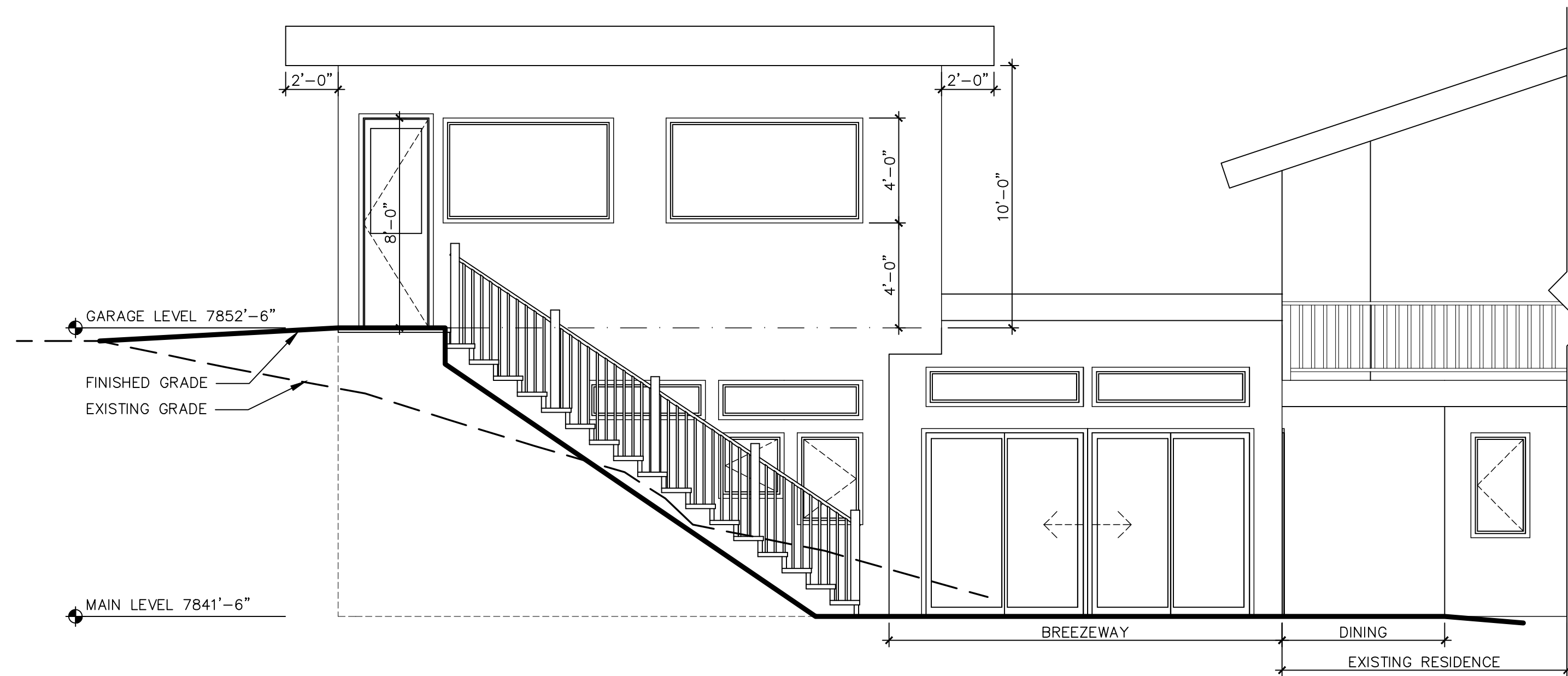
JOB NUMBER	20-5
DRAWN BY	TH
DATE	JUNE 21, 2021
TITLE	VARIANCE
REVISION DATE	INITIAL



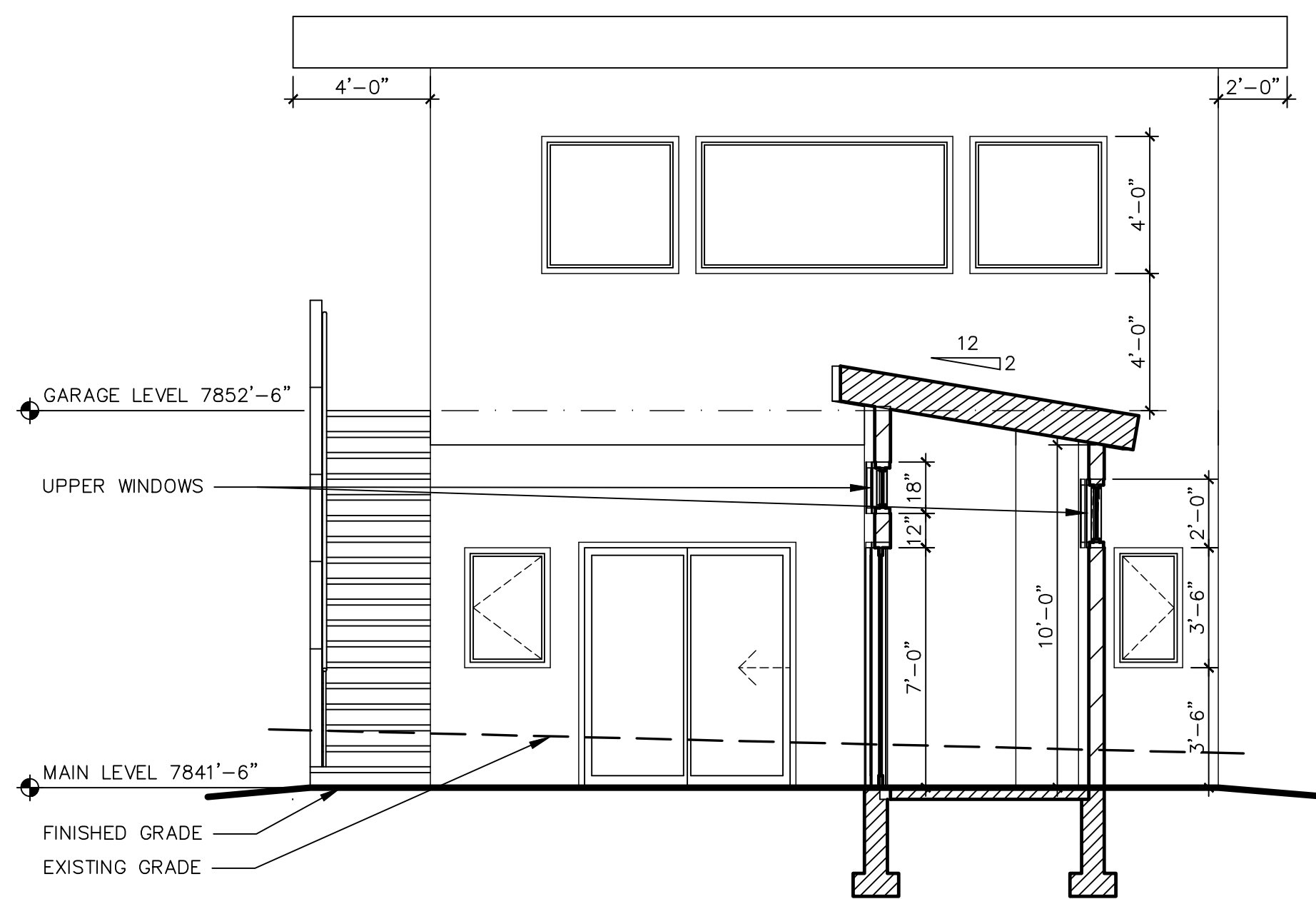
GARAGE ADDITION
261 MAIN STREET
MINTURN COLORADO 81645



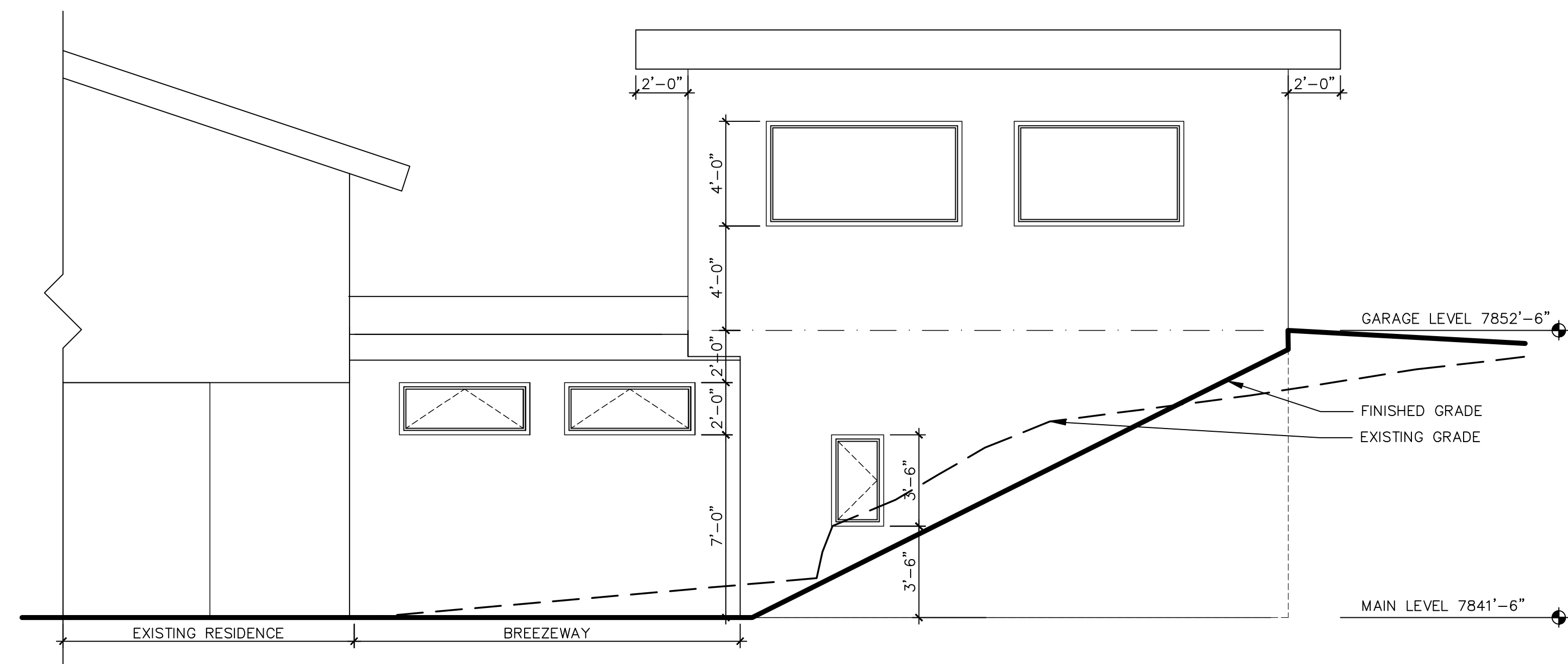
1 **SOUTHWEST GARAGE ELEVATION**
1/4" = 1'-0"
NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
SIDING, TRIM, ROOFING ECT.



2 **SOUTHEAST GARAGE ELEVATION**
1/4" = 1'-0"
NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
SIDING, TRIM, ROOFING ECT.



3 **NORTHEAST GARAGE ELEVATION**
1/4" = 1'-0"
NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
SIDING, TRIM, ROOFING ECT.



4 **NORTHWEST GARAGE ELEVATION**
1/4" = 1'-0"
NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
SIDING, TRIM, ROOFING ECT.

JOB NUMBER	20-5
DRAWN BY	TH
DATE	JUNE 21, 2021
ROLE	VARIANCE
REVISION DATE	INITIAL

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Elliot Hovey
Tom Priest
Christopher Manning
Jena Skinner

Design Review Board Hearing

Hutton Residence – Final Plan Review for Phase II Addition

482 Eagle River Street

Hearing Date:	July 14, 2021
File Name and Process:	Single-Family Residence Final Plan Review
Owner/Applicant:	Emily and Steve Hutton
Representative:	Michael Pukas, MPP Design Shop, Inc.
Legal Description:	Lot 14, Block 2, Booco's 2 nd Addition to Minturn
Address:	482 Eagle River Street
Zoning:	Old Town Character Area – Mixed Use Zone District
Staff Member:	Scot Hunn, Planning Director Madison Harris, Planner I
Recommendation:	Approval, with Conditions

Staff Report

I. Summary of Request:

The Applicants, Emily and Steve Hutton, request Final Plan review of an addition to a previously approved single-family residence located at 482 Eagle River Street in the Old Town Mixed Use Zone District. The DRB reviewed and approved Final Plans for the Hutton Residence - at that time a three bedroom home with room to expand - in March, 2021, and the residence is currently under construction.

At the time of final plan review in March, the Applicants' representative Michael Pukas provided conceptual plans for a future addition of a garage and habitable space above the garage; this was slated as "Phase II" and the Planning Commission only approved final plans for Phase I. The Applicants have now decided to move forward with construction of Phase II while the site is being developed rather than complete that project in the future. The following describes the intent of this application:

"This application is for Design Review approval of a single family residence located at the above mentioned property. The proposed structure is to be completed in one phase, rather than two as previously proposed. The structure will consist of 4 bedrooms, 4 full baths and one half bath, a one-car garage, a great room with the Kitchen, Living, and Dining areas, and a finished basement. The master bedroom suite will be located on the upper level, above the garage. The basement will be utilized as a family room/media room. There will not be a door from the main level to the basement."

Proposed Plans

The original plans were approved showing a two-story, three-bedroom structure with a maximum building height - measured to the midpoint of the roof - of 26 feet above proposed grade, well within the maximum allowable 28-foot limit within the Mixed Use Zone District.

Phase II plans show a single-car garage with habitable space above. Staff has determined that parking is adequate, with two off-street spaces provided within a road base driveway along with the single car garage for four bedrooms. The original plans show an "unfinished basement" with a window well that appears to meet requirements for egress (i.e., the space could be used for a fourth bedroom if finished). As noted in the current application, the Applicant acknowledges that the basement will now be used for a family/media room and that the fourth bedroom will now be located above the proposed garage addition.

The application also highlights the change to building height due to the discovery of ground water at the site and revised foundation design with mitigation which caused the building to be raised one (1') foot; the building still complies with the maximum building height of 28 feet.

According to staff's analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town's standards.

However, staff has identified the following minor issues needing to be addressed prior to or concurrent with building permit application or during the construction process:

Exterior Light Fixtures

The plans should be updated to show exterior light locations. Light fixtures and lighting solutions are to be dark sky compliant.

With the exception of the above issue, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or, the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**, with conditions.

II. Summary of Process and Code Requirements:

This is a final plan-level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

As noted above, if the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve or approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions to the plans. No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) Administrative procedure.

- (1) Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*
- (2) Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
 - a. The proposal's adherence to the Town's zoning regulations.*
 - b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*

c. *The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

a. *That the proposal is in conformance with the Town zoning regulations.*

b. *That the proposal helps achieve the goals and objectives of the Community Plan.*

c. *That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 482 Eagle River Street meet or can be revised to meet the required findings 'a,' 'b,' and 'c' or subparagraph 3 – *Necessary findings.*

III. **Zoning Analysis:**

Zoning

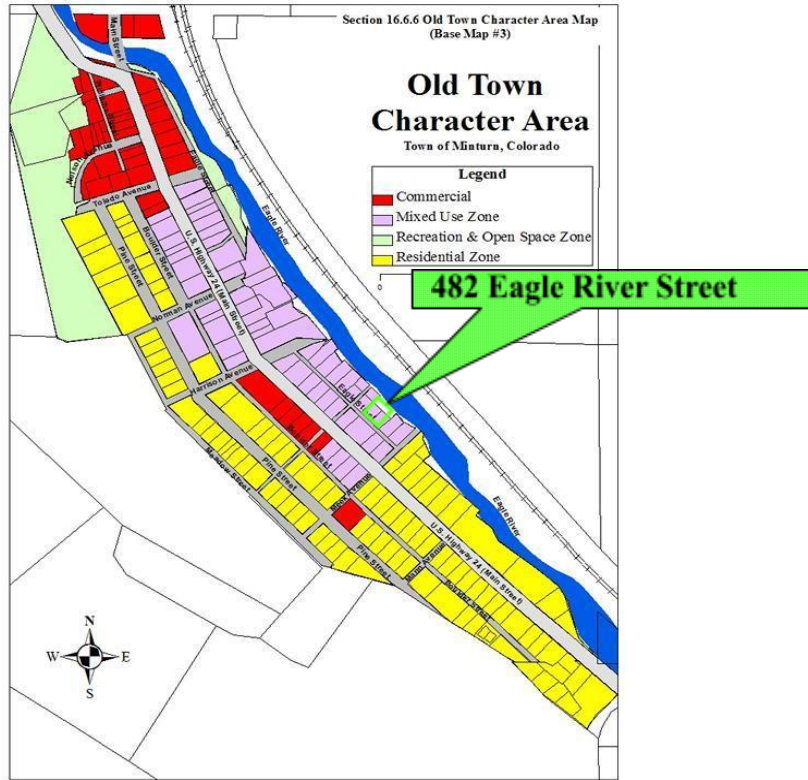
The subject property is located within the “Old Town Character Area” Mixed Use Zone District, described as follows:

(a) *This area allows a compatible mix of **residential uses**, low-impact commercial uses and institutional uses that serve residents and visitors. The Old Town Mixed-Use Zone can accommodate various types of development if found not to significantly impact nearby properties.*

(b) *The Old Town Mixed-Use Zone is intended to **provide sites for combined residential and low-impact commercial and service uses which maintain a predominantly residential appearance. This area can accommodate reasonable growth where land and services are available and when services and amenities are needed for residents and visitors.***

- Town of Minturn Town Code Section 16-6-40

Figure 1: Old Town Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - *General lot requirements and dimensional standards* and 16-16-20 – *Parking Required for Residential and Lodging Uses*.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	5,000 sq. ft.	5,270 sq. ft. (.155 ac.)
Maximum Building Height:	28 feet	26 feet
Minimum Front Setback:	10 feet	10 feet
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	10+ feet
Maximum Lot Coverage:	45% (2,371.5 sq. ft.)	1,860 sq. ft. (35.29%) Proposed
Maximum Impervious Coverage:	55% (2,898.5 sq. ft.)	2,543 sq. ft. (48.25%) Proposed
Minimum Snow Storage Area:	5% of Driveway (351 sq. ft. x .05 = 17.55 sq. ft.)	97 sq. ft.
Parking:	3 spaces	3 spaces

Note: the above calculations are based on the following:

Lot 14 = .155 acres x 43,560 sq. ft./acre = 6,751.8 sq. ft.
(Note: a portion of Lot 14 is encumbered by the Eagle River and thus is not counted in the calculation for lot area)
Effective Lot Area is 5,270 sq. ft.

351 sq. ft. parking area x .05% = 17.55 sq. ft. (Required Snow Storage)

IV. **Applicable Standards and Design Guideline Criteria:**

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The design guidelines encourage designs that integrate or account for snow storage and snow shed from roof structures, along with ensuring that the orientation of buildings – to street frontages and neighboring properties – is considered.

The proposed design maintains the structure and roof forms within required setbacks, with only minor encroachments of roof overhangs of less than 18” into the northern side yard setback. Generally, setbacks are maintained thus allowing for full use of side yard areas for snow shed and drainage. Likewise, the site plan and final grading and drainage details generally demonstrate that proper (positive) grading and drainage will be directed in swales away from the structure; that drainage is handled on the subject property.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complimentary to adjacent single-family residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complimentary to the surrounding built and natural environments.

V. Issues and Areas of Non-Conformance:

Issues or Required Plan Revisions

The following issues or areas of refinement have been identified by staff that must be addressed prior to any building permit submittal:

Encroachments into Easements

The back deck is cantilevered over and into an existing sewer easement. The applicant has indicated that this has been approved by Eagle River Water and Sanitation District.

Staff referred this final plan to the Town Engineer (Intermountain Engineering) and the Town Public Works Department for comments. At this time, staff has not received comments back.

Exterior Light Fixtures

The plans should be updated to show exterior light locations. Light fixtures and lighting solutions are to be dark sky compliant.

VI. Staff Recommendation and Suggested Conditions:

Staff suggests that the Final Plans for 482 Eagle River Street generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the Final Plans, with the following recommended condition(s):

1. The Applicant shall revise the site and/or floor plans to show all proposed exterior light locations and provide final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit applications to ensure compliance with the Town’s lighting standards as well as consistency with fixtures found on the existing residential structure on the subject property.
2. The Applicant shall provide the Town with an encroachment agreement between ERWSD and the owner of the property.
3. The Applicant shall address Intermountain Engineering’s concerns, if any, prior to, or concurrent with, the Building Permit application process.



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Hutton Residence

Project Location

Street Address: 482 Eagle River Street, Minturn, CO 81645

Zoning: **Old Town, Mixed Use**

Parcel Number(s): **2103-263-02-025**

Application Request:

A new single family residence consisting of a 1-car garage, 4 bedrooms, 4 1/2 baths, a great room with the kitchen/living/dining areas, a laundry/mudroom, a finished basement under part of the structure and a crawl space under part of the structure.

Applicant:

Name: Michael Pukas, mpp design shop, inc.

Mailing Address: PO Box 288, Gypsum, CO 81637

Phone: (970) 390-4931

Email: michael@mppdesignshop.com

Property Owner:

Name: **Emily & Steve Hutton**

Mailing Address: 2471 Mt Moriah, Memphis, TN 38115

Phone: (901) 490-8476

Email: shutton@huttonis.com

Required Information:

Lot Size: 0.155 acres 6,751 sf	Type of Residence (Single Family, ADU, Duplex) Single Family	# of Bedrooms 4	# On-site Parking Spaces 3
# of Stories: 2	Snow storage sq ft: 97	Building Footprint sq ft: 1,860	Total sq ft Impervious Surface: 2,543

Signature:

Fee Paid: _____ **Date Received:** _____ **Planner:** _____

PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com

July 01, 2021

Town of Minturn
Attention: Planning Department
302 Pine Street
P.O. Box 309
Minturn, CO 81645
Tel: (970) 827-5645
Fax: (970) 827-5545
e-mail: planner@minturn.org

Regarding: Hutton Residence

Location: 482 Eagle River Street
Lot 14, Block 2, Booco's 2nd Addition to Minturn
Parcel Number: 2103-263-02-025
Minturn, CO 81645

This application is for Design Review approval of a single family residence located at the above mentioned property. The proposed structure is to be completed in one phase, rather than two as previously proposed. The structure will consist of 4 bedrooms, 4 full baths and one half bath, a one-car garage, a great room with the Kitchen, Living, and Dining areas, and a finished basement. The master bedrooms suite will be located on the upper level, above the garage. The basement will be utilized as a family room/media room. There will not be a door from the main level to the basement.

The structure in its complete phase complies with the Town's Planning code for building lot coverage and impervious surface coverage. The maximum building height at the east elevation is 27'-6". There are 3 parking spaces provided for the four bedrooms, one in the garage and two on-grade. The driveway will be heated. Additional snow storage has been provided that exceeds the amount required by the Planning Code.

An additional change to the approved design has also been made. During excavation of the foundation, ground water was encountered at the street. It is undetermined where the ground water is originating from. We have decided to include a foundation drainage system for the structure to mitigate any ground water that may be encountered in the future, either from rising river levels or other sources.

To accommodate the foundation drainage system, the building had to be raised in elevation. The day light exit point of the drainage system has to be above the 100 year floor plain elevation, and there has to be a slope away from the structure towards the exit point. The following measures were taken in the building design:

- The entire building was raised 1'-0"
- The roof pitch was lowered from a 10/12 pitch to an 8/12 pitch
- Due to the increased distance of the ground floor level from grade, additional steps were added at the front porch and back deck

The design concept for the structure is based on the concept of a farm-house tyle building that has been added onto with additions that reflect an industrial mining aesthetic. The front mass of the building will be a 2-story volume with a gable roof with asphalt shingles, painted cement-board panel

LETTER

mpp design shop

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board-and-batten siding, rusted corrugated metal wainscot base siding, rusted corrugated metal roofing at the front entry, and aluminum clad windows. The great room mass will step down 2'-6" feet from the front mass as it corresponds to the slope of the site. The great room and garage masses will have a low sloping shed roof with asphalt shingles, corrugated metal siding at the lower portion of the walls, composite siding at the upper portion of the walls, and aluminum clad windows and doors. The deck will consist of either natural wood or composite decking and the railing will be a wood structure with 4"x4" black metal wire mesh.

The sewer easement that was discussed at the previous Design Review Hearing has been revised by ERWSD and is in the process of being recorded with the County.

Thank you for your consideration.

SIGNED: Michael Pukas

GENERAL NOTES

- 1. ALL WORK SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL CODES, LAWS, PERMITS AND ORDINANCES...

ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, Abbreviation. Includes AND, AT, ANCHOR BOLT, etc.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, Abbreviation. Includes FOUNDATION, FACE OF, FIRE PROTECTION, etc.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, Abbreviation. Includes POLISHED, PAIR, PREFABRICATED, etc.

PROJECT DIRECTORY

Project Address: Lot 14, Block 2, Booco's 2nd Addition to Minturn...

Owner: Steve & Emily Hutton, 2411 Mt. Moriah Memphis, TN 38115...

Architect: mpp design shop, inc. Michael Fukas, PO Box 288 Gypsium, CO 81637...

General Contractor: K2 Mountain Consultants, LLC (770) 343-2766...

Structural Engineer: Ewing Engineering, Inc. Albert Ewing, PO Box 2826 Vail CO 81659...

Land Surveyor: Archibele Land Surveying, Ltd. Ted Archibele, PO Box 3085 Eagle CO 81631...

SHEET INDEX

Table listing sheet numbers (01-57) and their corresponding descriptions such as COVER, AERIAL VIEWS, GROUND VIEWS, etc.

GENERAL SITE NOTES

- 1. THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL IN CONFORMANCE WITH TOWN/COUNTY GUIDELINES.

ENERGY CODE NOTES

GO TO COMPLY WITH ALL REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE, THE 2015 INTERNATIONAL RESIDENTIAL CODE, AND THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE...

Table with 2 columns: Energy Code Item (CLIMATE ZONE, FENESTRATION U-FACTOR, etc.) and Value (1, 0.32, 41, etc.).

VICINITY MAP

Scale: 0 150 300ft. Coordinates: 39.586 -106.427 Degrees.



ENERGY CODE COMPLIANCE NOTES

- 1. IRC 402.4.1.1: ALL AIR BARRIER AND THERMAL BARRIERS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

mpp design shop, inc. PO Box 288 Gypsium, CO 81637 (970) 390-4931 michael@mppdesignshop.com

Hutton Residence

Lot 14, Block 2, Booco's 2nd Addition to Minturn Parcel Number: 2103-263-02-025 482 Eagle River Street Minturn, CO 81645

Table with 3 columns: #, Description, Date. Lists project milestones like DRB Submission, Building Permit, etc.

Table with 2 columns: Field, Value. Lists Project Number (1908), Designed by (mpp), Drawn by (mpp), Checked by (mpp).

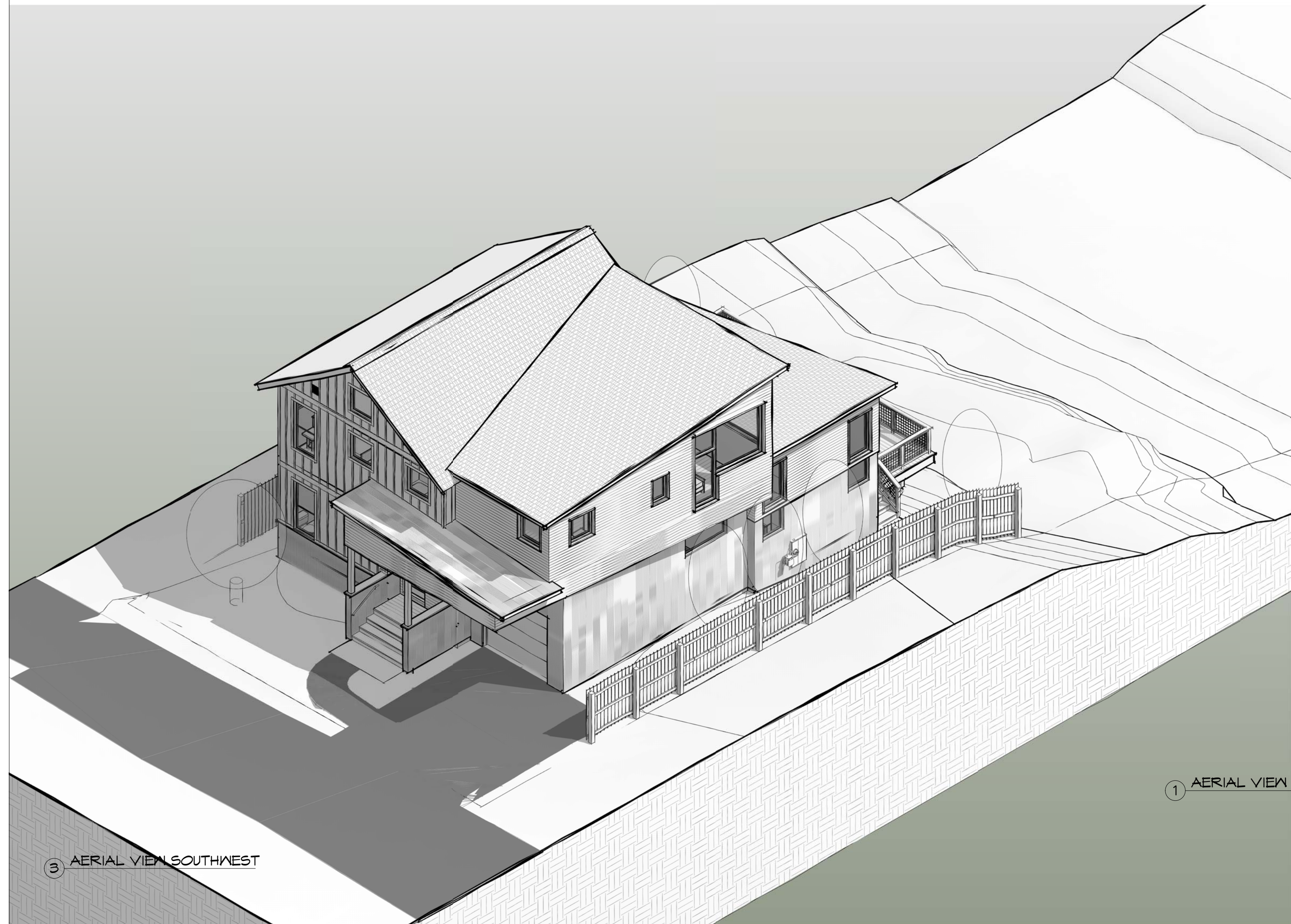
COVER



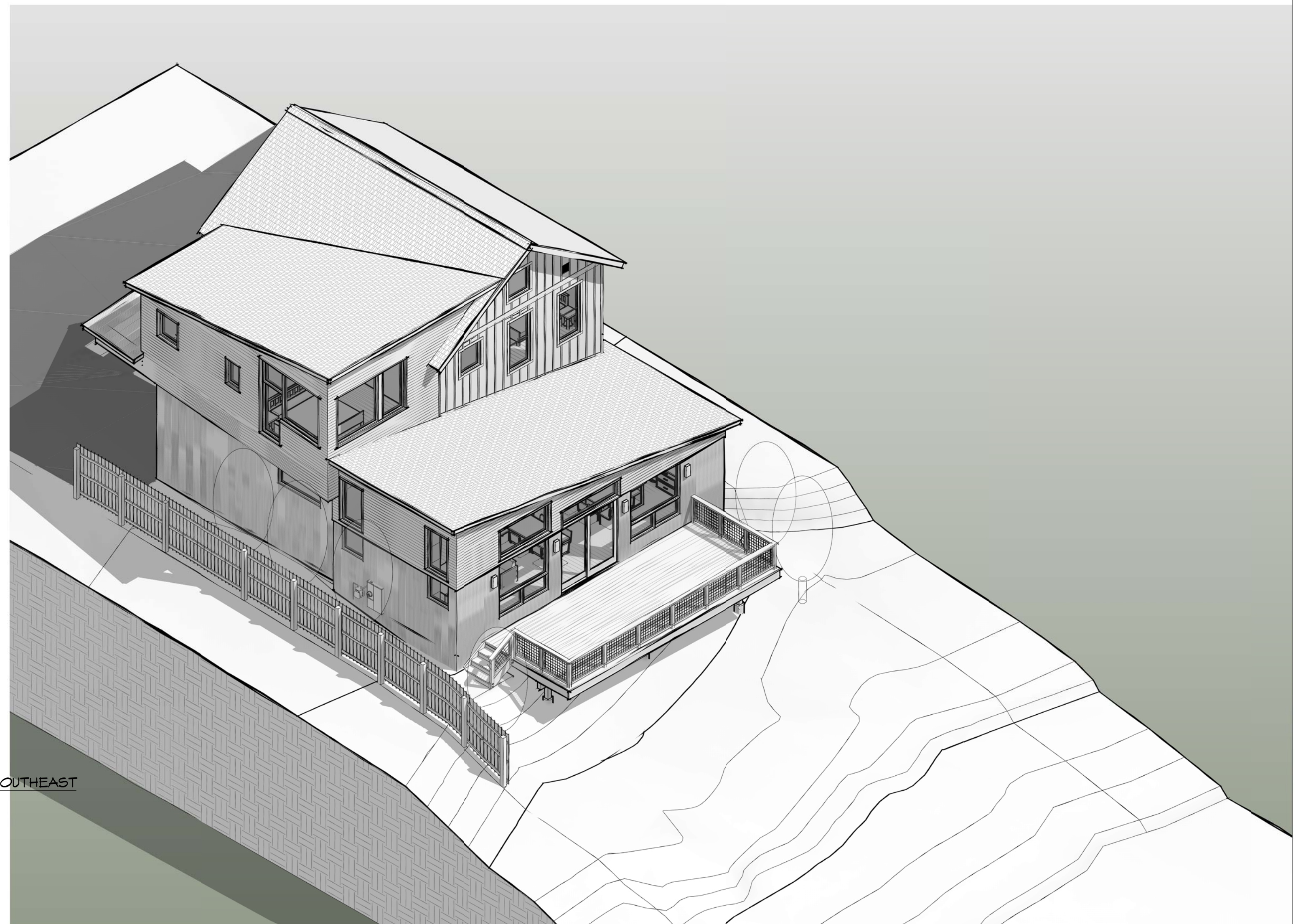
4 AERIAL VIEW NORTHWEST



2 AERIAL VIEW NORTHEAST



3 AERIAL VIEW SOUTHWEST



1 AERIAL VIEW SOUTHEAST

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#	Description	Date
1	DRB Submission	03/01/21
2	Building Permit	04/15/21
3	Design Revisions	05/06/21
4	Bldg Permit Revs	05/20/21
5	DRB Submission	07/01/21

Project Number: 1908
Designed by: mpp
Drawn by: mpp
Checked by: mpp

AERIAL VIEWS

TOPOGRAPHIC SURVEY

LOT 14, BLOCK 2, BOOCO'S 2ND ADDITION TO MINTURN

TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO

LEGAL DESCRIPTION

PARCEL A:
 LOT 14, BLOCK 2, QUARTER SW SECTION 26 TOWNSHIP 5 RANGE 81 PARCEL IN
 SUBDIVISION BOOCO 2ND, COUNTY OF EAGLE, STATE OF COLORADO.

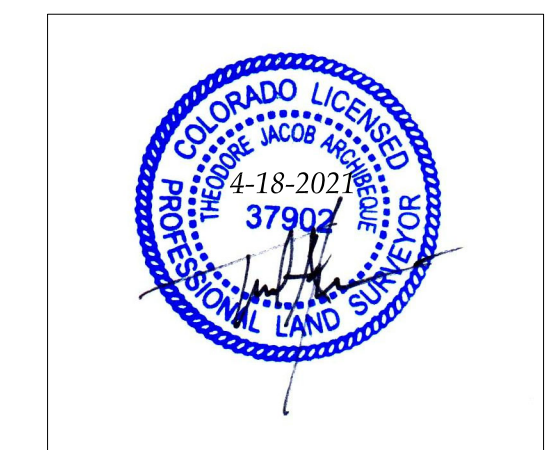
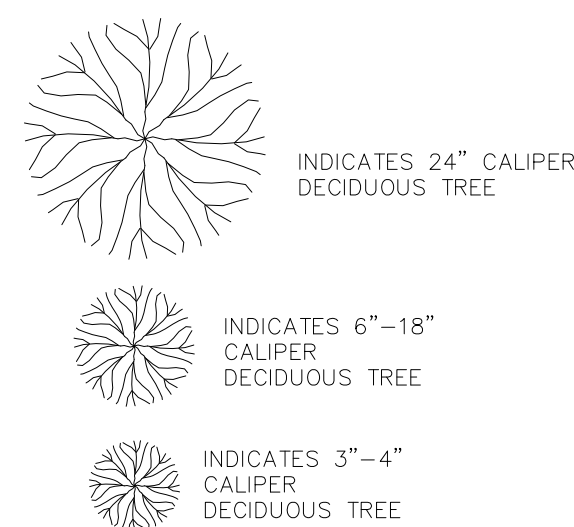
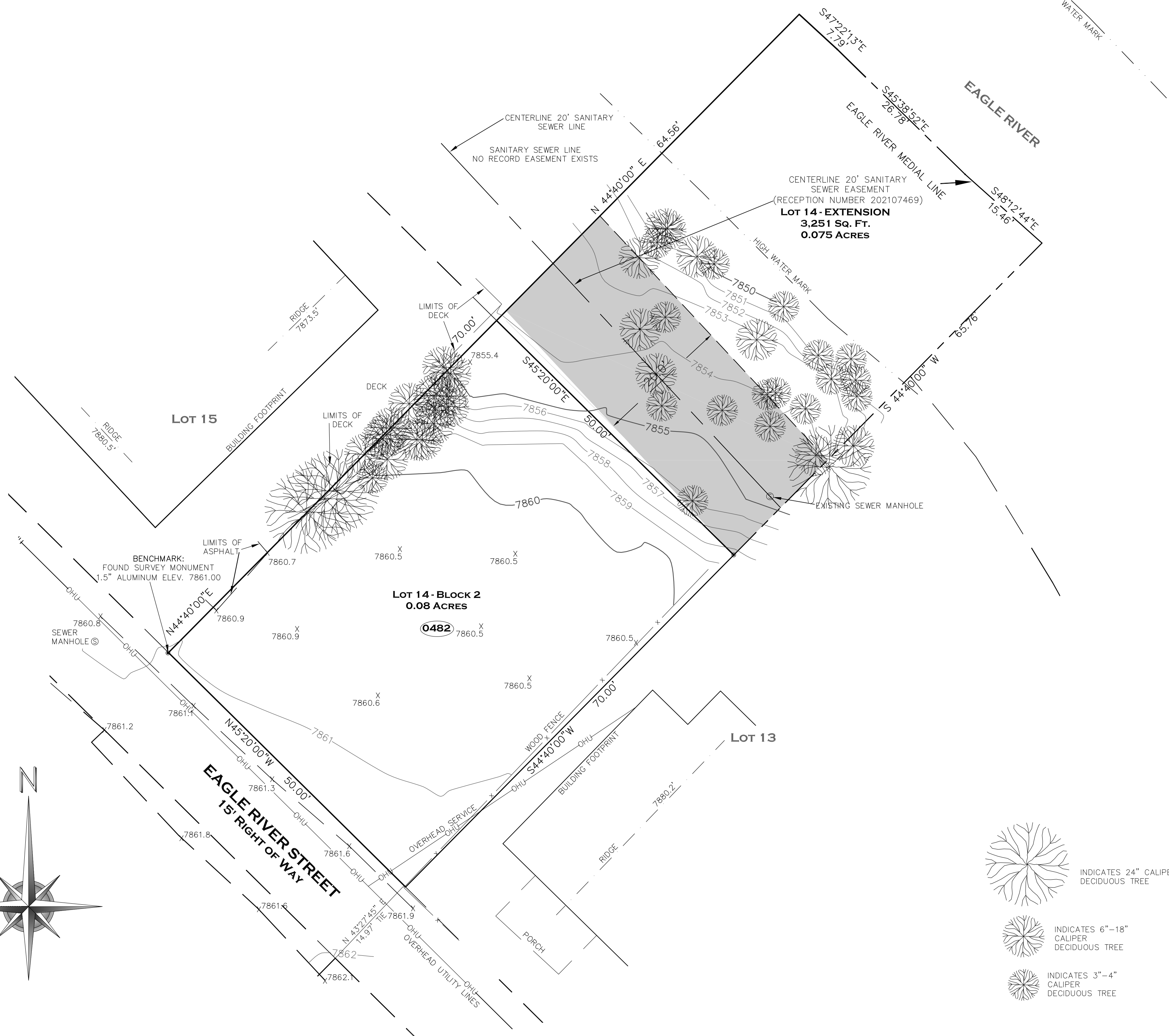
PARCEL B:
 A PARCEL OF LAND SITUATE IN SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, OF THE
 SIXTH PRINCIPLE MERIDIAN, TOWN OF MINTURN, BEING AN EXTENSION OF LOT 14,
 BLOCK 2, BOOCO'S 2ND ADDITION TO MINTURN, ACCORDING TO THE PLAT THEREOF
 AS RECORDED IN THE OFFICE OF THE EAGLE COUNTY CLERK AND RECORDER, COUNTY
 OF EAGLE, STATE OF COLORADO, AND LYING SOUTH AND WEST OF THE MEDIAL LINE OF
 THE EAGLE RIVER, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AT NORTHERLY CORNER OF SAID LOT 14; THENCE N. 44°40'00"E, 64.56 FEET
 TO THE MEDIAL LINE OF SAID EAGLE RIVER; THENCE UPON SAID MEDIAL LINE THE
 FOLLOWING 3 COURSES: 1) S. 47°22'13"E, 7.79 FEET; THENCE S. 45°38'52"E, 26.78 FEET; THENCE
 S. 48°12'44"E, 15.46 FEET; THENCE DEPARTING SAID MEDIAL LINE S. 44°40'00"W, 65.76 FEET
 TO THE EASTERLY CORNER OF SAID LOT 14; THENCE UPON THE NORTHEASTERLY LINE
 OF SAID LOT 14 N. 45°20'00"W, 50.00 FEET TO THE POINT OF BEGINNING. COUNTY OF
 EAGLE, STATE OF COLORADO

NOTES:

- 1) Survey Date: April 2020
- 2) Location of Improvements, Lot lines, and Easements are based upon the Plat of Booco's Addition to the Town of Minturn & Title Commitment No V50061309 provided by Land Title, and Survey Monuments found, as shown hereon.
- 3) Street Address: 0482 EAGLE RIVER STREET
- 4) Elevation Datum: 7861.00' on the southwest property corner, this NAVD 88 Elevation was interpolated from public data sets.
- 5) Contour Interval: 1 foot.
- 6) Utilities are shown approximately and should be field verified prior to excavation.
- 7) Surveyor does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 8) This Topographic Survey was prepared for the exclusive use of Steve Hutton, and is valid only if print has original seal and signature of surveyor.
- 9) Lineal Units of the U.S. Survey Foot were used herein.

I, Theodore J. Archibeque, a Professional Land Surveyor in the State of Colorado, hereby certify that this Topographic Map was based upon my knowledge, information and belief, and was prepared by me or under my responsible charge, and that it was performed in accordance with standard care and practice used in the area at the time of the survey. This certification is not a guaranty or warranty, either expressed or implied and the Notes hereon are a part of this certification.



Theodore J. Archibeque PLS 37902
 Colorado Professional Land Surveyor

Archibeque Land Consulting, Ltd
 ~ Professional Land Surveying & Mapping ~
 105 Capitol Street, Suite 5 - P.O. Box 3893
 Eagle, Colorado 81631
 970.328.6020 Office 970.328.6021 Fax

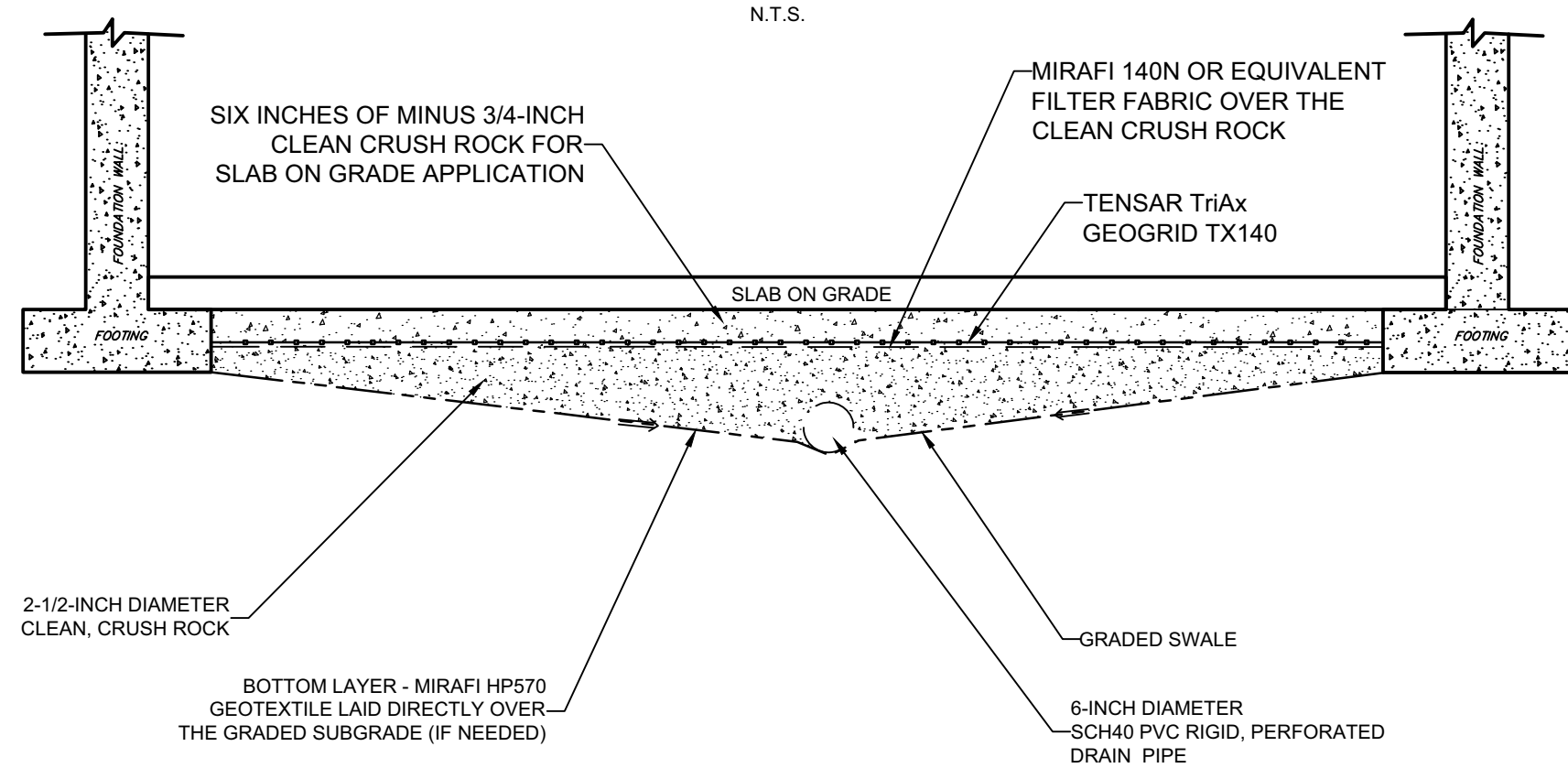
TOPOGRAPHIC SURVEY			
LOT 14, BLOCK 2, BOOCO'S 2ND ADDITION TO MINTURN			
TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO			
DRAWN BY:	KMD	DRAWING NAME:	05152_TOP 482 EAGLE RIVER ST.dwg
SHEET 1 OF 1	DATE: 4-18-2021	CHECKED BY:	TJA

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon. Additionally, this document is prepared for the sole purpose of use by the parties stated herein. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Archibeque Land Consulting, Ltd., its owner(s) and employee(s) will not be liable for more than the cost of this document, and then only to the parties specifically shown hereon. Acceptance and/or use of this document for any purpose constitutes acknowledgement and agreement to all terms stated herein.

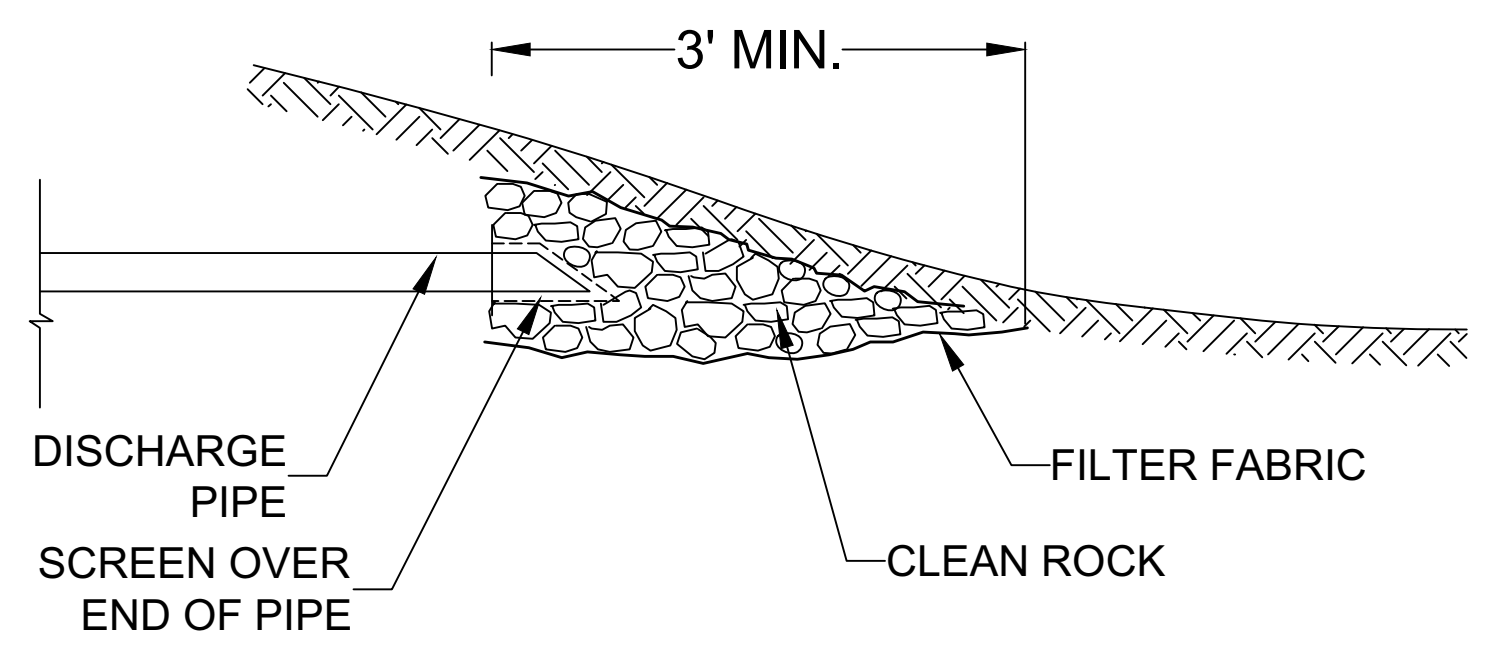
UNDERDRAIN NOTE:

- ALL EXTERIOR (PERIMETER) DRAINS WILL START A MINIMUM OF ONE FOOT AWAY (2 FEET IF POSSIBLE) AND ONE FOOT BELOW THE BOTTOM OF FOOTING ELEVATION
- ALL INTERIOR DRAINS WILL START A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF SLAB ELEVATION AND TWO FEET AWAY FROM THE FOOTINGS.

UNDERDRAIN DETAIL
N.T.S.



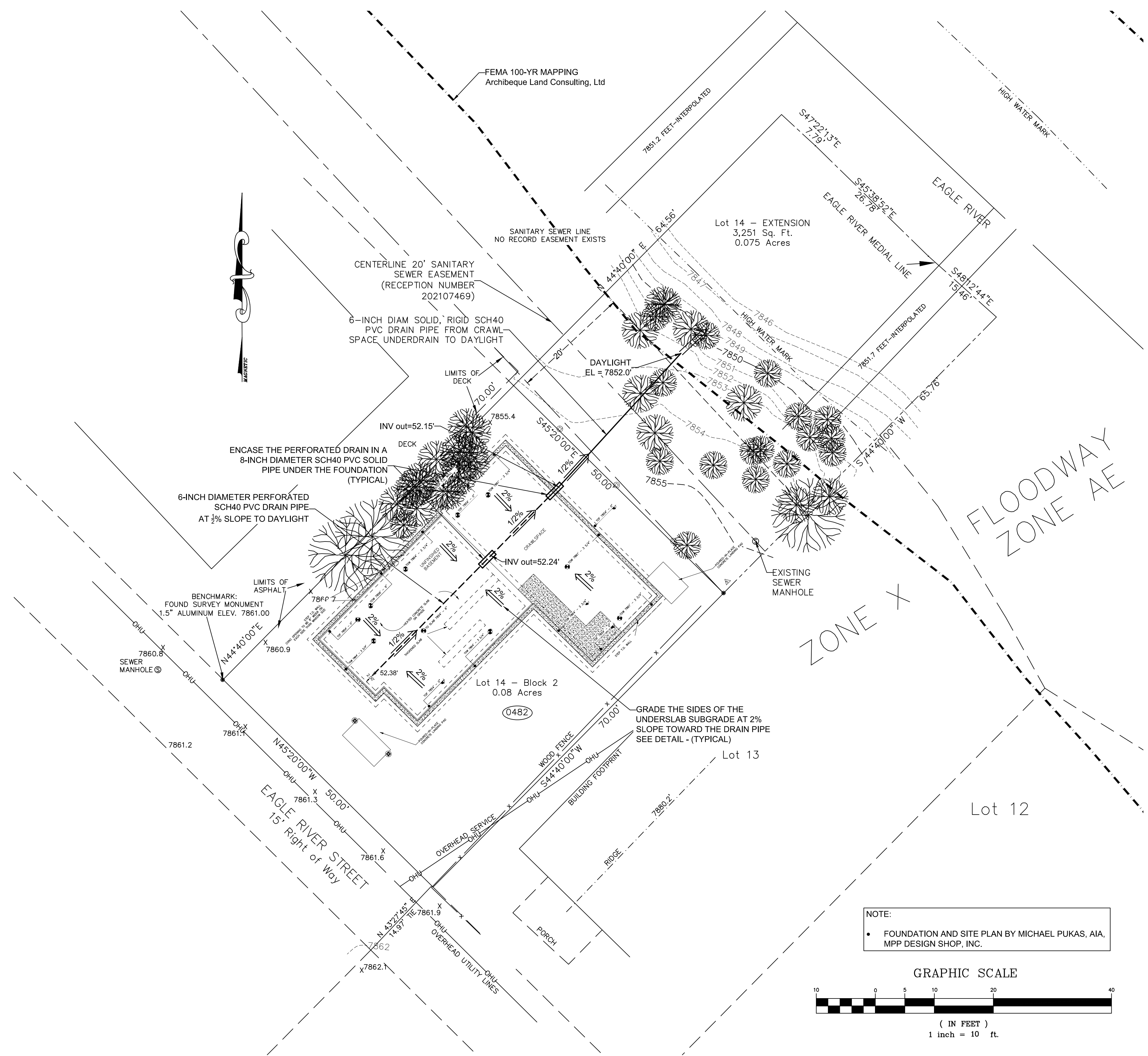
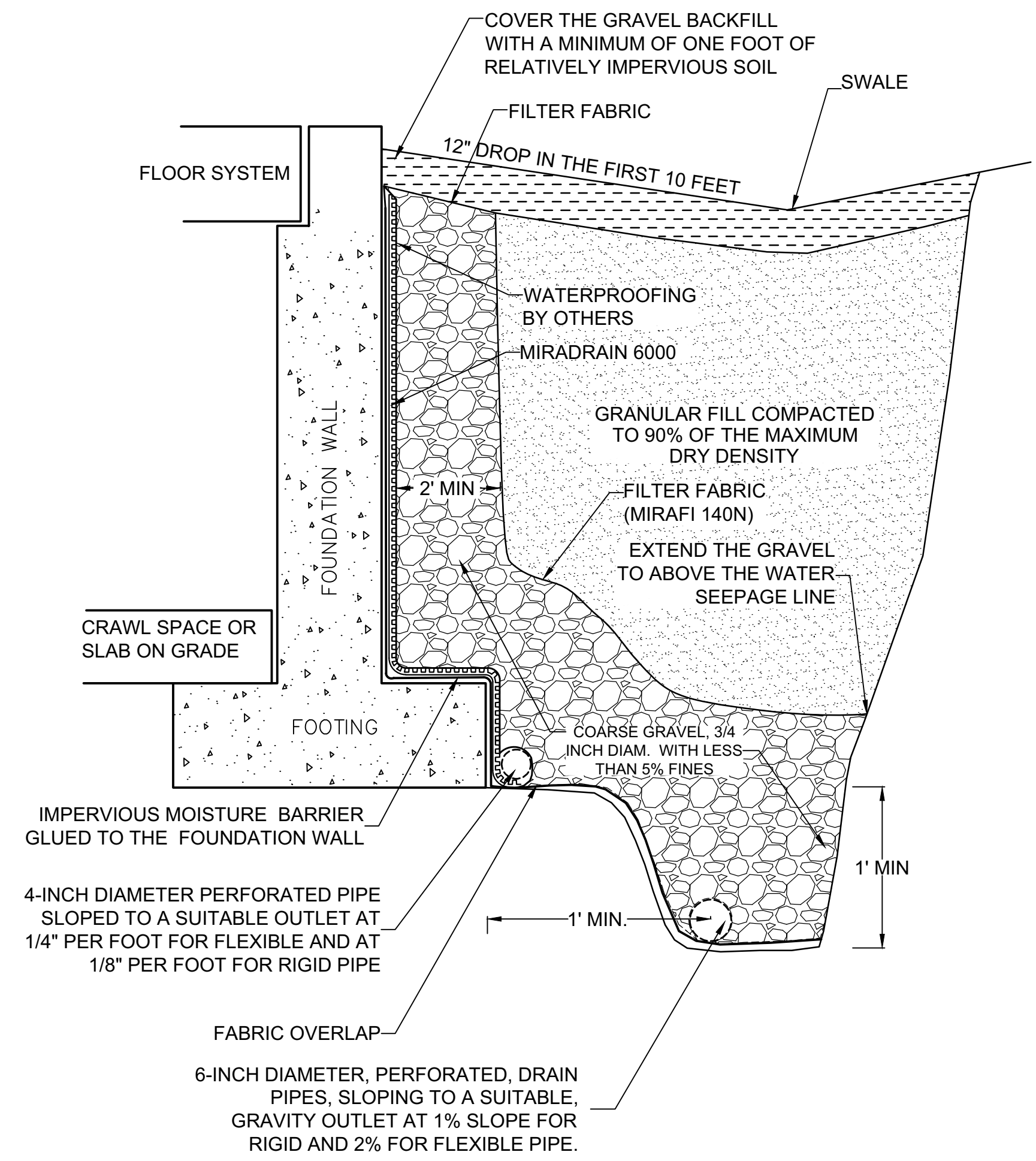
- NOTE:**
- GRADE THE SUBGRADE, INCLUDING THE SWALE FOR THE DRAIN PIPE.
 - CONSTRUCT THE MIRAFIX HP570 GEOTEXTILE OVER THE GRADED SUBGRADE (IF NEEDED for very soft or yielding subgrade soils)
 - CONSTRUCT THE UNDERDRAIN PIPE
 - BACKFILL WITH A MINIMUM OF 12-INCHES OF MINUS 2-1/2-INCH CLEAN CRUSH ROCK.
 - COVER THE CLEAN CRUSH ROCK LAYER WITH MIRAFIX 140N FILTER FABRIC OR EQUIVALENT
 - CONSTRUCT A LAYER OF TENSAR Triax GEOGRID OVER THE FILTER FABRIC
 - BACKFILL WITH 6-INCHES OF MINUS 3/4-INCH CLEAN CRUSH ROCK FOR SLAB ON GRADE APPLICATION.
 - DO NOT VIBRATE THE FILL, THIS WILL BRING OUT THE MOISTURE.
 - ANY SUBSTITUTIONS MUST BE VERIFIED WITH THE ENGINEER.
- THE GEOGRID AND GEOTEXTILE PLACEMENT WILL BE ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.



DAYLIGHT DETAIL
N.T.S.

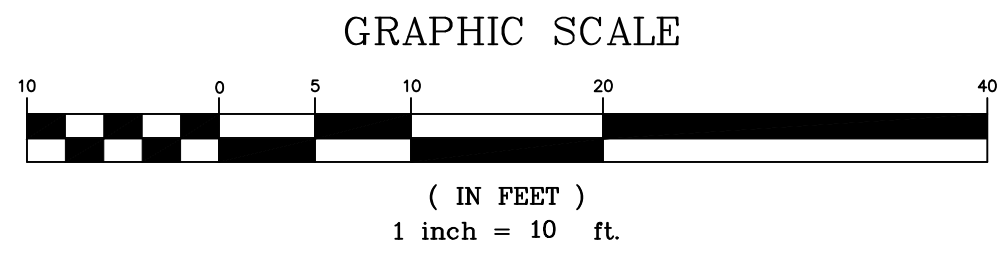
- UNDERDRAIN NOTES:**
- TEMPORARY GROUND WATER DEWATERING MIGHT BE NECESSARY DURING THE CONSTRUCTION OF THE UNDERDRAIN SYSTEM.
 - FOR THE TEMPORARY GROUND WATER DEWATERING, EXCAVATE HOLES OR TRENCHES AS NECESSARY TO CREATE LOW SPOTS. LINE THE HOLES OR TRENCHES WITH FILTER FABRIC AND PLACE CLEAN CRUSH ROCK. PLACE A SUMP PUMP IN THE LOW POINT AREA.
 - ONCE THE EXCAVATION IS RELATIVELY DRY, CONSTRUCT SWALES FOR THE PLACEMENT OF THE COLLECTOR DRAINS IN EACH OF THE SEPARATE FOUNDATION AREAS. LINE THE ENTIRE AREA WITH FILTER FABRIC. CONSTRUCT THE 6-INCH DIAMETER, PERFORATED COLLECTOR DRAINS.
 - BACKFILL THE ENTIRE AREA WITH A MINIMUM OF 12 INCHES OF MINUS 2-1/2-INCH CLEAN CRUSH ROCK. SOME AREAS ON THE DOWNSLOPE OF THE DRAINS WILL REQUIRE MORE GRAVEL.
 - COVER THE GRAVEL WITH FILTER FABRIC.
 - WHERE THE COLLECTOR DRAINS CROSS UNDER FOOTINGS, CHANGE TO SOLID, SCH40 RIGID PIPE.

PERIMETER DRAIN WITH AN UNDERDRAIN



NOTE:

- FOUNDATION AND SITE PLAN BY MICHAEL PUKAS, AIA, MPP DESIGN SHOP, INC.



NO.	DATE	DESCRIPTION	BY

UNDERDRAIN DESIGN

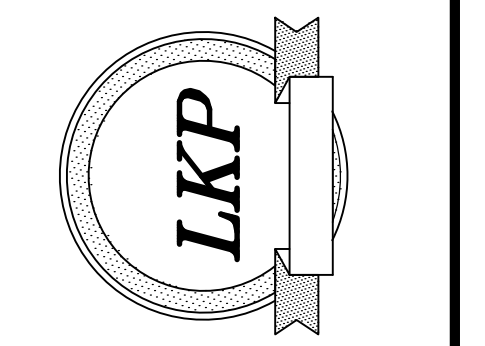
LOT 14, BLOCK 2, BOOCO'S 2nd ADDITION
482 EAGLE RIVER STREET
TOWN OF MINTURN
EAGLE COUNTY, COLORADO

HUTTON RESIDENCE

CIVIL/GEOTECHNICAL

Engineering, Inc.

P.O. Box 724 Eagle, CO 81631
Tel (970) 390-0307 www.LKPEngineering.com



DRAWN BY: L.P.

CHECKED BY: L.P.

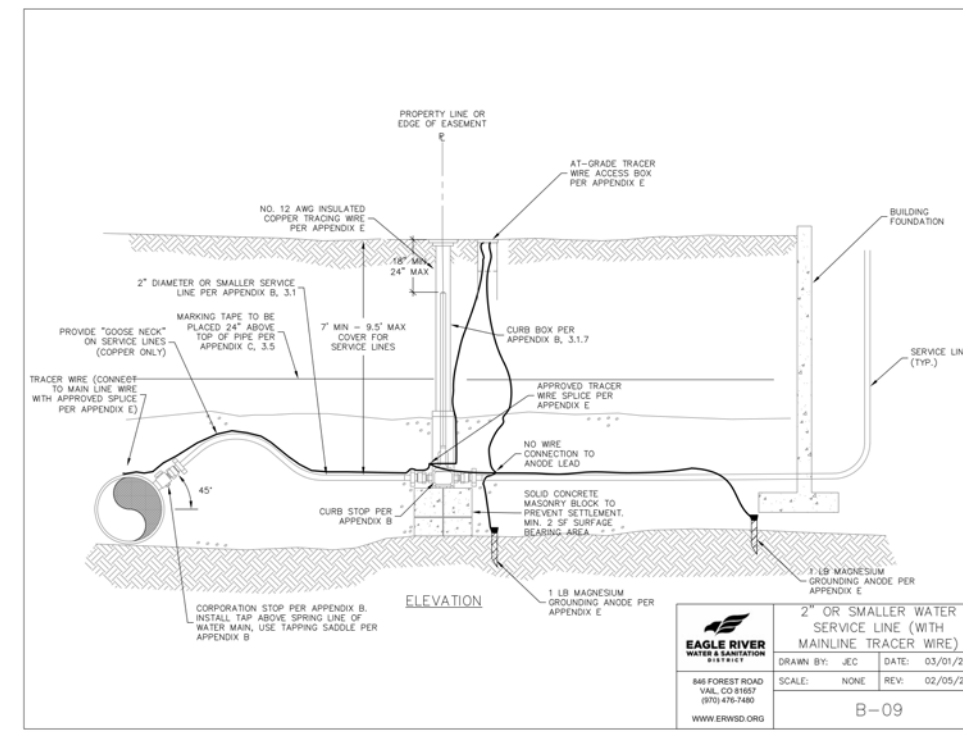
PROJECT NO.: 21-3495

SEE REVISIONS BOX

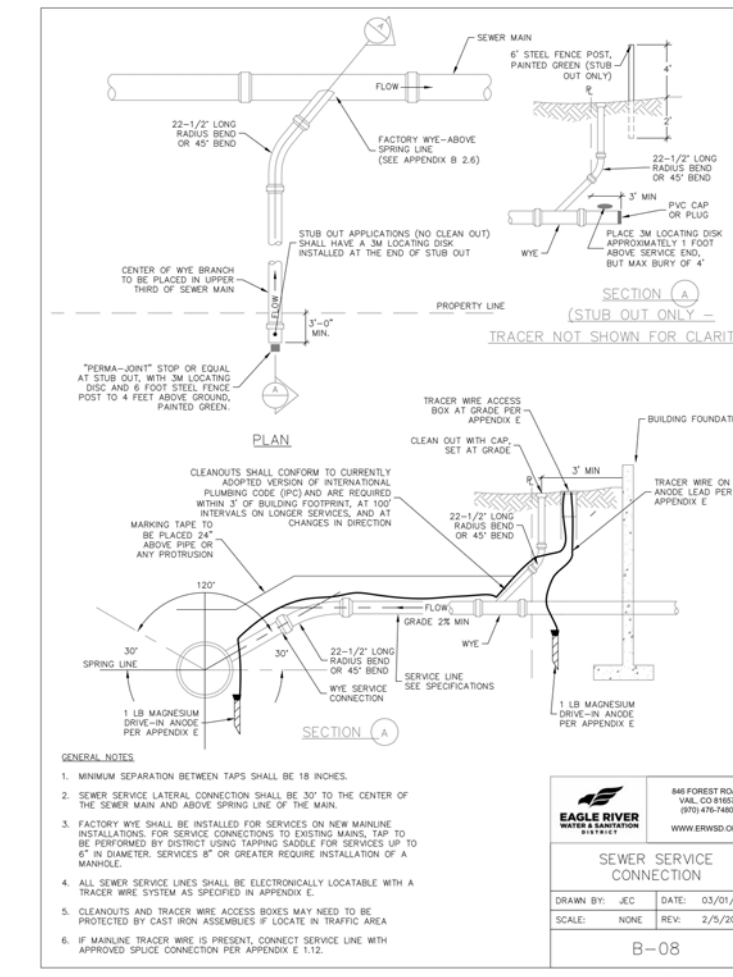
DATE: JUNE 30, 2021

DRAWING NO.: 21-3495UNDERDRAIN.DWG

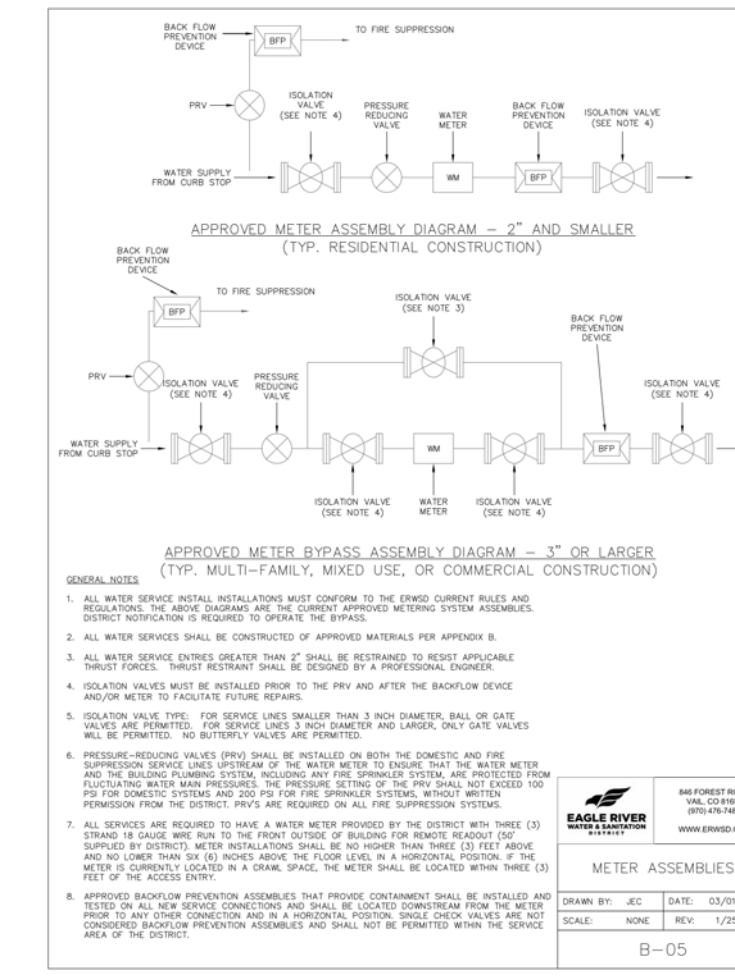
SHEET C-1



5 ERWSD DETAIL B-09
1/4" = 1'-0"



4 ERWSD DETAIL B-08
1/4" = 1'-0"



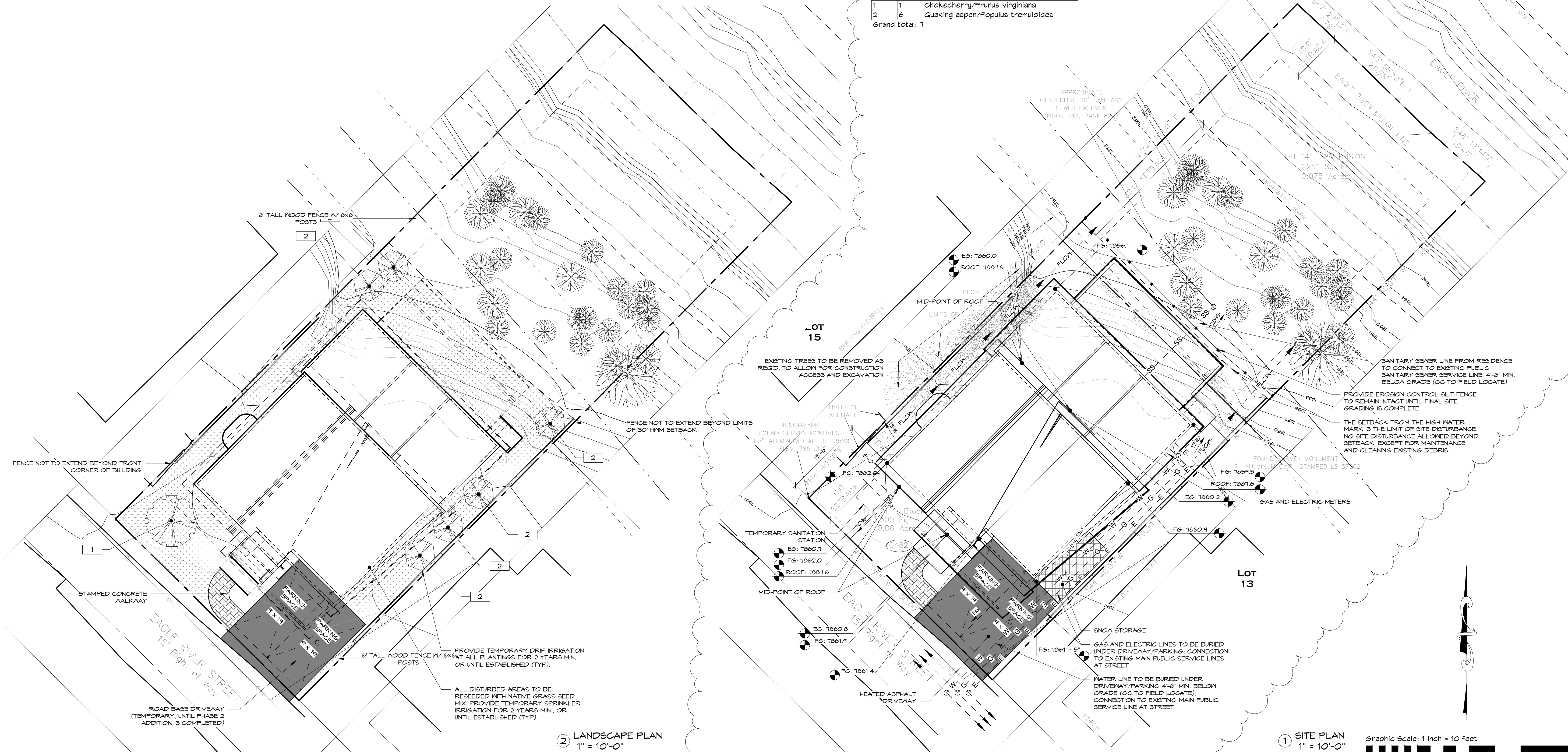
3 ERWSD DETAIL B-05
1/4" = 1'-0"

- CONSTRUCTION MANAGEMENT NOTES**
- ALL BUILDING MATERIALS TO BE STORED ON SITE IN PARKING AND GRADED AREAS OUTSIDE OF 30' HWM SETBACK.
 - ALL SOIL REMOVED FOR EXCAVATION TO BE REMOVED FROM SITE AS REQ'D. NO EXCESS SOILS TO BE STORED WITHIN 30' HWM SETBACK.
 - BACK-FILL SOILS TO BE PROCURED OFF-SITE AS REQ'D AT TIME OF BACK-FILLING AND ROUGH GRADING.
 - ALL CONTRACTOR PARKING TO BE ON-SITE IN PARKING AREA, AS MUCH AS POSSIBLE, OR IN-TOWN ON-STREET PARKING ACCORDING TO MUNICIPAL PARKING REGULATIONS.

- SITE UTILITY GENERAL NOTES**
- WATER LINE (DESIGN BUILD BY CONTRACTOR ASSIGNED BY GC):
 - A. INSTALLED PER ERWSD RULES AND REGULATIONS APPENDIX B 4 C
 - B. NEW WATER LINE TO BE 3/4" LINE HDPE TO COMPLY WITH ERWSD APPENDIX C, SECTION III - MATERIAL SPECIFICATIONS, 3.2.3 HDPE PIPE
 - C. 4'-6" MIN BELOW GRADE IV TRACING WIRE AND MARKING TAPE
 - D. GC TO FIELD LOCATE
 - SEWER LINE (DESIGN BUILD BY CONTRACTOR ASSIGNED BY GC):
 - A. INSTALLED PER ERWSD RULES AND REGULATIONS APPENDIX B 4 D
 - B. NEW SEWER LINE TO BE 4" SDR 35 SEWER PIPE
 - C. 4'-6" MIN BELOW GRADE IV TRACING WIRE AND MARKING TAPE
 - D. GC TO FIELD LOCATE
 - GAS LINE (DESIGN BUILD BY CONTRACTOR ASSIGNED BY GC):
 - A. CONNECT TO PUBLIC SERVICE AT STREET
 - B. GC TO FIELD LOCATE
 - ELECTRIC LINE (DESIGN BUILD BY CONTRACTOR ASSIGNED BY GC):
 - A. EXISTING OVERHEAD LINES TO BE REMOVED
 - B. NEW ELECTRIC LINE TO BE BURED
 - C. CONNECT TO EXISTING PUBLIC SERVICE AT EXISTING UTILITY POLE
 - D. GC TO FIELD LOCATE

Planting Schedule

Type Mark	Count	Type
1	1	Chokecherry/Prunus virginiana
2	6	Quaking aspen/Populus tremuloides
Grand total:		7



2 LANDSCAPE PLAN
1" = 10'-0"

1 SITE PLAN
1" = 10'-0"

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#	Description	Date
1	DRB Submission	03/01/21
2	Building Permit	04/15/21
3	Design Revisions	05/06/21
4	Blgd Permit Revs	05/20/21
5	DRB Submission	07/01/21

Project Number:	1908
Designed by:	mpp
Drawn by:	mpp
Checked by:	mpp

SITE & LANDSCAPE PLANS

AS1

EFFECTIVE LOT AREA & ALLOWABLE COVERAGES

EFFECTIVE LOT AREA	BUILDING LOT COVERAGE - 40%	IMPERVIOUS SURFACE AREA - 50%
5,210 SF	2,108 SF	2,635 SF

BUILDING LOT COVERAGE

BUILDING FOOTPRINT COVERAGE	1,729 SF
SHED ROOF COVERAGE	131 SF
	1,860 SF

IMPERVIOUS SURFACE AREA

BUILDING FOOTPRINT COVERAGE	1,729 SF
DECK COVERAGE	379 SF
SHED ROOF COVERAGE	131 SF
DRIVEWAY COVERAGE	239 SF
WALKWAY COVERAGE	66 SF
	2,543 SF

SNOW STORAGE

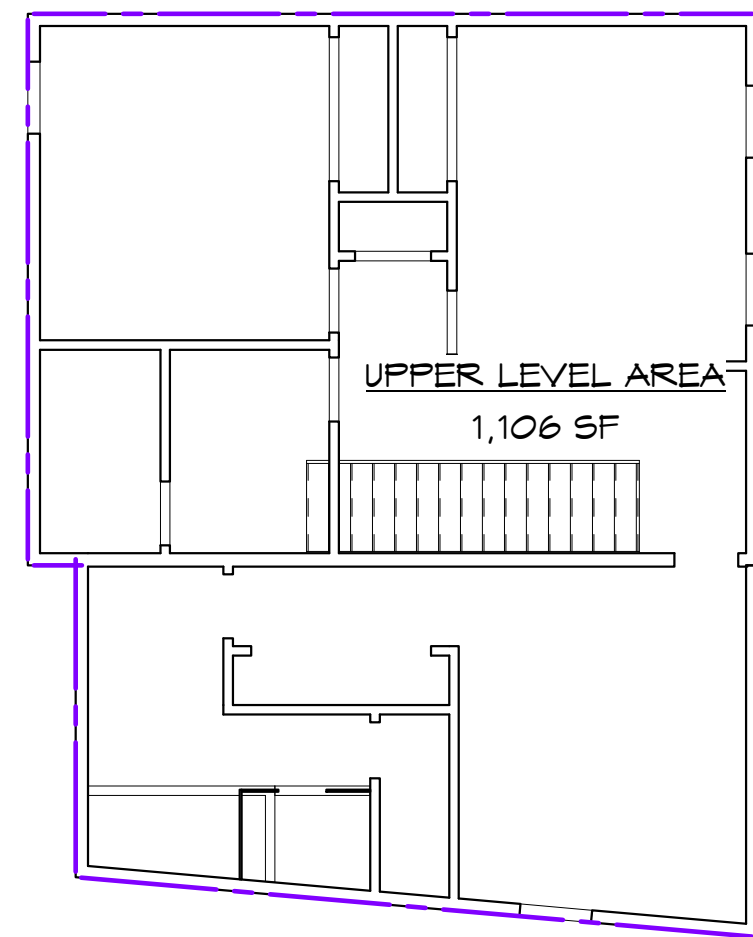
SNOW STORAGE	97 SF
	97 SF

LIVEABLE FLOOR AREA

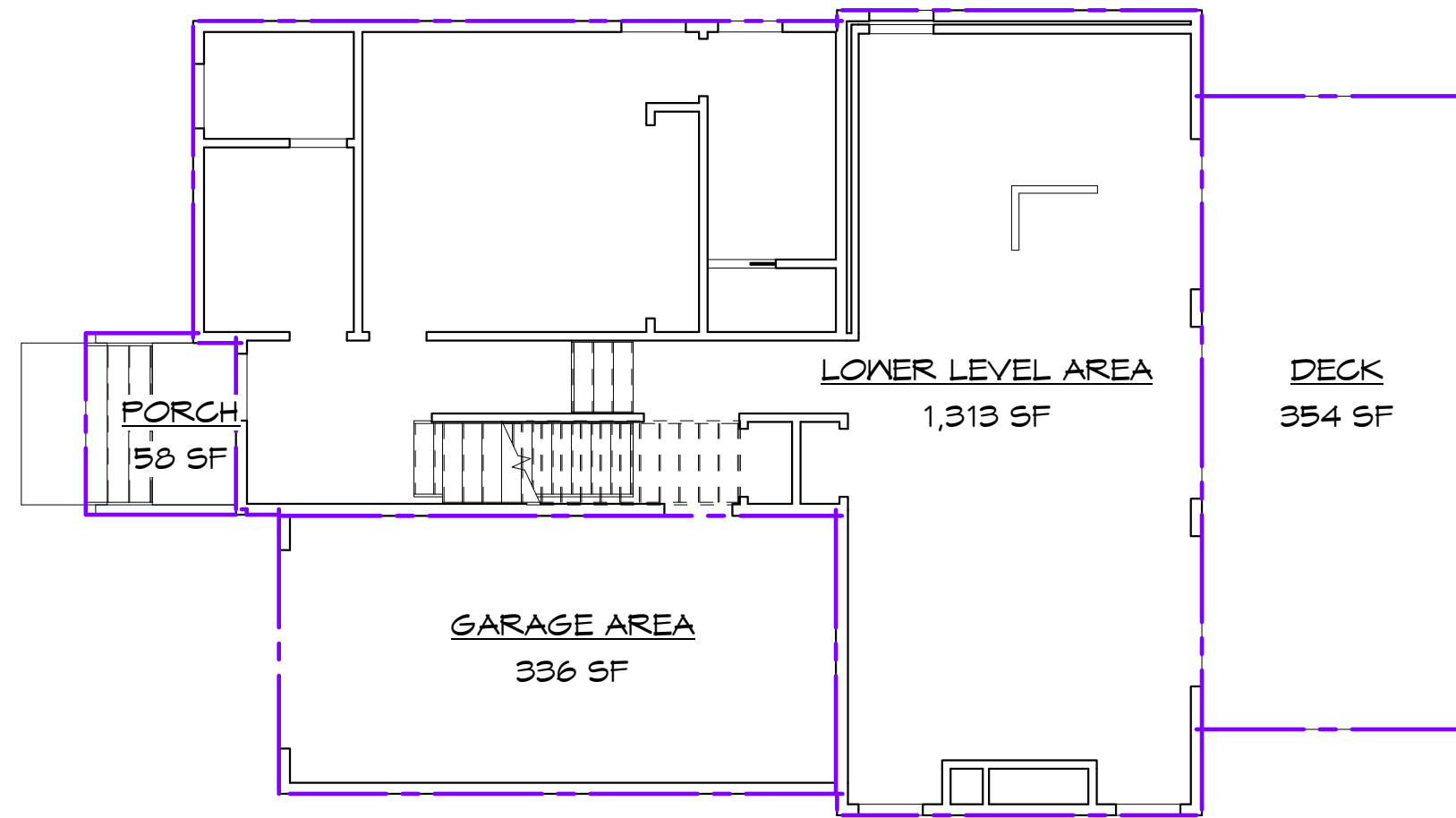
LOWER LEVEL AREA	1,313 SF
UPPER LEVEL AREA	1,106 SF
	2,419 SF

TOTAL BUILDING AREA

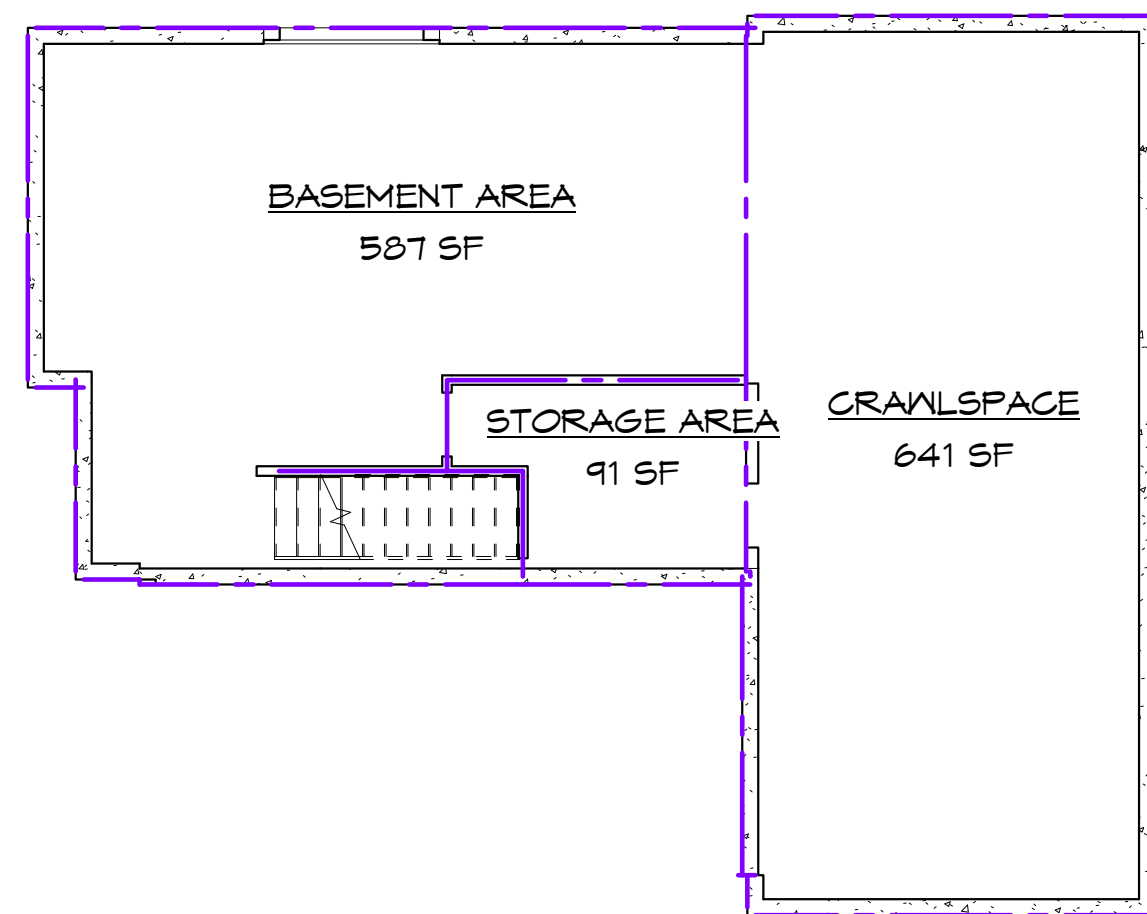
BASEMENT AREA	587 SF
STORAGE AREA	97 SF
GARAGE AREA	336 SF
LOWER LEVEL AREA	1,313 SF
UPPER LEVEL AREA	1,106 SF
	3,439 SF



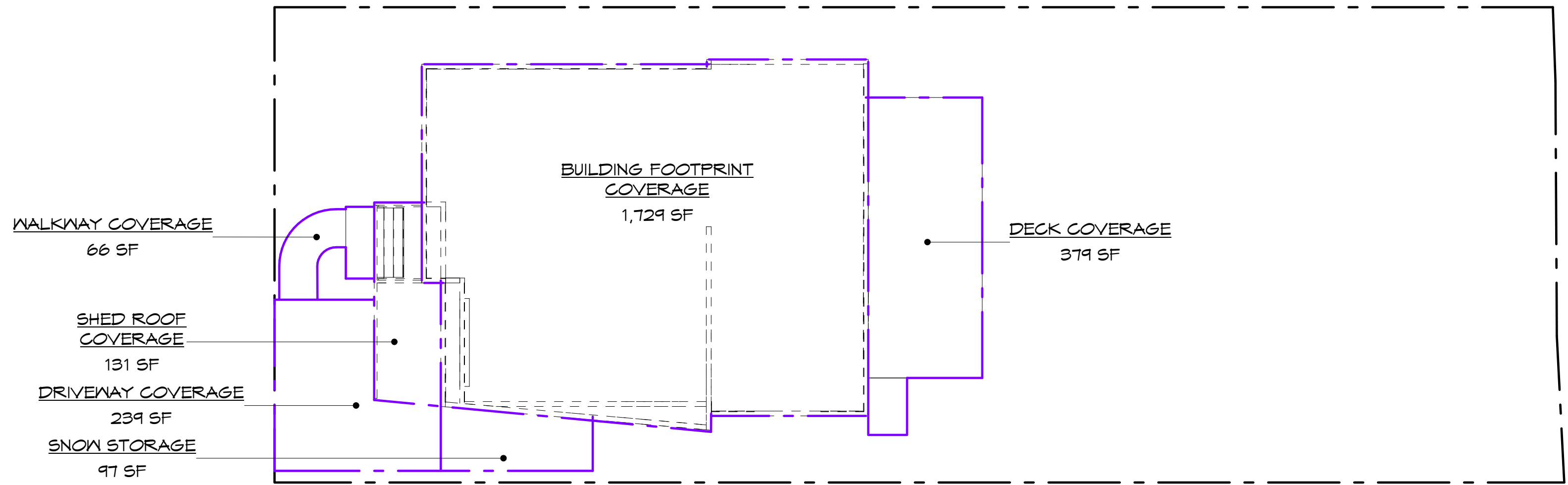
⑦ UPPER LEVEL AREA
1/8" = 1'-0"



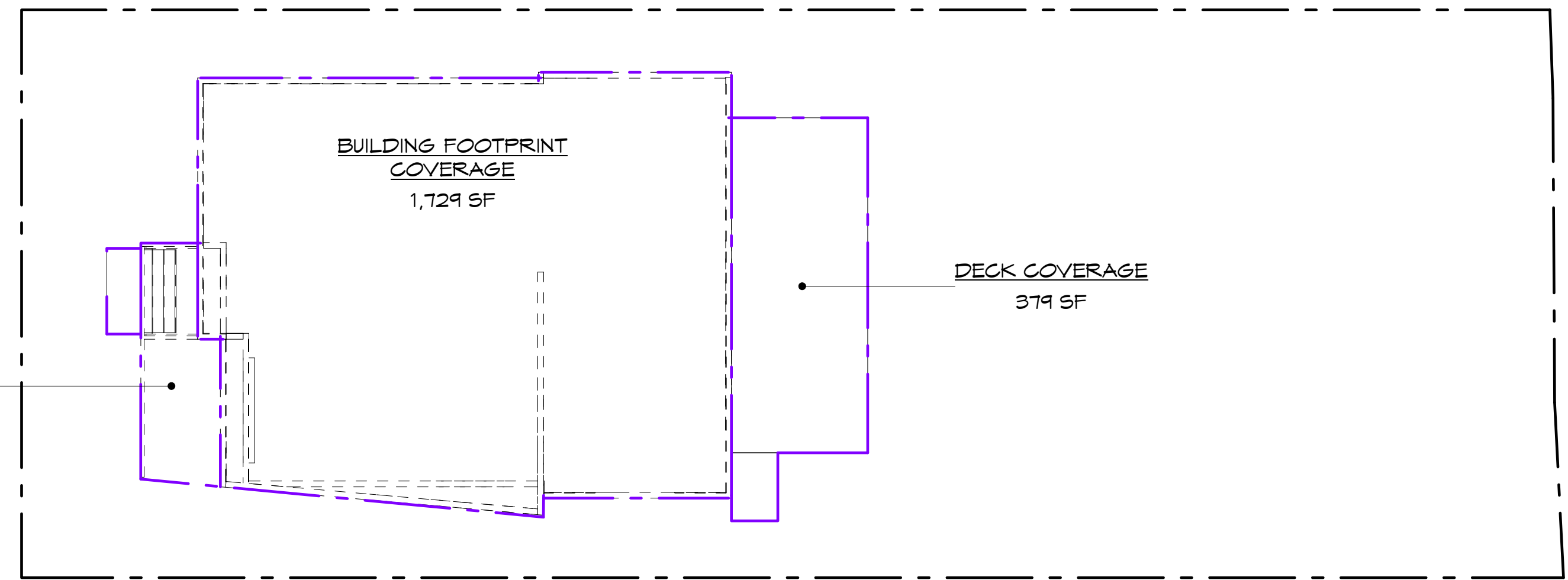
⑥ LOWER LEVEL AREA
1/8" = 1'-0"



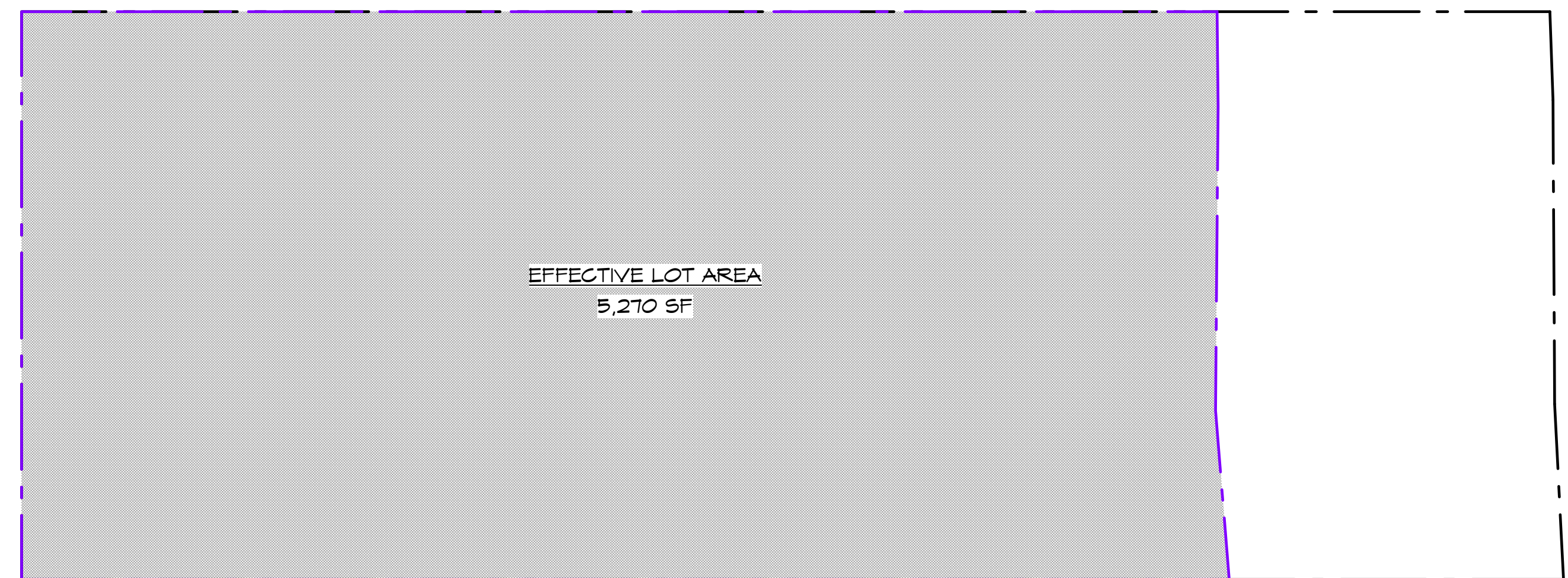
⑤ BASEMENT AREA
1/8" = 1'-0"



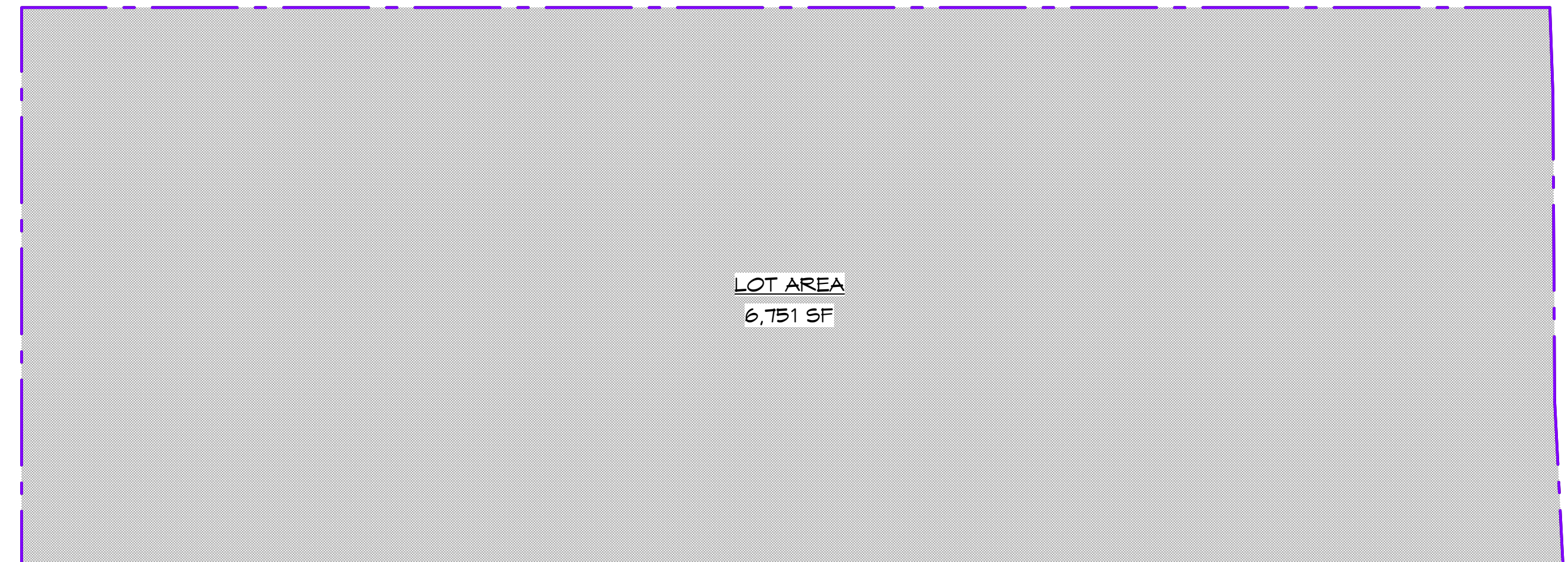
④ IMPERVIOUS SURFACE AREA
1" = 10'-0"



③ BUILDING LOT COVERAGE
1" = 10'-0"



② EFFECTIVE LOT AREA
1" = 10'-0"



① LOT AREA
1" = 10'-0"

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michael@mppdesignshop.com

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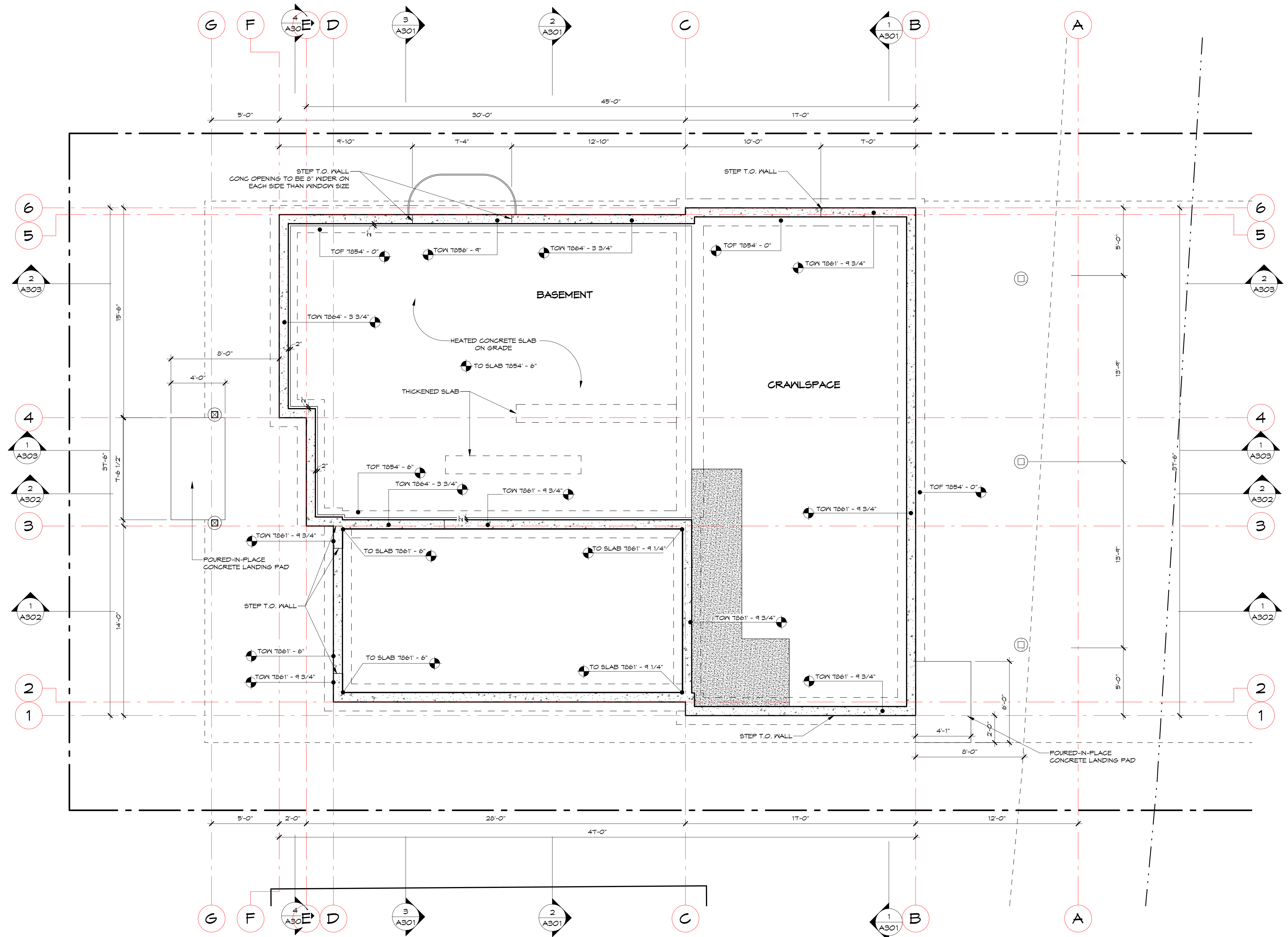
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3	Design Revisions	05/06/21
4	Blgd Permit Revs	05/20/21
5	DRB Submission	07/01/21

Project Number: 1908
Designed by: mpp
Drawn by: mpp
Checked by: mpp

LOT & BUILDING ANALYSIS

A001



1 FOUNDATION PLAN
1/4" = 1'-0"

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Hutton Residence
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Minturn, CO 81645

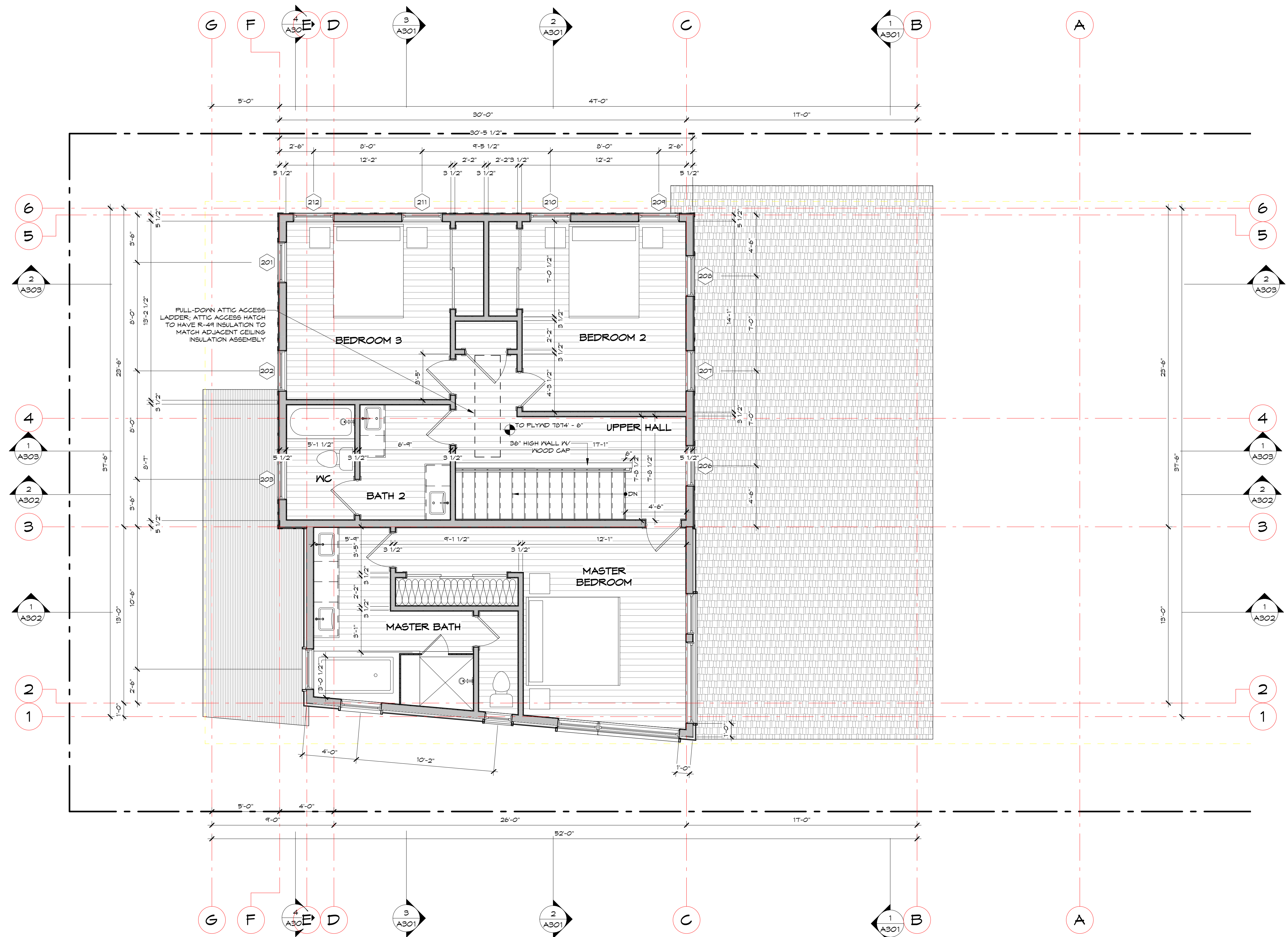
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4	Bldg Permit Revs	05/20/21
5	DRB Submission	07/01/21

Project Number: 1908
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Checked by: mpp

FOUNDATION PLAN

A101
53



1 UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

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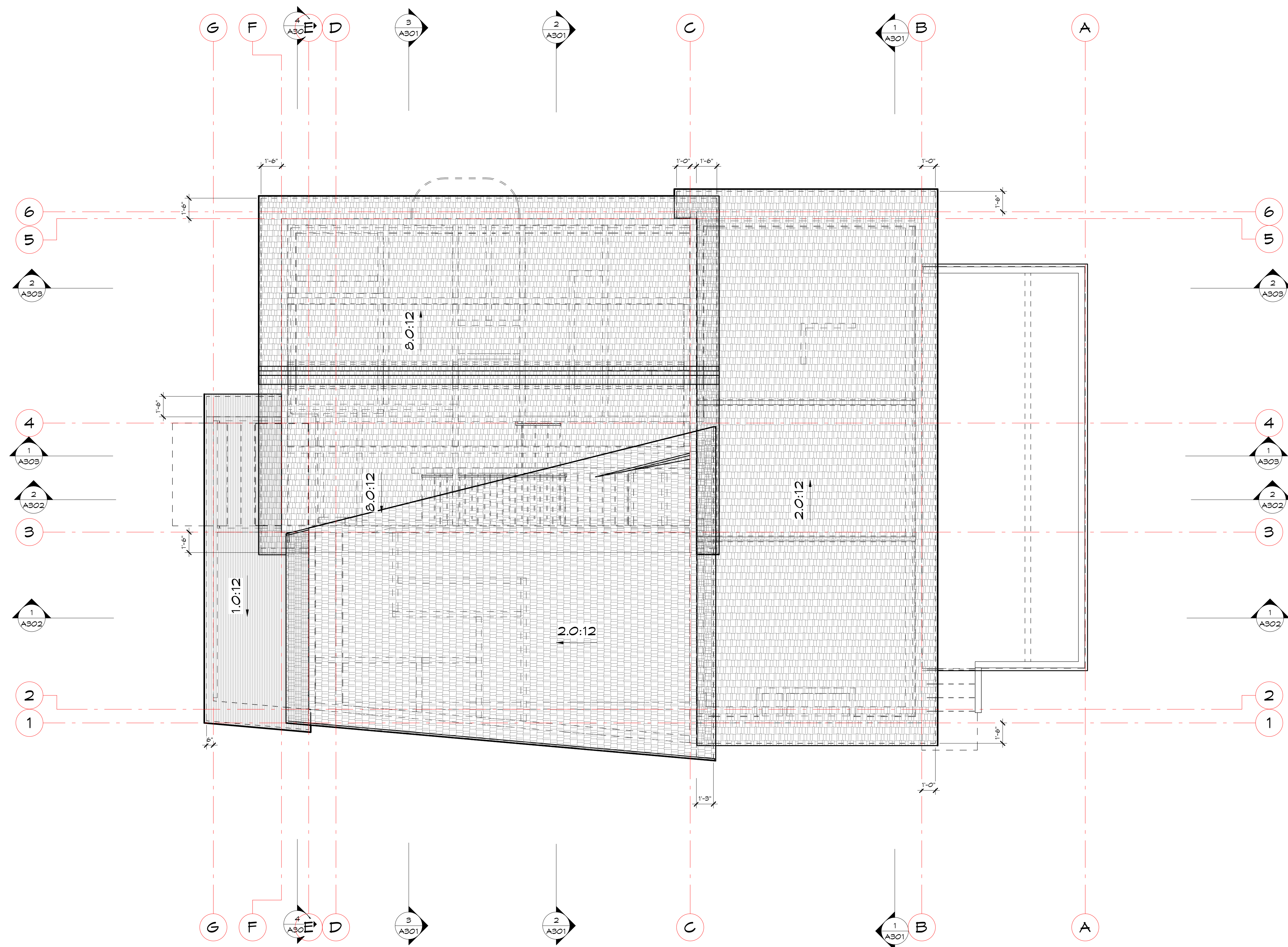
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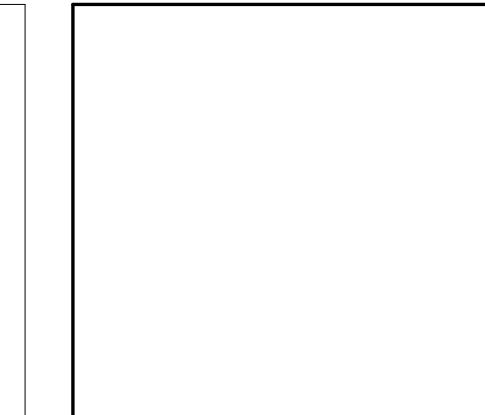
Project Number: 1908
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UPPER LEVEL FLOOR PLAN

A104



1 ROOF PLAN
1/4" = 1'-0"



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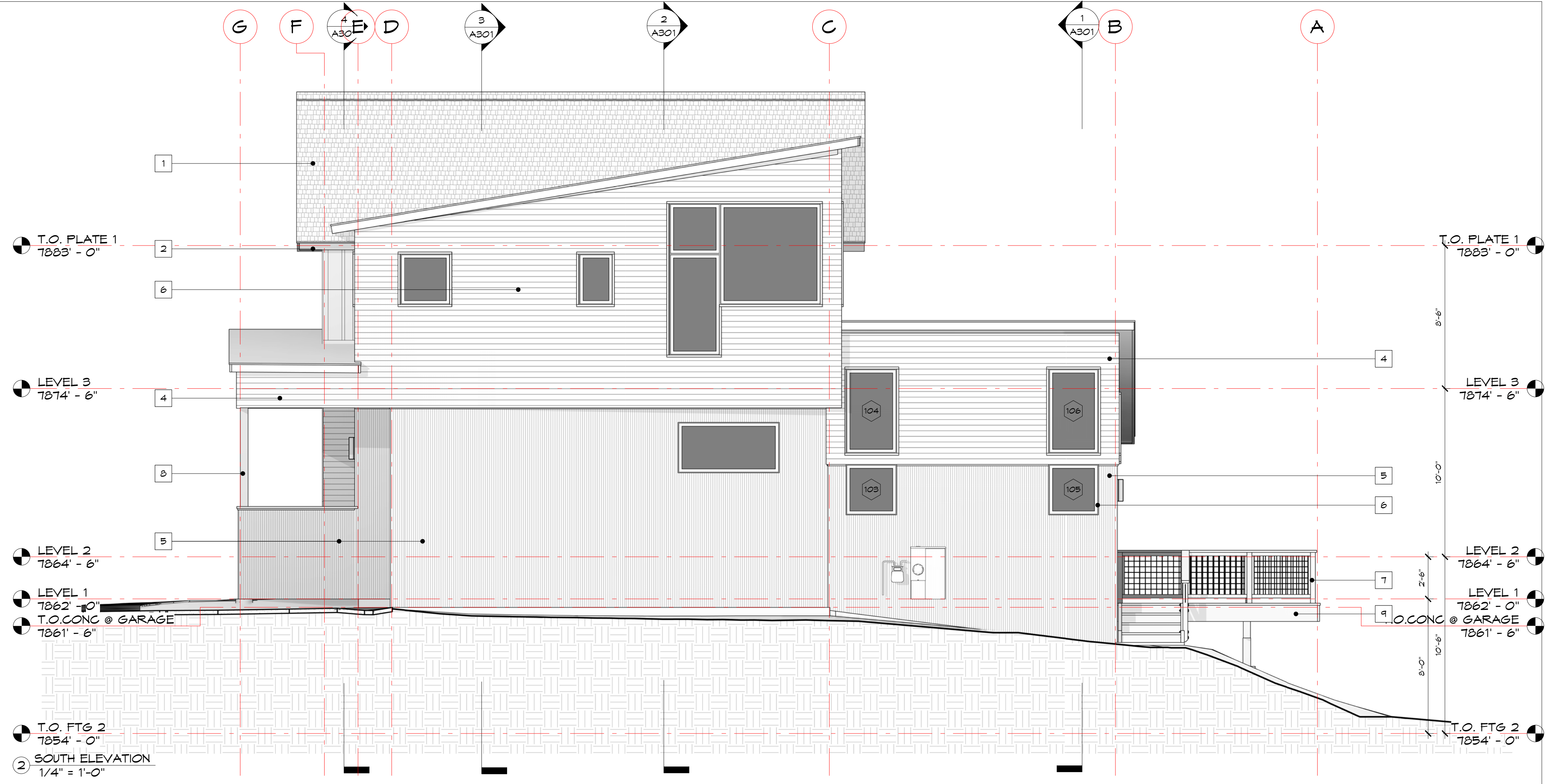
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ROOF PLAN

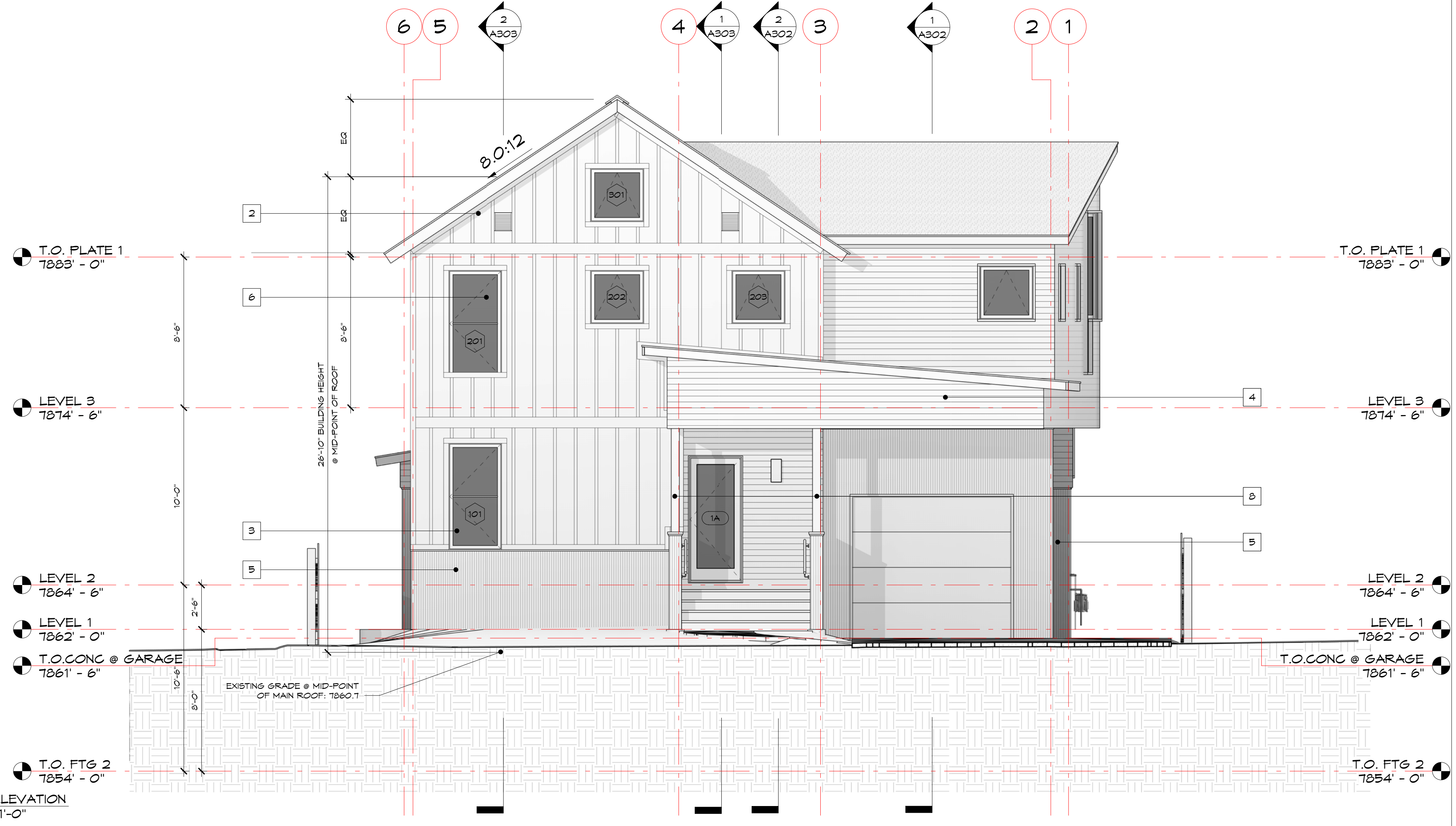
A105

WINDOW SCHEDULE							
Mark	Type #	Description	Width	Height	U-Factor	Glass Type	Type Comments
47		3612 GSMT	3'-0"	6'-0"		IG Low E II with Argon	
48		6060 FIXED	6'-0"	3'-0"		IG Low E II with Argon	
T1		6060 FIXED	6'-0"	6'-0"		IG Low E II with Argon	
T3		4848 FIXED	3'-0"	3'-0"		AIR-FILLED, LOW-E	
T5		3612 GSMT	3'-0"	6'-0"		IG Low E II with Argon	
103		4848 FIXED	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
105		4848 FIXED	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
211		2424 AWING	2'-0"	3'-0"		IG Low E II with Argon	AWING
8							
001	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
002	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
101	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
116	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
117	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
201	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
207	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
209	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
8							
115	2	CASEMENT	3'-0"	4'-6"	<0.3	AIR-FILLED, LOW-E	
1							
43	3	AWING	3'-0"	3'-0"		AIR-FILLED, LOW-E	
44	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
118	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
119	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
202	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
203	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
206	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
208	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
210	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
211	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
212	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
301	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
302	3	AWING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
13							
107	4	AWING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
108	4	AWING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
112	4	AWING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
113	4	AWING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
104	5	FIXED	3'-0"	5'-0"	<0.3	AIR-FILLED, LOW-E	
106	5	FIXED	3'-0"	5'-0"	<0.3	AIR-FILLED, LOW-E	
2							
109	6	FIXED	7'-0"	4'-6"	<0.3	AIR-FILLED, LOW-E	
114	6	FIXED	7'-0"	4'-6"	<0.3	AIR-FILLED, LOW-E	
2							
110	7	FIXED	7'-0"	3'-6"	<0.3	AIR-FILLED, LOW-E	
1							
111	8	FIXED	8'-0"	2'-0"	<0.3	AIR-FILLED, LOW-E	
1							

Grand total: 41



EXTERIOR MATERIAL LEGEND						
Key	Material	Manufacturer	Model	Color	Finish	Notes
1	ASPHALT SHINGLES	GAF		WEATHERED WOOD		LIFE TIME WARRANTY; APPROVED FOR LOW SLOPE ROOF APPLICATIONS
2	2x6 FASCIA, WOOD			CHARCOAL GRAY	OPAQUE STAIN	
3	BOARD & BATTEN SIDING		CEMENT BOARD	CHARCOAL GRAY	PAINT, PRE-FINISHED	
4	HORIZONTAL COMPOSITE SIDING			MIXED BROWN		
5	CORRUGATED METAL SIDING	CORE-TEN		NATURAL RUST		SEALED TO PREVENT LEACHING OF RUST
6	WOOD FRAME ALUMINIUM GLAD WINDOWS			BROWN	PAINT	
7	WOOD & METAL RAILING			BROWN	OPAQUE STAIN	4"x4" WIRE MESH 1/4" 6X6 POSTS, 2x6 TOP RAIL
8	6x6 WOOD COLUMN			BROWN	OPAQUE STAIN	
9	2x12 RS DECK FASCIA			BROWN	OPAQUE STAIN	



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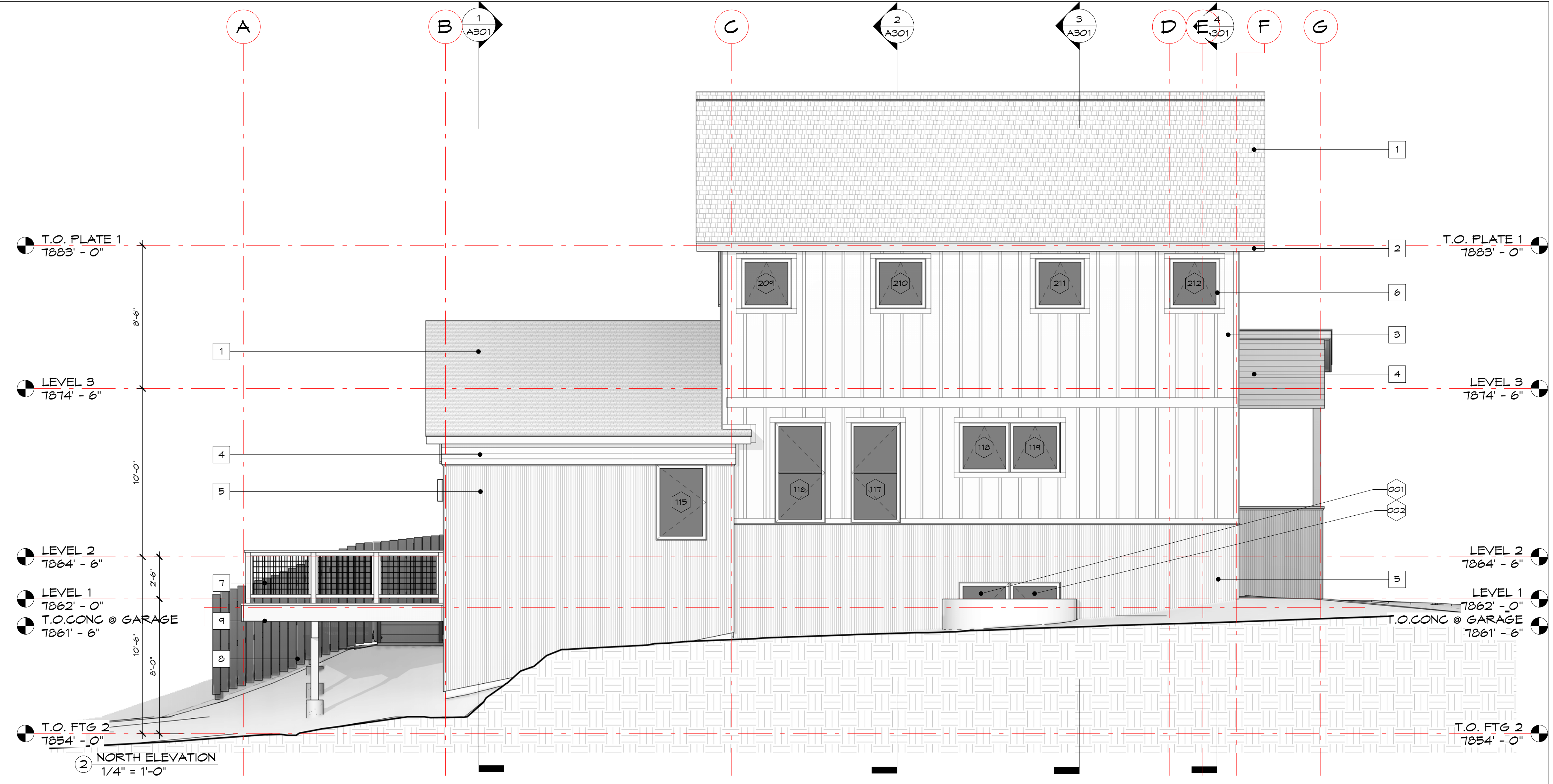
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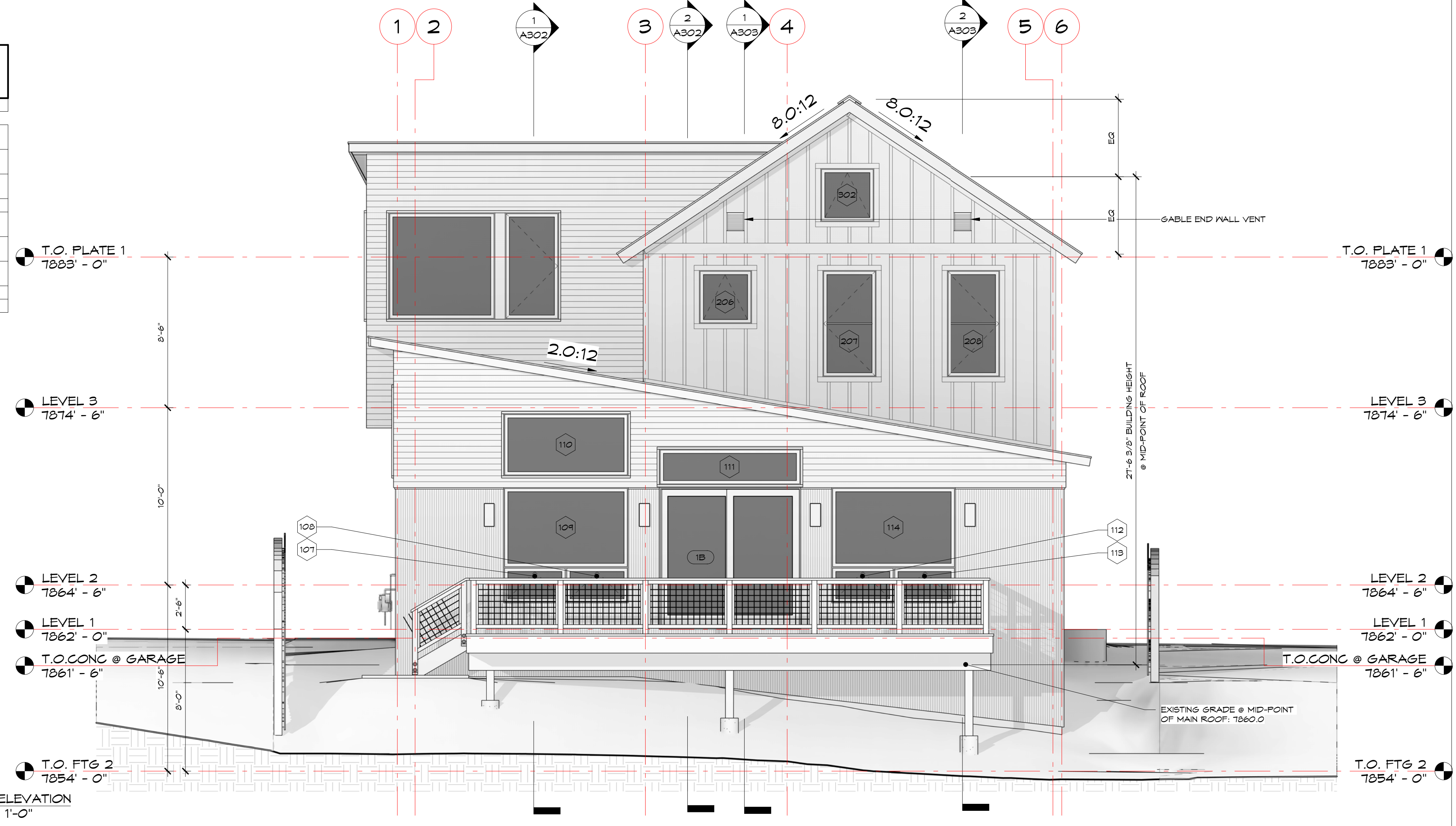
ELEVATIONS

A201

98



EXTERIOR MATERIAL LEGEND						
Key	Material	Manufacturer	Model	Color	Finish	Notes
1	APHALT SHINGLES	GAF		WEATHERED WOOD		LIFE TIME WARRANTY; APPROVED FOR LOW SLOPE ROOF APPLICATIONS
2	2x6 FASCIA, WOOD			CHARCOAL GRAY	OPAQUE STAIN	
3	BOARD & BATTEN SIDING		CEMENT BOARD	CHARCOAL GRAY	PAINT, PRE-FINISHED	
4	HORIZONTAL COMPOSITE SIDING			MIXED BROWN		
5	CORRUGATED METAL SIDING		CORE-TEN	NATURAL RUST		SEALED TO PREVENT LEACHING OF RUST
6	WOOD FRAME ALUMNIUM GLAD WINDOWS			BROWN	PAINT	
7	WOOD & METAL RAILING			BROWN	OPAQUE STAIN	4"x4" WIRE MESH IV/ 6X6 POSTS, 2x6 TOP RAIL
8	6x6 WOOD COLUMN			BROWN	OPAQUE STAIN	
9	2x12 RS DECK FASCIA			BROWN	OPAQUE STAIN	



Hutton Residence

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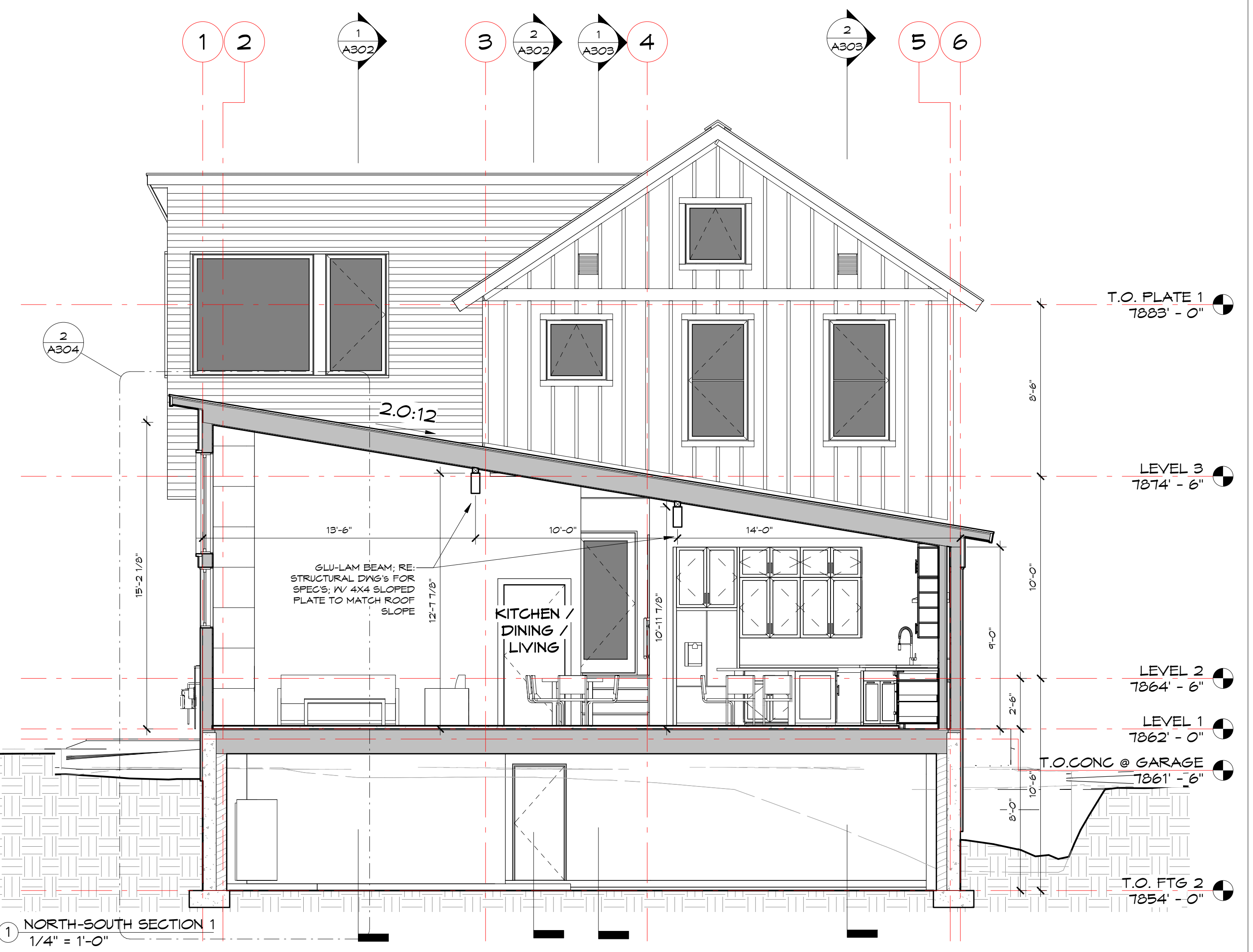
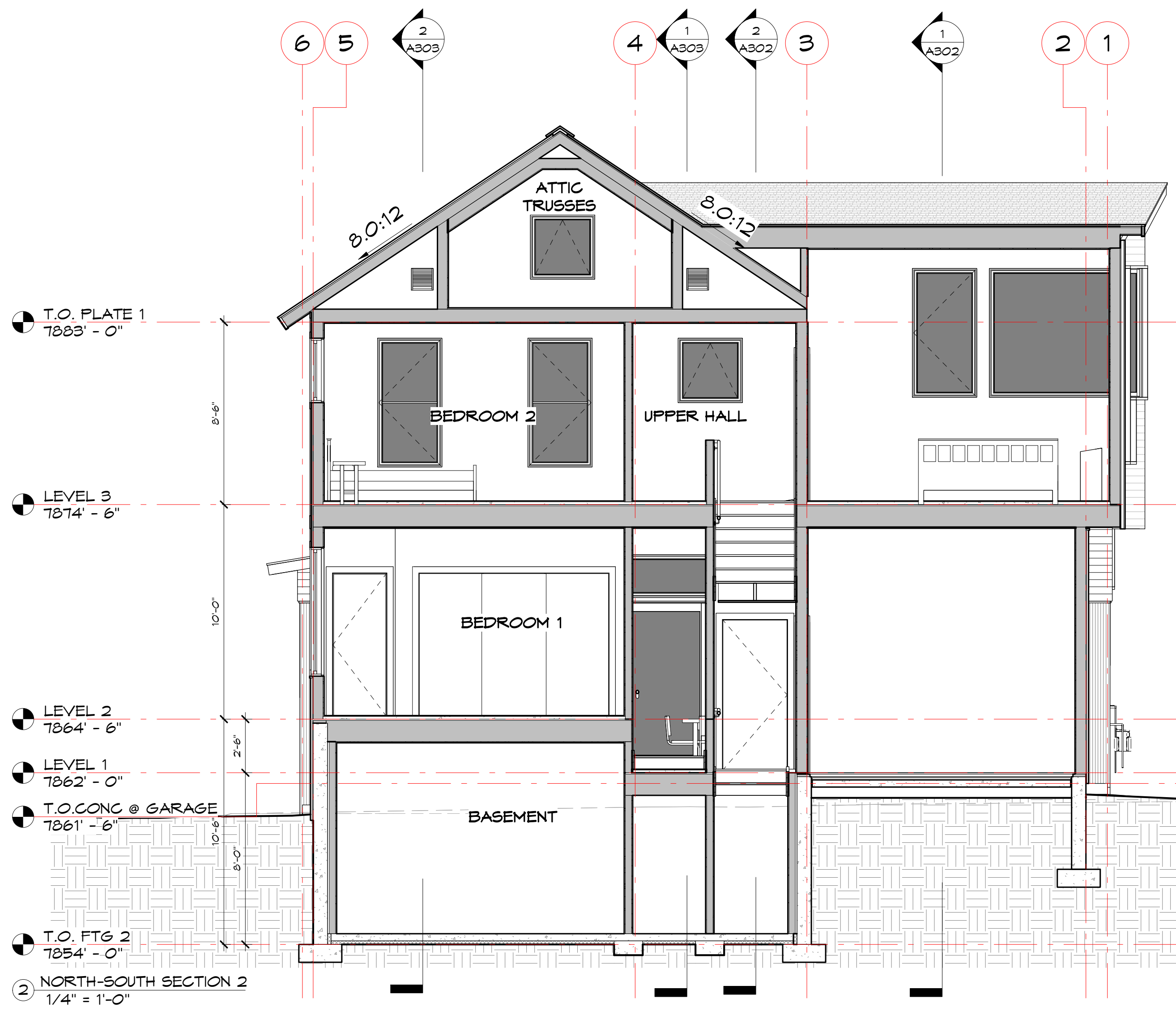
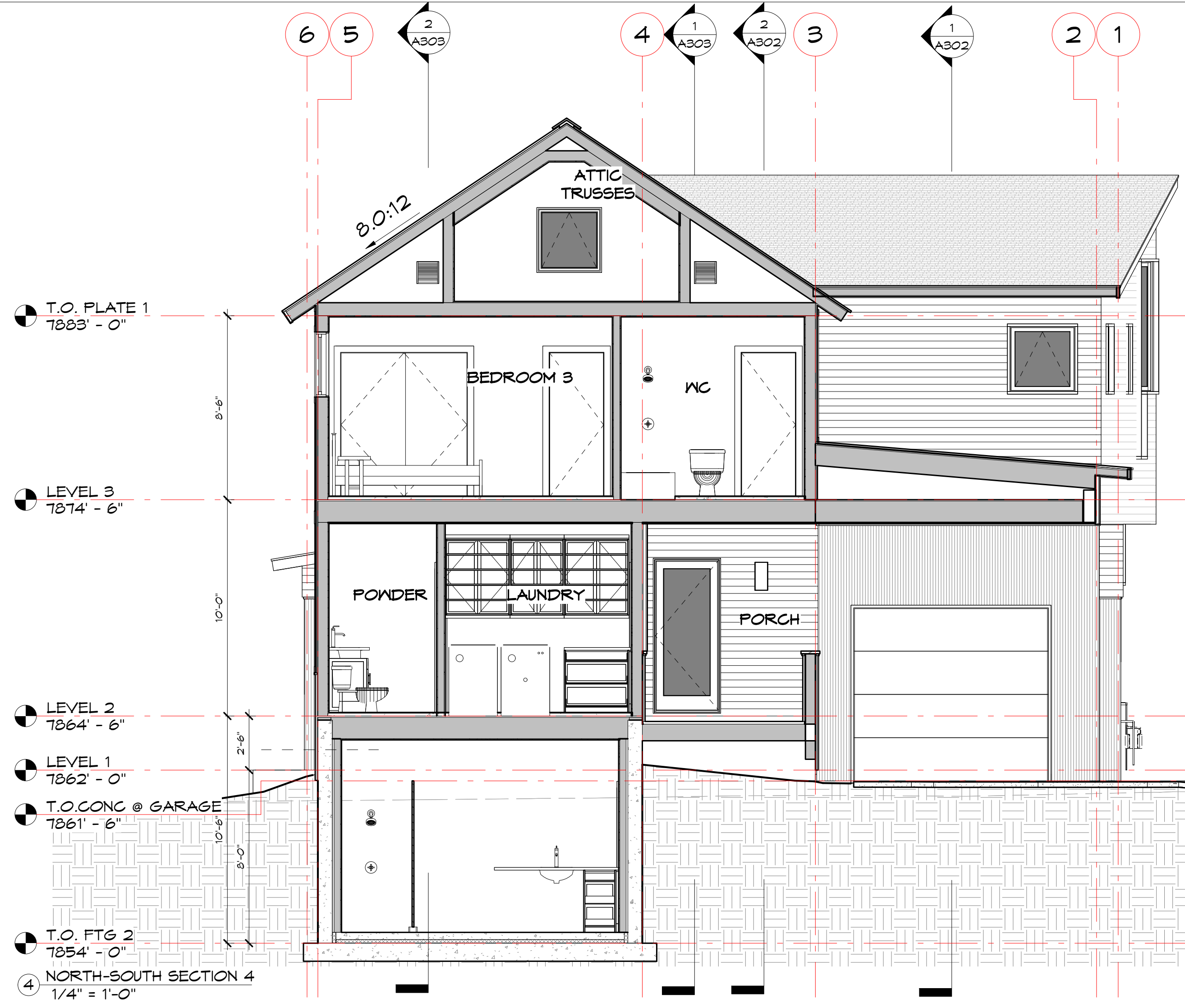
Project Number: 1908
Designed by: mpp
Drawn by: mpp
Checked by: mpp

ELEVATIONS

A202

99

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Project Number: 1908
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BUILDING SECTIONS

A301

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96



③ DECK RAILING
1 1/2" = 1'-0"

② EAST-WEST SECTION 2
1/4" = 1'-0"

① EAST-WEST SECTION 1
1/4" = 1'-0"

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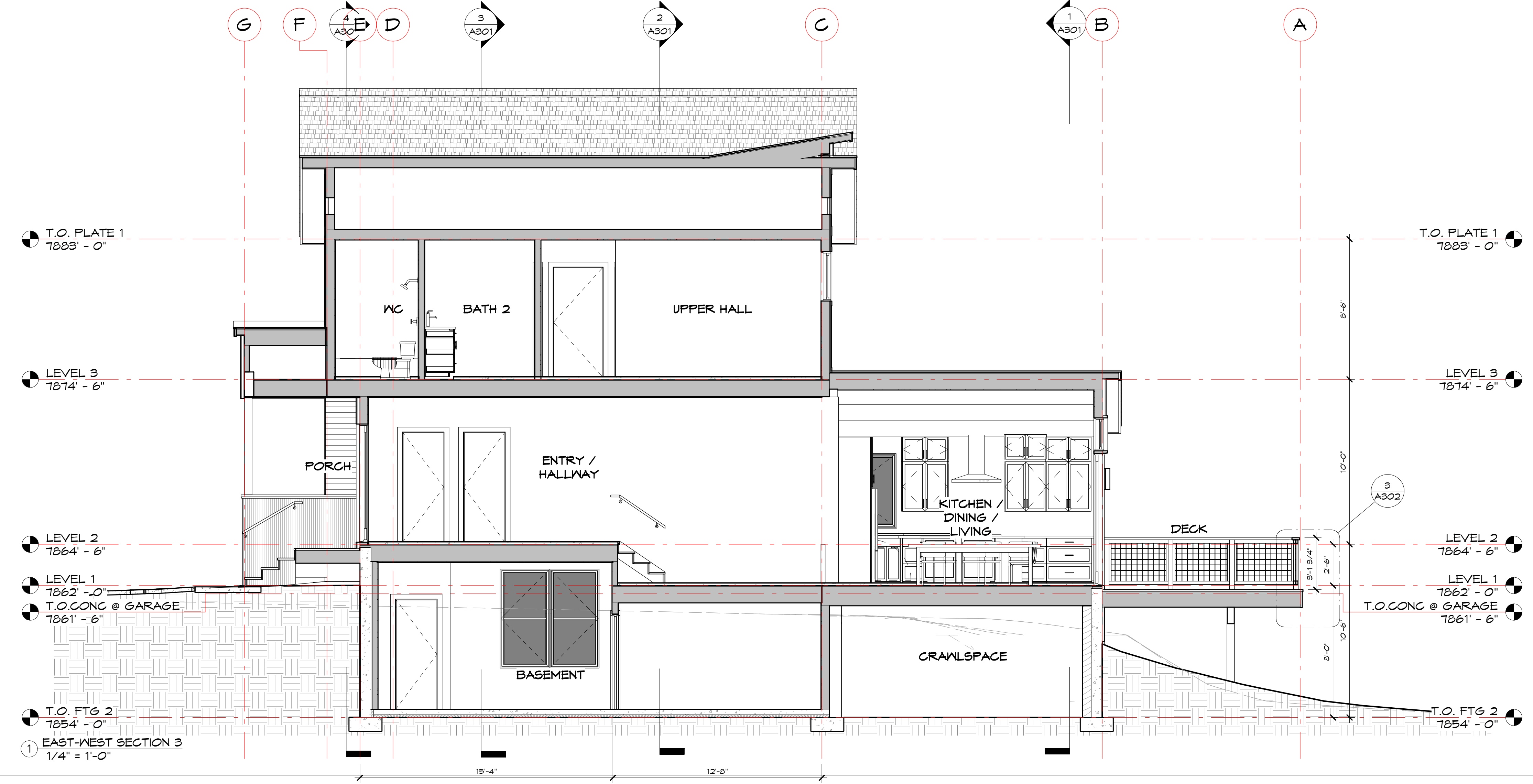
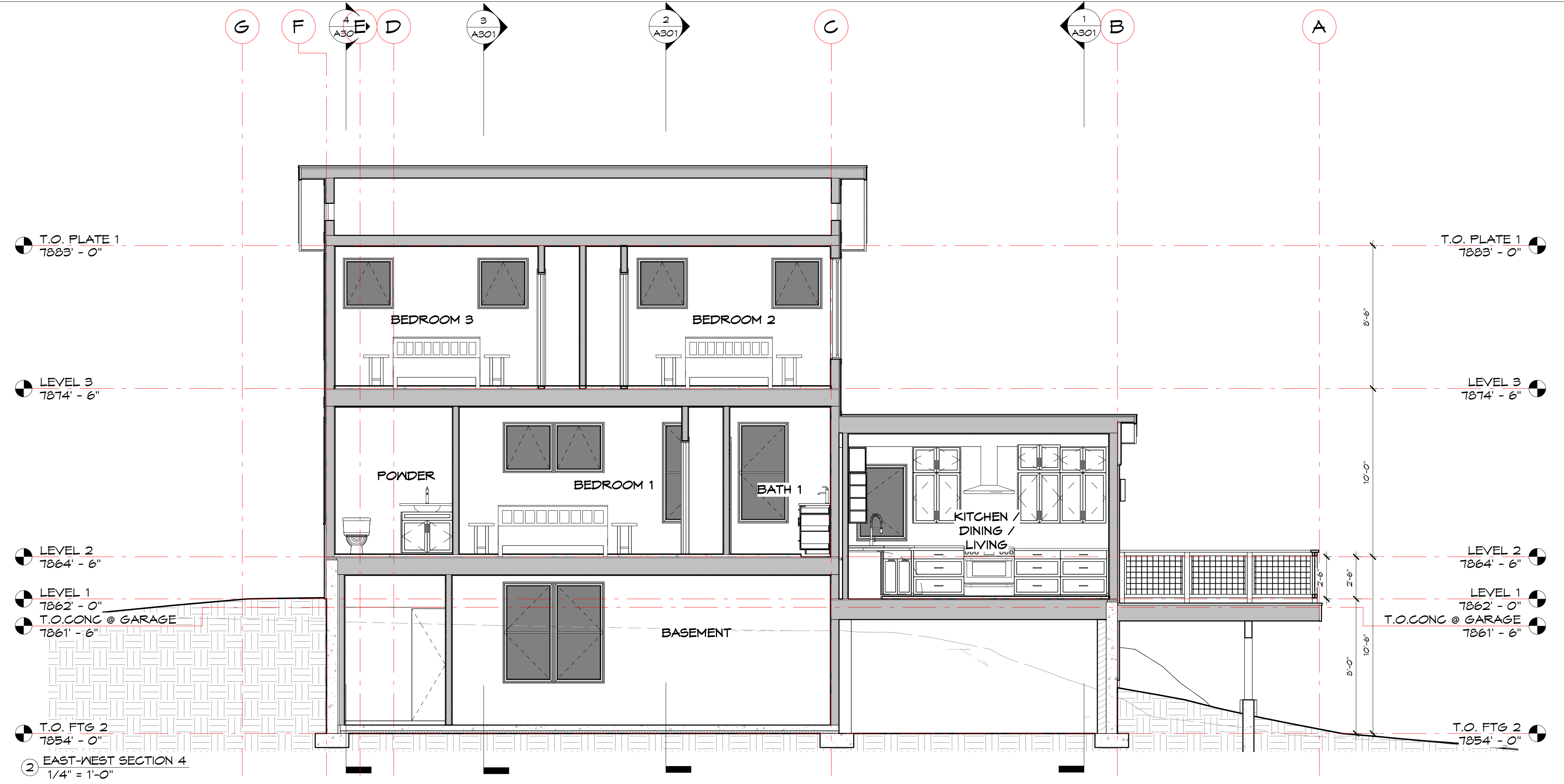
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Project Number: 1908
Designed by: mpp
Drawn by: mpp
Checked by: mpp

BUILDING SECTIONS

A302



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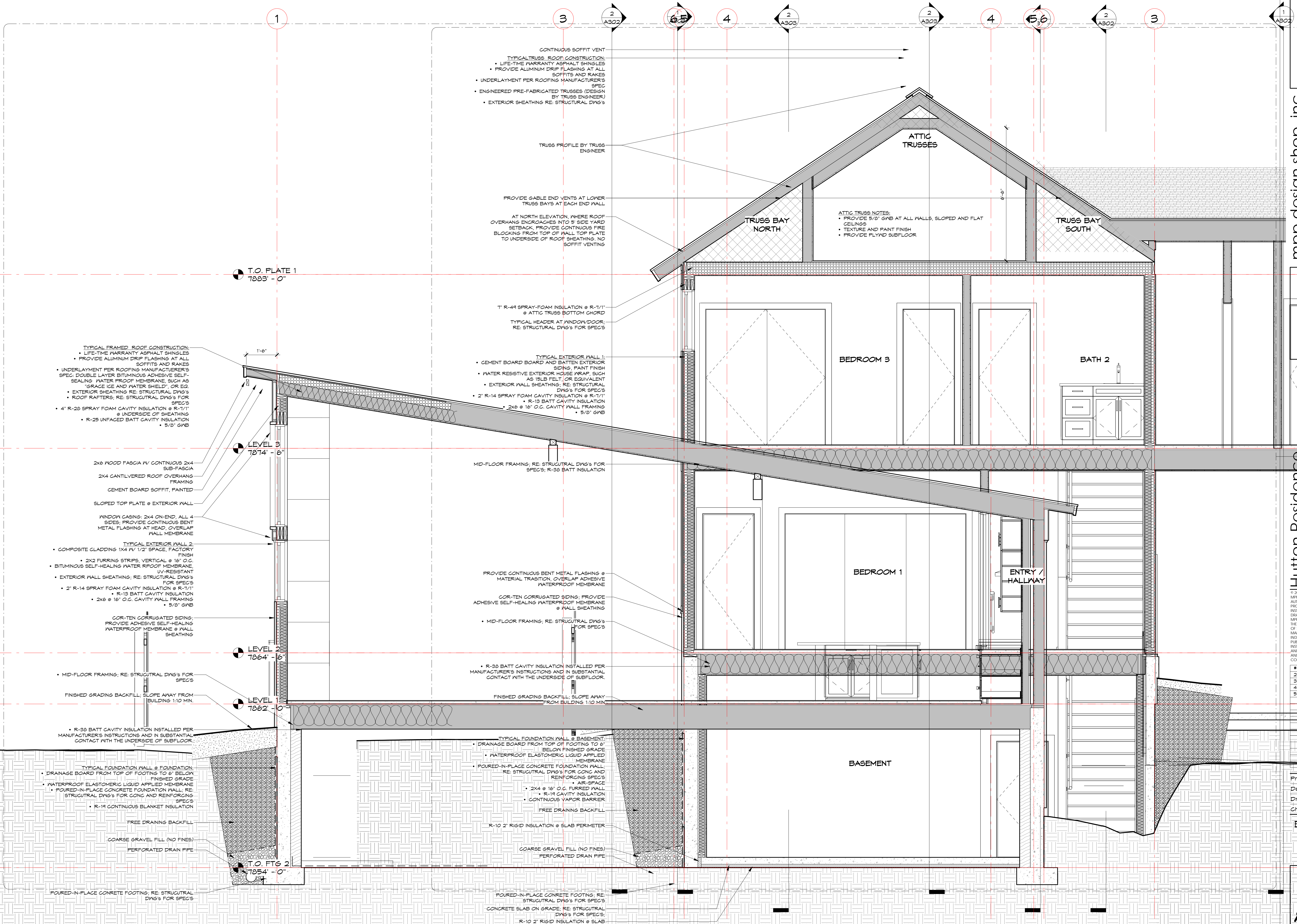
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Project Number: 1908
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BUILDING SECTIONS

A303



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 Designed by: mpp
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 Checked by: mpp

BUILDING & WALL SECTIONS

A304

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Elliot Hovey
Chris Manning
Tom Priest
Jena Skinner

To: Planning Commission
From: Scot Hunn, Planning Director
Madison Harris, Planner I
Date: July 2, 2021
Re: Eagle River Enclave - Landscaping Plan Approval

Cristian Basso, with permission from the Eagle River Enclave Homeowners Association, requests review of a new landscaping plan for the land adjacent to the sidewalk along Highway 24. This intent of this project, per the applicant’s application:

“Replace [the] majority of existing landscape material including soil structure and plant material in the existing berm that separates the existing sidewalk with the existing parking lot. Add raised berm to [the] north parking area to add visual consistency to property facing main street.”

The Eagle River Enclave property is zoned within the Old Town Character Area - Residential Zone District. This project will not change impervious surface area or building coverage for the Enclave development.

Section 16-17-150 - Landscape standards and plan submittal required for multi-family, mixed-used, commercial developments, subdivisions and planned unit developments, provides the following requirements and direction applicable to this review:

- (a) **Applicability.** The landscape plan shall accompany an application for a proposed multi-family, mixed-use, commercial developments, subdivisions and Planned Unit Developments.

Staff Response:

Staff suggests that since the Eagle River Enclave is an existing residential development, several of the standards in this section may not apply or be relevant.

- (b) The landscape plan shall address the following issues and standards and contain the following information:
 - (1) The landscape plan submitted shall illustrate the overall intent of the applicant with regard to landscaping of the property subject to the application.
 - (2) Erosion control. The landscape plan shall include a description of how erosion will be controlled on site during and after construction.

- (3) The landscape plan shall include a description of how the application will re-vegetate all disturbed areas.
- (4) The landscape plan shall include description of how bordering properties will be buffered or screened from surrounding land uses and streets.
- (5) The landscape plan shall include a design of pervious and impervious surfaces and open space on the property. The percentage of pervious, impervious and open space area required is dependent on zoning and storm water management requirements.
- (6) The landscape plan shall include a description of the proposed landscape vegetation which shall be labeled, identifying the type of landscaping planned and the size, number and species of plants (identified by both common name and scientific botanical name).
- (7) Only Native Plant Species Zoned 2 by the U.S. Department of Agriculture, Plant Hardiness Zone Map, can be used in the landscape plan. Ornamental plants can be added upon discretion of the homeowner as decoration to be added after the completed landscape plan. Native species to Zone 2 promote water wise use and to ensure plants are appropriate for the Town's unique high altitude mountain climate.
- (8) The landscape plan shall depict areas where plant materials will be preserved, removed or replaced (including the river/creek setback). The drawing shall identify all existing deciduous trees of six (6) inches in caliper or greater (measured four (4) inches from the ground) and coniferous trees six (6) feet in height or greater, and shall identify which trees will be preserved and which will be removed or relocated. Where it would be impractical to identify each tree, the drawing shall outline the dimensions of existing groves and proposed trees.
- (9) The landscape plan shall be designed so that healthy tree, native vegetation and natural or significant rock outcroppings and other valued features are preserved and integrated with planted areas.
- (10) When plantings occur on hillsides, slopes, drainage ways or similar natural areas, plant materials should duplicate adjacent plant communities both in species composition and spatial distribution patterns. Plants should be planted in clusters to maximize their chance for survival.

Staff Response:

Standards B 6-10 apply to this review. The plans show all existing and proposed conditions and clearly detail areas where plans are proposed, any areas where trees or other plant material are to be removed, as well as the proposed sizes and amounts of plantings. It also appears that proposed plantings - deciduous trees, coniferous trees and perennial plantings - are native and/or common to this zone.

- (c) The Planning Director and Town can request additional landscaping be added to a proposed landscape plan in order to effectuate the intent of this Article.

Staff Response:

___ No recommendation is proposed at this time to require additional landscaping as part of this landscaping renovation proposal.

- (d) Maintenance program. A description of the proposed program to maintain the landscaping after it has been installed shall be provided. The maintenance program shall demonstrate that landscaping receives irrigation water for at least two (2) years after planting.

Staff Response:

— This standard applies to this review. Staff suggests that this be a condition of approval. The Applicant should submit a description of the maintenance program describing irrigation, fertilizer schedule, and winter preparation.

- (e) Trees and shrubs depicted on the landscape plan shall be of at least the following minimum size at the time of planting unless a larger tree size is specified in any applicable development permit for buffering, screening or planting on the subject property.

- (1) Deciduous trees: Deciduous trees shall be a minimum of one and one-half (1½) inches in caliper, measured four (4) inches above the ground.
- (2) Coniferous trees: Coniferous trees shall be a minimum of four (4) feet in height, measured from the top of the root ball to the top of the tree.

Staff Response:

This landscape proposal shows 3” caliper deciduous trees, and 10-12’ evergreens.

- (f) Trees within a paved area. Any tree planted within a paved area shall be placed in a tree vault and shall have a tree grate installed around its trunk.

Staff Response:

This standard is not applicable.

- (g) Parking and storage prohibited. Required landscaped areas shall not be used for parking, outdoor storage and similar uses, but may be used for snow storage if properly designed for this function.

Staff Response:

— This landscape proposal is not indicating that the landscaped areas will be used for parking or outdoor storage.

- (h) Obstructions prohibited in clear vision area. Plant materials shall be limited to thirty (30) inches in height within the clear vision area, so as to avoid visibility obstructions or blind corners at intersections.

Staff Response:

— The landscape plan does show proposed landscape plantings within the entrance to the Eagle River Enclave property. The Applicant should verify that the plantings and all other improvements (signs) will not interfere with the clear vision area.

- (i) Street trees. Any tree planted along the street shall be located a minimum of five (5) feet from the curb or the edge of the street, to provide room for snow plowing, street maintenance and opening of car doors.

Staff Response:

— The sidewalk that runs along the west property line of the Eagle River Enclave is 5 feet wide. The proposed tree plantings are located beyond this sidewalk, away from the edge of the street, and so this is not a concern for staff.

- (j) Landscaping within off-street parking areas.

(2) All off-street parking areas containing fifteen (15) or more spaces, except for enclosed or subgrade parking structures, shall provide the following forms of landscaping:

- i. Planting strips. There shall be a planting strip provided along all property lines where a street right-of-way is located adjacent to the parking area.
- ii. Width. The planting strip shall have a minimum width of eight (8) feet.
- iii. Screen. A minimum of seventy-five percent (75%) of the length of the planting strip shall be used to screen the parking area from the street. The screen shall be a minimum of thirty (30) inches in height and may consist of a berm, wall, plant materials or combination thereof; however, the clear vision area shall be maintained.
- iv. Trees. A minimum of one (1) tree shall be planted for every thirty (30) lineal feet of planting strip. The trees may be massed together, provided that the massing does not leave a gap between individual trees or tree masses that exceeds fifty (50) feet.

Staff Response:

The planting strip at the narrowest point is approximately 6.5', but because this is an existing landscape area, staff is not proposing to require the Applicant to widen it to meet the 8' requirement. It appears that more than 75% of the length of the strip is being used for screening, however the Applicant should clarify the overall height of the renovated planting strip, considering berming and planting. The plans show planting of trees at approximately every 10-15 feet, rather than the minimum of every thirty (30) lineal feet.

Outstanding Issues or Questions for the Applicant

Screening:

The requirements for screening of a parking area require a minimum of thirty (30) inch tall screening between the street and the parking area, for a minimum of 75% of the length of the planting strip. Staff believes that the proposal meets this requirement - with a combination of berming and planting. However, the Applicant's representative should clarify the height of proposed plantings and any proposed berming.

Guest Parking:

On the far northern side of the property, guest parking spaces exist along with a drive aisle and trash enclosure. The plans show the addition of a new planting strip along the sidewalk (between existing guest parking and the existing sidewalk) which will necessitate a shift in parking stalls toward the building (Building A). Staff has conducted a site visit and believes that this shift will still allow adequate access to the trash enclosure by a trash truck and will still permit adequate maneuvering of vehicles in and out of the guest parking stalls. However, staff recommends a condition of approval requiring the Applicant to show turning motions/radii for each of the spaces, particularly those closest to the trash enclosure.

Maintenance Plan:

This project is being proposed to address several issues related to the existing planting strip along Hwy. 24; notably, the health of trees, shrubs and groundcover that have been impacted over the years by plowing and snow storage. Staff suggests that if the Eagle River Enclave Homeowners Association does not have a landscape maintenance program in place, working with the Applicant's landscape consultant to provide such a plan or program addressing fertilization, winterization of planting beds, and spraying of trees for disease will be well advised.

Clear Vision Requirements:

The landscape plan does show proposed landscape plantings within the entrance to the Eagle River Enclave property. The Applicant should verify that the plantings and all other improvements (signs) will not interfere with the clear vision area.

Staff is recommending **approval with the following conditions:**

1. The Applicant will provide an engineered drawing showing adequate maneuvering and turning radii for pulling in/out of the guest parking spaces.
2. The Applicant shall submit a description of the maintenance program describing irrigation, fertilizer schedule, and winter preparation.
3. The Applicant shall verify that the plantings and all other improvements (signs) will not interfere with the clear vision area.
4. The Applicant shall clarify the height of proposed plantings and any proposed berming.



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

The Enclave - Landscape Berm Rebuild (Retrofit)

Project Location

Street Address: 614 Main Street Minturn, CO 81645

Zoning: **CONDO**

Parcel Number(s): **210326320009**

Application Request:

Replace majority of existing landscape material including soil structure and plant material in the existing berm that separates the existing sidewalk with the existing parking lot. Add raised berm to north parking area to add visual consistency to property facing main street.

Applicant:

Name: Colorado Land Art Studio, Inc. for Eagle River Enclave HOA

Mailing Address: PO Box 2257, Eagle, CO 81631

Phone: 970.376.2977

Email: coloradolandstudio@msn.com

Property Owner:

Name: BURTON W. MERICAL REVOCABLE TRUST, BURTON W. MERICAL TRUSTEE

Mailing Address: PO Box 118, Minturn, CO 81645

Phone: 970.471.3117

Email: manager@mountaincaretaker.com

Required Information:

Lot Size: 1802SF	Type of Residence (Single Family, ADU, Duplex) CONDO	# of Bedrooms 26	# On-site Parking Spaces 29
# of Stories: 3	Snow storage sq ft:	Building Footprint sq ft:	Total sq ft Impervious Surface:

Signature:

Cristian Basso

Fee Paid: 200 — Date Received: 6/23/21 Planner: Maedison Harris



Colorado Land Art Studio, Inc.
 Tel: 970.376.2977
 po box 2257 Eagle, CO 81631
 coloradolandartstudio@msn.com
 WWW.COLASDESIGN.COM

THE EAGLE RIVER ENCLAVE
 MAIN STREET
 MINTURN, COLORADO 81645
 EAGLE COUNTY, COLORADO

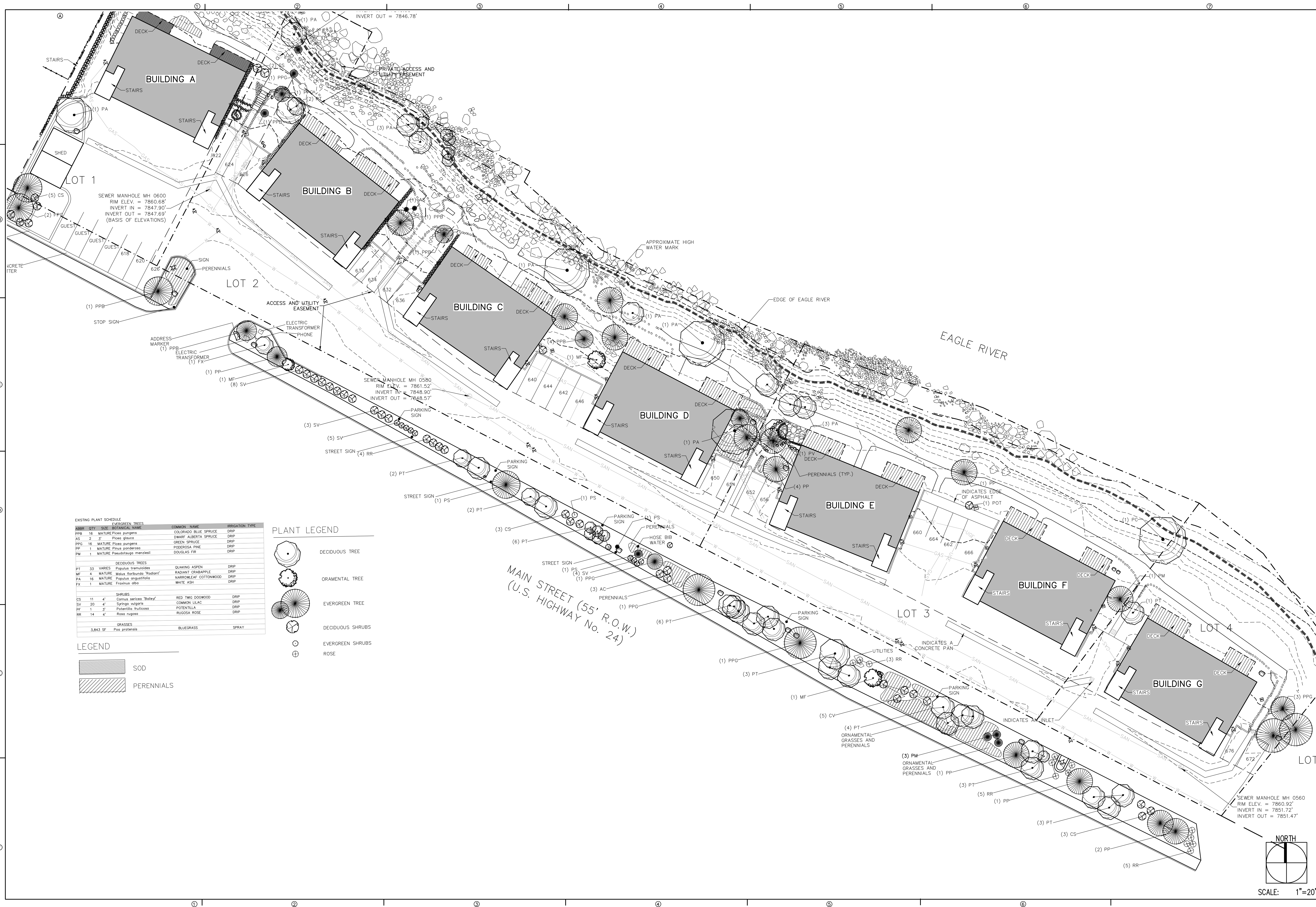
REV	#	DATE	DESCRIPTION
	BASE	11/13/20	
	BASE	04/07/21	

REV: _____
 ISSUE DATE: _____
 DRAWN: CB REVIEWED: CB

PROJECT NUM: 04-252020

EXISTING CONDITIONS PLAN

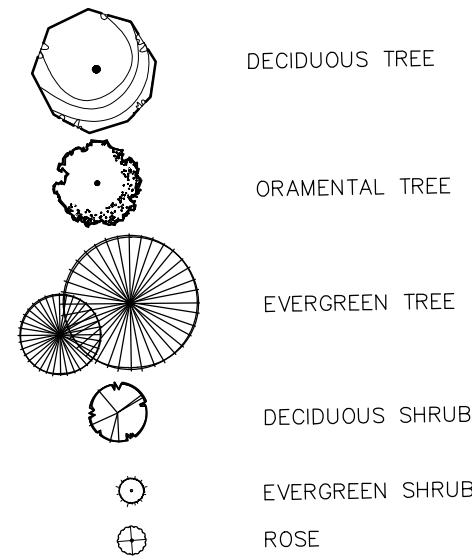
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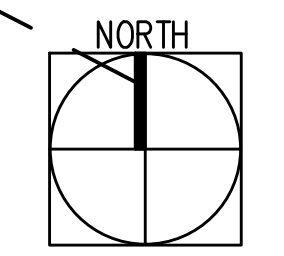
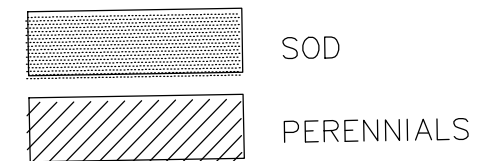
EXISTING PLANT SCHEDULE

ABBR	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
PPB	16	MATURE	Picea pungens	COLORADO BLUE SPRUCE	DRIP
AS	2	3"	Picea glauca	DMARZ ALBERTA SPRUCE	DRIP
PPG	16	MATURE	Picea pungens	GREEN SPRUCE	DRIP
PP	1	MATURE	Pinus ponderosa	PODEROSA PINE	DRIP
PM	1	MATURE	Pseudotsuga menziesii	DOUGLAS FIR	DRIP
DECIDUOUS TREES					
PT	33	VARIABLE	Picea maritima	QUAKING ASPEN	DRIP
MF	4	MATURE	Malus floribunda 'Redstart'	RADIANT CRABAPPLE	DRIP
PA	16	MATURE	Populus angustifolia	NARROWLEAF COTTONWOOD	DRIP
FX	1	MATURE	Fraxinus alba	WHITE ASH	DRIP
SHRUBS					
CS	11	4"	Cornus sericea 'Halley'	RED TWIG DOGWOOD	DRIP
SV	20	4"	Syringa vulgaris	COMMON LILAC	DRIP
PF	1	3"	Potentilla fruticosa	POTENTILLA	DRIP
RR	14	4"	Rosa rugosa	RUGOSA ROSE	DRIP
GRASSES					
	3,843	5'	Poa pratensis	BLUEGRASS	SPRAY

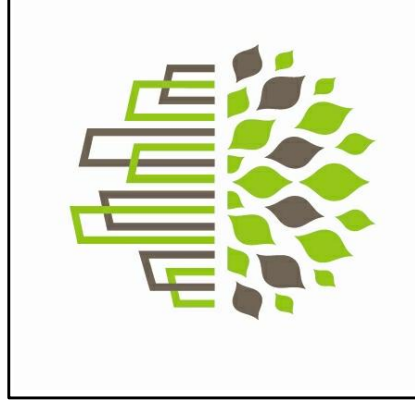
PLANT LEGEND



LEGEND



SCALE: 1" = 20'



Colorado
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WWW.COLASDESIGN.COM

THE EAGLE RIVER ENCLAVE
MAIN STREET
MINTURN, COLORADO 81645
EAGLE COUNTY, COLORADO

REV#	DATE	DESCRIPTION
1	04/07/21	BERM

ISSUE DATE:
DRAWN: CB REVIEWED: CB

PROJECT NUM: 04-252020

BERM
LANDSCAPE
PLAN

L1.2



EXISTING PLANT SCHEDULE

ABBV	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
CA	2	3"	Platanus occidentalis	AMERICAN SYPHORE	DSP
CA	2	3"	Platanus occidentalis	AMERICAN SYPHORE	DSP
CA	1	16"	Platanus occidentalis	AMERICAN SYPHORE	DSP
CA	1	16"	Platanus occidentalis	AMERICAN SYPHORE	DSP

PLANT LEGEND

- DECIDUOUS TREE (Symbol)
- ORAMENTAL TREE (Symbol)
- EVERGREEN TREE (Symbol)
- DECIDUOUS SHRUBS (Symbol)
- EVERGREEN SHRUBS (Symbol)
- ROSE (Symbol)
- FEATHER REED GRASS (Symbol)
- DECIDUOUS SHRUBS: BLUE FESCUE 8"
- DECIDUOUS SHRUBS: BLUE FESCUE 12"
- NATIVE PERENNIALS: GREYING ANEMONE
- EXISTING BOULDERS (Symbol)
- PROPOSED BOULDERS (Symbol)

BERM PROPOSED PLANT SCHEDULE

ABBV	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
CA	4	10"	Prunus nigra	AMERICAN BURNING BUSH	DSP
CA	4	10"	Prunus nigra	AMERICAN BURNING BUSH	DSP
CA	4	10"	Prunus nigra	AMERICAN BURNING BUSH	DSP
CA	4	10"	Prunus nigra	AMERICAN BURNING BUSH	DSP

BERM PERENNIAL PLANT SCHEDULE

ABBV	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
AC	10	#1	Asplenium platyneuron	ROCKY MOUNTAIN COLUMBINE	SPRAY
AM	20	#1	Aster multiflorus	MOUNTAIN TULIP	SPRAY
AS	4	#1	Aster multiflorus	MOUNTAIN TULIP	SPRAY
CH	11	#1	Chorizanthe rubra	RED VIOLET	SPRAY
DS	11	#1	Diarrhiza purpurea	PURPLE CREEK FLOWER	SPRAY
FG	11	#1	Festuca glauca 'Tight Blue'	ELEPHANT BLUE FESCUE	SPRAY
FG	11	#1	Festuca glauca 'Tight Blue'	ELEPHANT BLUE FESCUE	SPRAY
FG	11	#1	Festuca glauca 'Tight Blue'	ELEPHANT BLUE FESCUE	SPRAY
FG	11	#1	Festuca glauca 'Tight Blue'	ELEPHANT BLUE FESCUE	SPRAY
FG	11	#1	Festuca glauca 'Tight Blue'	ELEPHANT BLUE FESCUE	SPRAY
FG	11	#1	Festuca glauca 'Tight Blue'	ELEPHANT BLUE FESCUE	SPRAY

BERM ROCK GARDEN #1 PLANT SCHEDULE

ABBV	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
MJ	2	#5	Pinus mugo 'Jacobson'	DWARF MUGO PINE	DSP
VP	1	F-15	Veronica perfoliata	BLUE MOUNTAIN SPEEDWELL	SPRAY
DP	6	#1	Delosmeia barbidentata	STARBUCK LIPART	SPRAY
IR	9	#1	IRS hibernica	DWARF BEARD-HEAD IRS	SPRAY
SP	6	#1	Anemone maritima 'Spandan'	SEA PINK	SPRAY
CT	6	#1	Cerastium tomentosum	SNOW-IN-SUMMER	SPRAY
DC	3	#1	Diarrhiza purpurea 'Zing Rose'	ZING ROSE WATER PINK	SPRAY
HS	3	#1	Hemerocallis 'Snow Angel'	VARIETY PALETTE CORAL BELLS	SPRAY

BERM ROCK GARDEN #2 PLANT SCHEDULE

ABBV	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
MJ	2	#5	Pinus mugo 'Jacobson'	DWARF MUGO PINE	DSP
VP	1	F-15	Veronica perfoliata	BLUE MOUNTAIN SPEEDWELL	SPRAY
DP	6	#1	Delosmeia barbidentata	STARBUCK LIPART	SPRAY
IR	9	#1	IRS hibernica	DWARF BEARD-HEAD IRS	SPRAY
SP	6	#1	Anemone maritima 'Spandan'	SEA PINK	SPRAY
CT	6	#1	Cerastium tomentosum	SNOW-IN-SUMMER	SPRAY
DC	3	#1	Diarrhiza purpurea 'Zing Rose'	ZING ROSE WATER PINK	SPRAY
HS	3	#1	Hemerocallis 'Snow Angel'	VARIETY PALETTE CORAL BELLS	SPRAY

BERM ROCK GARDEN #3 PLANT SCHEDULE

ABBV	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
MJ	2	#5	Pinus mugo 'Jacobson'	DWARF MUGO PINE	DSP
VP	1	F-15	Veronica perfoliata	BLUE MOUNTAIN SPEEDWELL	SPRAY
DP	6	#1	Delosmeia barbidentata	STARBUCK LIPART	SPRAY
IR	9	#1	IRS hibernica	DWARF BEARD-HEAD IRS	SPRAY
SP	6	#1	Anemone maritima 'Spandan'	SEA PINK	SPRAY
CT	6	#1	Cerastium tomentosum	SNOW-IN-SUMMER	SPRAY
DC	3	#1	Diarrhiza purpurea 'Zing Rose'	ZING ROSE WATER PINK	SPRAY
HS	3	#1	Hemerocallis 'Snow Angel'	VARIETY PALETTE CORAL BELLS	SPRAY

BERM ROCK GARDEN #4 PLANT SCHEDULE

ABBV	QTY	SIZE	BOTANICAL NAME	COMMON NAME	IRRIGATION TYPE
MJ	2	#5	Pinus mugo 'Jacobson'	DWARF MUGO PINE	DSP
VP	1	F-15	Veronica perfoliata	BLUE MOUNTAIN SPEEDWELL	SPRAY
DP	6	#1	Delosmeia barbidentata	STARBUCK LIPART	SPRAY
IR	9	#1	IRS hibernica	DWARF BEARD-HEAD IRS	SPRAY
SP	6	#1	Anemone maritima 'Spandan'	SEA PINK	SPRAY
CT	6	#1	Cerastium tomentosum	SNOW-IN-SUMMER	SPRAY
DC	3	#1	Diarrhiza purpurea 'Zing Rose'	ZING ROSE WATER PINK	SPRAY
HS	3	#1	Hemerocallis 'Snow Angel'	VARIETY PALETTE CORAL BELLS	SPRAY

