



AGENDA

MEETING OF THE MINTURN PLANNING COMMISSION Minturn, CO 81645 • (970) 827-5645

**Meeting will be held online via Zoom Conferencing and call-in.
Public welcome to join meeting using the following methods:
Join from PC, Mac, Linux, iOS or Android:**

<https://us02web.zoom.us/j/85396363074>

Phone:

+1 651 372 8299 US

+1 301 715 8592 US

Meeting ID: 853 9636 3074

Wednesday, May 12, 2021

Regular Session – 6:30 PM

CHAIR – Lynn Teach

COMMISSION MEMBERS:

Jeff Armistead

Elliot Hovey

Tom Priest

Christopher Manning

Jena Skinner

When addressing the Commission, please state your name and your address for the record prior to providing your comments. Please address the Commission as a whole through the Chair. All supporting documents are available for public review in the Town Offices – located at 302 Pine Street, Minturn CO 81645 – during regular business hours between 8:00 a.m. and 5:00 p.m., Monday through Friday, excluding holidays.

Regular Session – 6:30pm

1. Call to Order

- Roll Call
- Pledge of Allegiance

2. Approval of Agenda

- Items to be Pulled or Added
- Declaration of Conflicts of Interest

3. **Approval of Minutes**
 - April 28, 2021
4. **Public comments on items, which are NOT on the agenda (5min time limit per person)**
5. **Planning Commission Comments**

DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

6. **701 Boulder Street – Bilello Residence Alteration of Approved Plans for New Single Family Residence**

Review and approval of minor alterations to plans originally approved May 13, 2020.
Recommendation: Approval
7. **482 Eagle River Street – Hutton Residence Alteration of Approved Plans for New Single Family Residence**

Review and approval of minor alterations to plans originally approved January 27, 2021.
Recommendation: Approval
8. **261 Main Street – Faircloth Residence**

Review of a garage addition with a bedroom below, a breezeway connecting the primary structure to the secondary structure, and a dining room extension at 261 Main Street.
Recommendation: Approval with Conditions

PROJECTS AND UPDATES

9. **Project Updates**
 - Chapter 16 Zoning Code Amendment
10. **Planning Director Report & Minor DRB Approvals by Director**
 - Belden Place Preliminary Plan Application Status
 - Minturn North Preliminary Plan Application Status
11. **Future Meetings**
 - May 26, 2021
 - June 9, 2021
12. **Adjournment**



OFFICIAL MINUTES

MEETING OF THE MINTURN PLANNING COMMISSION Minturn, CO 81645 • (970) 827-5645

**Meeting will be held online via Zoom Conferencing and call-in.
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<https://us02web.zoom.us/j/87147540414>

Phone:

+1 651 372 8299 US

+1 301 715 8592 US

Meeting ID: 871 4754 0414

Wednesday, April 28, 2021

Regular Session – 6:30 PM

CHAIR – Lynn Teach

COMMISSION MEMBERS:

Jeff Armistead

Elliot Hovey

Tom Priest

Christopher Manning

Jena Skinner

When addressing the Commission, please state your name and your address for the record prior to providing your comments. Please address the Commission as a whole through the Chair. All supporting documents are available for public review in the Town Offices – located at 302 Pine Street, Minturn CO 81645 – during regular business hours between 8:00 a.m. and 5:00 p.m., Monday through Friday, excluding holidays.

Regular Session – 6:30pm

1. Call to Order

- Roll Call

Lynn T. called the meeting to order at 6:30 pm.

Those present at roll call: Lynn T., Jena S, Elliot H, Chris M, Tom P., and Jeff A.

Staff Members Present: Town Planner Scot Hunn, Planner I Madison Harris, and Assistant Town Attorney Richard Peterson-Cremer.

- Pledge of Allegiance

2. Approval of Agenda

- Items to be Pulled or Added

Motion by Jena S., second by Tom P., to approve the agenda as presented.

Motion passed 5-0.

3. Approval of Minutes

- April 14, 2021

Motion by Jeff A., second by Chris M., to approve the minutes of April 14, 2021 as amended. Motion passed 5-0.

4. Public comments on items, which are NOT on the agenda (5min time limit per person)

No Public Comment.

5. Planning Commission Comments

Lynn T. asked the new members to introduce themselves.

Tom P. stated that he has lived in Minturn for about three years. He is intending to be here for the rest of his life. He will be in Iraq for 8 weeks this summer.

Elliot H. has been here about four years, and is not planning on leaving any time soon.

6. New Planning Commissioner Training

Richard P-C. and Scot H. outlined the training presentation. This is a lot of information but is designed to outline the legal, quasi-judicial review, and formal procedure when land use regulations are reviewed. Land use regulations are held in Chapter 16, 17 and 18 of the Minturn Municipal Code. He stated land use regulations are developed by the Planning Commission, adopted by Council, and administered by staff.

Chapter 16 includes the Land Use regulations including zoning districts, permitted uses, sign codes and other related subjects for development.

Chapter 17 includes subdivisions and related subjects.

Chapter 18 includes the International Building and Fire codes as adopted by Council.

Richard P-C. reviewed the issues and procedures and how to maintain a nonbiased mind and opinion as well as what is covered by the Open Meetings/Sunshine law.

This was a training session and no direction or decision was requested.

Tom P. clarified the legality of discussing with a developer their project before they have submitted an application and after.

Jena S. commented that Town Council has an agenda item that requires any members to clarify any ex parte communications or anything that would require them to recuse themselves. Should we be doing that as well?

- Richard P-C. said that it would be a good practice to get into.

DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

7. 996 Main Street, Lot 2 – New Single Family Residence Final Plan Review

Review and approval of plans for a new single family residence at 996 Main Street, Lot 2.

Recommendation: Approval with Conditions

Scot H. introduced the project. This parcel is part of a new subdivision which created one commercial lot and two residential lots. 4 bedroom house that is 4,229 square feet. The South Town Commercial Zone district allows for Single Family Residential as a use by right. The house is properly sited on the lot. There is no issue with the 30 foot river setback. The building height is just under the 28 foot height limit. We need final details on the light fixtures. One of the issues with this is the size of Lot 2 of this subdivision. The minimum lot size in this South Town commercial zone district is 7,500 square feet, but this subdivision created a 6,800 square foot lot. The original intent was to rezone these parcels to residential, so just getting to it in a roundabout way. With the rezoning, it will conform the residential zone district standards. There will be a condition added to the approval that ensures that Town Council passes the ordinance to rezone before building permit is issued.

Jeff A. pointed out that Town Council is sensitive to losing commercial so this might be a roll of the dice.

Michael Pukas, PO Box 288 Gypsum, CO 81637.

The concept was a 4 bedroom house with a large great room. This isn't a very encumbered lot, but it is fairly narrow and long as well as having a shared driveway off of Highway 24. Two bedrooms on the west side above the two car garage. The lower level has a two car garage, office/art studio, great room with kitchen /living/dining. Large deck off of the great room. Water table is a concern due to the proximity to the river. A partial full basement with stable footings. Had to raise the lot about 3.5'. In order to stay within height limits, the shed roofs made sense. Wanted mining yet modern style house. There are a few steps in the floor plan to break up the massing. The vertical elements help break up the long, horizontal nature of the building. Standing seam (super insulated) metal roof. Will make sure the cor-ten is sealed to mitigate any leaching of the rusted metal running to the river. A condition of approval should be added for an encroachment agreement with ERWSD concerning the encroachment into the sewer easement. A six foot tall fence on either side of the house that complies with the code.

Jena S. asked if the fire place is wood burning or gas.

Mr. Pukas said that it is wood burning, but it will be fitted with a gas log set.

Jeff A. appreciated the attention to previous plan reviews that they have gone through like with the corrugated metal siding. Asked about the fireplace. Likes the style and design.

Chris M. likes the project. Had questions about the super-insulation and made sure that there wouldn't be a risk of large ice-dams.

Tom P. liked the project. Asked about the construction timeline based on the encroachment agreement with ERWSD and the rezoning ordinance.

- Mr. Pukas said they are looking at 12 months of build time. Hopefully breaking ground by June.

Elliot H. liked the project as well. Asked about the shared driveway.

Lynn T. asked about the radon mitigation.

Jeff A. had questions about the access easement, and the driveway dead ending at the property line of Lot 3.

Public comment was opened and closed.

Motion by Jena S., second by Chris M., to approve with conditions 996 Main Street a New Single Family Residence for a Final Plan Review. All in favor 5-0.

1. This Final Plan approval is contingent upon the successful rezoning of Lots 1 and 2, Lucero Subdivision, as initiated by the Town. The Town will permit application for and review of a building permit submission for Lot 2 Final Plans prior to final action taken by the Town Council on the rezoning at the Applicant's risk. No building permit will be issued until such time that rezoning of Lots 1 and 2 are finally approved by the Town Council.
2. The Applicant shall provide final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit application to ensure compliance with the Town's lighting standards.
3. The Applicant shall provide written evidence of an executed encroachment agreement by and between the Eagle River Water and Sanitation District and the Applicant for minor above grade (cantilevered) improvements of a deck into the 20 foot sewer line easement prior to or concurrent with building permit issuance.

5 minute recess called at 8:04 pm.

8. 172 Main Street – Minturn Adventure Lodge Conceptual Review

Review and provide feedback on a proposed boutique hotel at 172 Main Street. Scot H. introduced the project. Ron Levin, owner of 172 Main Street, has submitted an application for a conceptual review of a new boutique hotel. This lot is zoned within the Old Town Character Area 100 Block Commercial Zone. The Applicant and his representatives, Pierce Austin Architects, have been involved in high-level discussions with the Town for approximately two years regarding potential new architectural design standards aimed at bulk, mass and building height controls in the 100-Block. Therefore, with this conceptual review, the Applicant's representatives have provided proposed building height and bulk plane modeling and standards for the Planning Commission's consideration. This proposed new modeling and standard reflects in several ways the outcomes of the 100 Block charrette held in October 2020 as well as the previous discussions of the Planning Commission with regard to activating the pedestrian level in front of or around any new buildings; respecting and enhancing the two-story appearance and character of existing buildings on Highway 24; and, allowing additional height (a third story) so long as minimum step backs are integrated into the design. This review is intended to garner a high-level discussion about the height, massing, scale, and appropriateness of this building within the 100 Block.

Kit Austin, 1081 Vailview Drive, Vail. Pierce Austin Architects.

Participated in the 100 Block Charrette, taking feedback from that, lowering the height limit to 24'. All setbacks would apply except for 70% of the frontage of a lot on Highway 24 could have a 0 foot front setback.

- Scot H. comes from the current configuration of buildings on Main Street that have a natural stepping in and stepping out. Some places have a build-to line rather than a setback.
- Mr. Austin said they promote pedestrian corridors at the setbacks. The upper level has a 20' setback from the front, 5' setback on the side and back, and a 0' setback if adjacent to other properties. The height limit is 36'. This is a consistent model of other urban centers, just scaled down. Trying to keep it at a pedestrian scale.
- Lynn T. asked for clarification on the setback of the third story.
- Mr. Austin said that it is a 30' setback from the property line. The program is a boutique hotel with five individual rooms on the ground level. Upper level has five small units (standard hotel rooms).

Ron Levin, 172 Main, Minturn, CO 81645.

The thought is it would cater to small groups geared towards 15-25 person groups with two eclectic gathering spaces. Would like to have musician or singer/song-writer conventions.

Mr. Austin said they are providing their parking on-site.

Mr. Levin said the whole third floor would be one big unit with a gathering space.

Lynn T. asked for the dimensions of the lot

- Mr. Pierce said that it was 100'x50'
- Madison H. clarified that the lot is shaped like a trapezoid so the dimensions are not 100'x50' exactly.

Jeff A. likes the concept and would like to help as much as possible. Great concept and idea. Would generate a lot of cool buzz for the town. One of the potential issues is that one of the goals of the 100 Block is to generate sales tax revenue. One of the biggest hurdles is the parking. Other big issue is the tallest element of the building seems to be 48' tall which is pushing the limits by 20'.

- Mr. Pierce said that the pedestrian perception would not be impacted by the taller elements.
- Jeff A. said that the stairwell could put the building into a different classification since it is technically a four story building rather than a three story building. He said that there are elements of this that might require a variance. The applicant should be prepared to answer questions about how this feels from the river side when you are across the tracks. This will most likely set a precedent and this needs to be a smart decision.

Jena S. agreed with Jeff A. Likes the design. Should be built for sound which would solve some issues before they arise. Maybe the lower level windows could fold up to encourage a relationship between the inside and the outside. Likes the pedestrian path. The tandem spaces might not work as planned. Should have renderings that show relationship to neighboring properties. Might want to consider lessening the windows for the neighbors.

Chris M. agreed with Jeff A. and Jena S. Thinks it is kind of big for Minturn, though understands the idea of picking between commercial and residential in the 100 Block. Maybe the stairwell should be put on one of the balconies instead of the roof to mitigate the height issue. Would like to see more.

Tom P. appreciated the concept. The reality of the 100 Block is that it is both commercial and residential as homes exist there and they aren't going to move. Would be great to have this put between the existing structures to give a better perception of scale. Might have to put the staircase diagonally up the side of the building. The parking is going to be an issue. As far as the height is concerned, parapet aside, this isn't more impactful than the Scarab building. The neighbors might have something else to say.

Elliot H. stated that supporting the creative arts is a very important thing. It might be beneficial to see how many people come and go with public transit. The building is reminiscent of a European style, and would be radical for the 100 Block. Would like to see any culture brought to town stay here, or foster the performing arts in the kids and the community here. Would like the community to be involved.

Lynn T. agreed with Tom P. about the tandem parking not really working. Off street parking is determined by the frontage of the lot on Highway 24. With the intent of the events you could have someone directing traffic to the public parking lot. In the Town's

guidelines it requires a plaza space to incorporate certain elements like trash cans and benches. Likes the idea of having a 3D display to see how it looks next to the adjacent buildings. The Design Guidelines also place emphasis on having historical architecture somewhere in the building. Would like to see a 5 foot setback minimum. The 48' height is an issue. We need to have Scot H. have this discussion with the Town Council.

Public comment was opened.

Shelly Bellm, 470 Pine St, representing Bellm family 192 Main Street.

Appreciate what the neighbors are attempting to do here and the desire to bring the vitality to the downtown Minturn. The zoning is commercial, however the homes in this area have existed for over a hundred years. The code concerning the 100 Block was last updated in 2016 to protect the grandfathered in homes and allow them to maintain them. With the flat roofs, they can maintain snow on them, but most likely it will be shoveled off to have events up there, and with only a five foot setback, the snow will most likely be dumped on neighboring properties. There is no landscaping, and there should be some sort of outdoor gathering place on the ground where people can sit on a bench or walk in the grass. Would like to see a legal survey as this is not a fully rectangular lot. The zoning standards don't meet this type of building. It is supposed to meet the character of the area and this doesn't. Parking is an issue and it has always been a problem. There are too many cars at this lot currently even though there isn't a curbcut. Minturn needs to work on improving vitality, but the bulk and mass is too large for the character area as it is now. The neighbors need to be brought into consideration. 48' to a neighbor is not a small project. It should be shown how the community surrounds this.

- Mr. Pierce offered to model Ms. Bellm's house to help craft a vision that works with the neighbors.
- Ms. Bellm understands that Minturn needs to grow, but this might not be the exact fit. So we should work together to find the right one.

Jean Flaherty's Comment read into the record by Madison H.

Jean Flaherty, 162 Main Street, Minturn, CO 81645.

We are the owners of 160 - 162 Main St. The purposed development of 172 Main St. is way too large/high for the lot it is situated on. It will most defiantly impact our home and the neighborhood in a negative way. I know change is inevitable, but feel what the town allows in each new development will affect the direction our town leans towards. If Minturn wants to stay Minturn, then the town needs to see that new structures are in line with that vision.

9. Ordinance No. (TBD) – Series 2021

An ordinance of the Town of Minturn, Colorado, rezoning Lot 1 and Lot 2, Lucero Subdivision, from commercial to residential in conformance with the Town of Minturn Master Plan and Land Use Code.

Recommendation: Approval

As this was discussed in conjunction with the 996 Main, Lot 2 review of a new single family home, Scot H. did not talk much about this. Public notice was posted and sent

out to the adjacent property owners. The intent of both lots has been to develop these lots as residential since it is a use by right in this zone district.

Jeff A. asked why we can't grant a variance for this particular lot and for the home to build so that we don't have to rezone.

- Jena S. doesn't think we want a variance because any time they want to do something with their lot they will have to come back through that process.
- Scot H. clarified that the intention was always to have residential on these lots so there isn't any future of commercial on these lots. This is more conforming with the surrounding zoning.

Public comment was opened and closed.

Motion made by Jena S., second by Tom P., to forward this to Council with the recommendation of approval of Ordinance No. TBD – Series 2021, an ordinance of the Town of Minturn, Colorado, rezoning Lot 1 and Lot 2, Lucero Subdivision, from commercial to residential in conformance with the Town of Minturn Master Plan and Land Use Code.

Motion passed 5-0.

10. Ordinance No. (TBD) – Series 2021

An ordinance of the Town of Minturn, Colorado amending Article 2, Chapter 16 of the Minturn Municipal Code.

Recommendation: Approval

Scot H. introduced the ordinance. These dimensional limitations were discussed starting in the fall of 2019 up until recently. This ordinance doesn't implement all of the changes proposed, but address the burning ones that help with projects that have been hanging out there.

Lynn T. asked in regards to these changes, will it effect the ability to keep the setbacks the same.

- Madison H. clarified that we aren't proposing any changes to the setbacks other than striking through the asterisk that is associated with the side setback standard of the 100 Block commercial zone as the asterisk is not associated with anything.

Jena S. stated that the code should reflect what is on the ground. We should make sure we have flexibility so we can avoid variances for a reasonable argument.

Public comment was opened and closed.

Motion made by Jena S., second by Tom P., to forward this to Council with the recommendation of approval of Ordinance No. TBD – Series 2021, an ordinance of the Town of Minturn, Colorado amending Article 2, Chapter 16 of the Minturn Municipal Code.

Motion passed 5-0.

PROJECTS AND UPDATES

11. Project Updates

- Chapter 16 Zoning Code Amendment
 - Looking to create a 3D model of the 100 Block.

12. Planning Director Report & Minor DRB Approvals by Director

- Belden Place Preliminary Plan Application Status
 - They have submitted their responses to referral comments. Currently reviewing and hoping to get to a hearing in May.
- Minturn North Preliminary Plan Application Status
 - Expecting them back in June. They have a deadline of May 28 to get staff a comprehensive packet.
- Rocky Mountain Real Estate Challenge
 - Concludes tomorrow. This is DU and CU grad students competing for a real life design. This should prompt us for an RFP. This will most likely be a mixed-use development.

13. Future Meetings

- May 12, 2021
- May 26, 2021

14. Adjournment

Motion by Jeff A., second by Tom P., to adjourn the regular meeting of April 28, 2021 at 10:08 pm. Motion passed 5-0.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Elliot Hovey
Tom Priest
Chris Manning
Jena Skinner

To: Planning Commission
From: Scot Hunn, Planning Director
Madison Harris, Planner I
Date: May 7, 2021
Re: 701 Boulder Street – Bilello New Residence Modification to Approved Plans

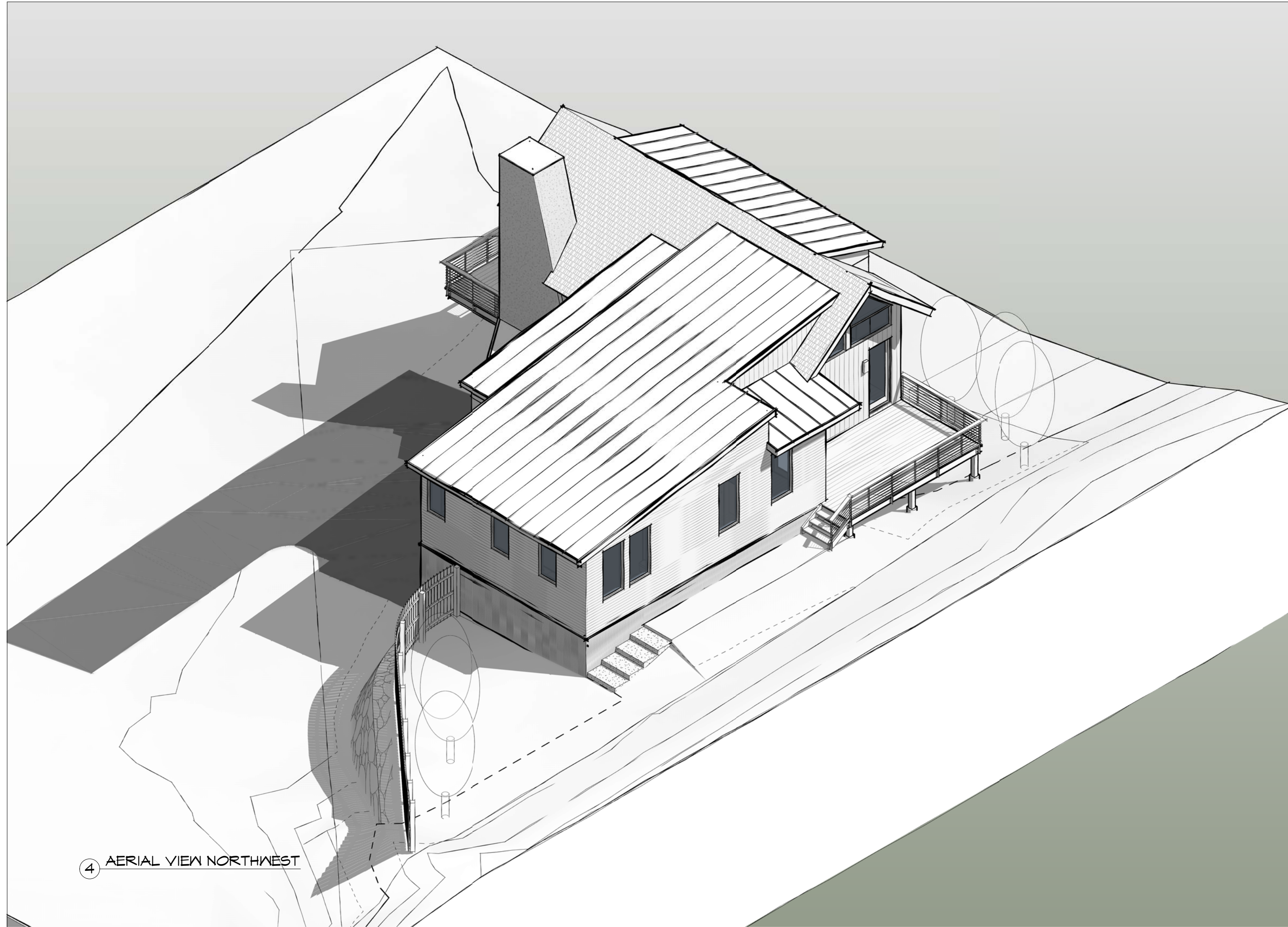
Mike Bilello, owner of 701 Boulder Street, received approval from the DRB on January 27, 2021 for a new single family residence located on his property.

The project is currently going through the building permit process and the Applicant has determined that the plans, as approved, require minor modifications to certain aspects of window mullions, sizing, and grouping; roof forms; above the entry way; and the support structure of the second story deck. Per an email from the Applicant to staff on April 28, 2021 the following is a description of the changes:

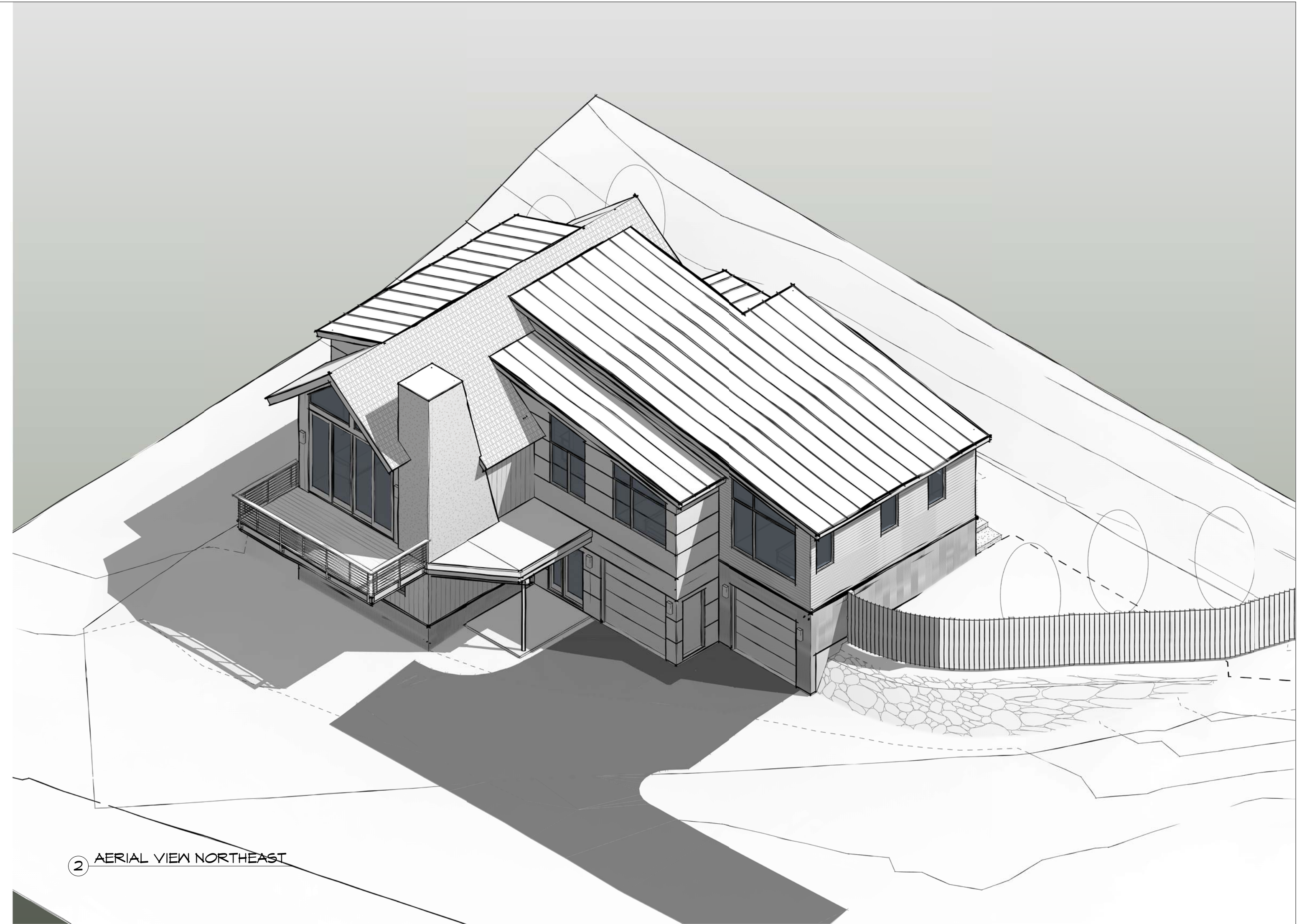
- At the front entry, the flat roof on the second level above the bedrooms and upper hall has been changed to a sloped roof. (Sheets A104, A201, A202)
 - The corner window was eliminated (Sheet A103)
 - Trapezoid windows were added that follow the sloped roof (Sheet A201)
- The sliding door on the east elevation at the great room on the upper level has been changed from 8'-0" tall to 10'-0" tall (Sheet A201)
 - The trapezoid windows above have been modified to accommodate the new door height (Sheet A201)
- On the south elevation at the great room on the upper level, the dormer has been dropped to the floor level (Sheet A201)
 - I had originally design the dormer bay to be 3'-6" above the floor, but it was too complicated and expensive to construct in this manner and required a change in the design
- On the west elevation, the windows at the master bedroom, bath 3, upper hall, and kitchen have been revised in size and adjusted in location (Sheet A202)
- On the east elevation, the steel cantilevered beams that support the upper level deck have been removed (Sheets A201, A202)
 - It was too costly and complicated to cantilever the steel beams, and instead we are cantilevering the floor framing structure to create the deck

Staff believes that the proposed modifications are minor in nature and will not change the project's conformance with the applicable standards of Chapter 16 – *Zoning*, or Appendix 'B' – *Design Standards and Guidelines* of the Minturn Municipal Code.

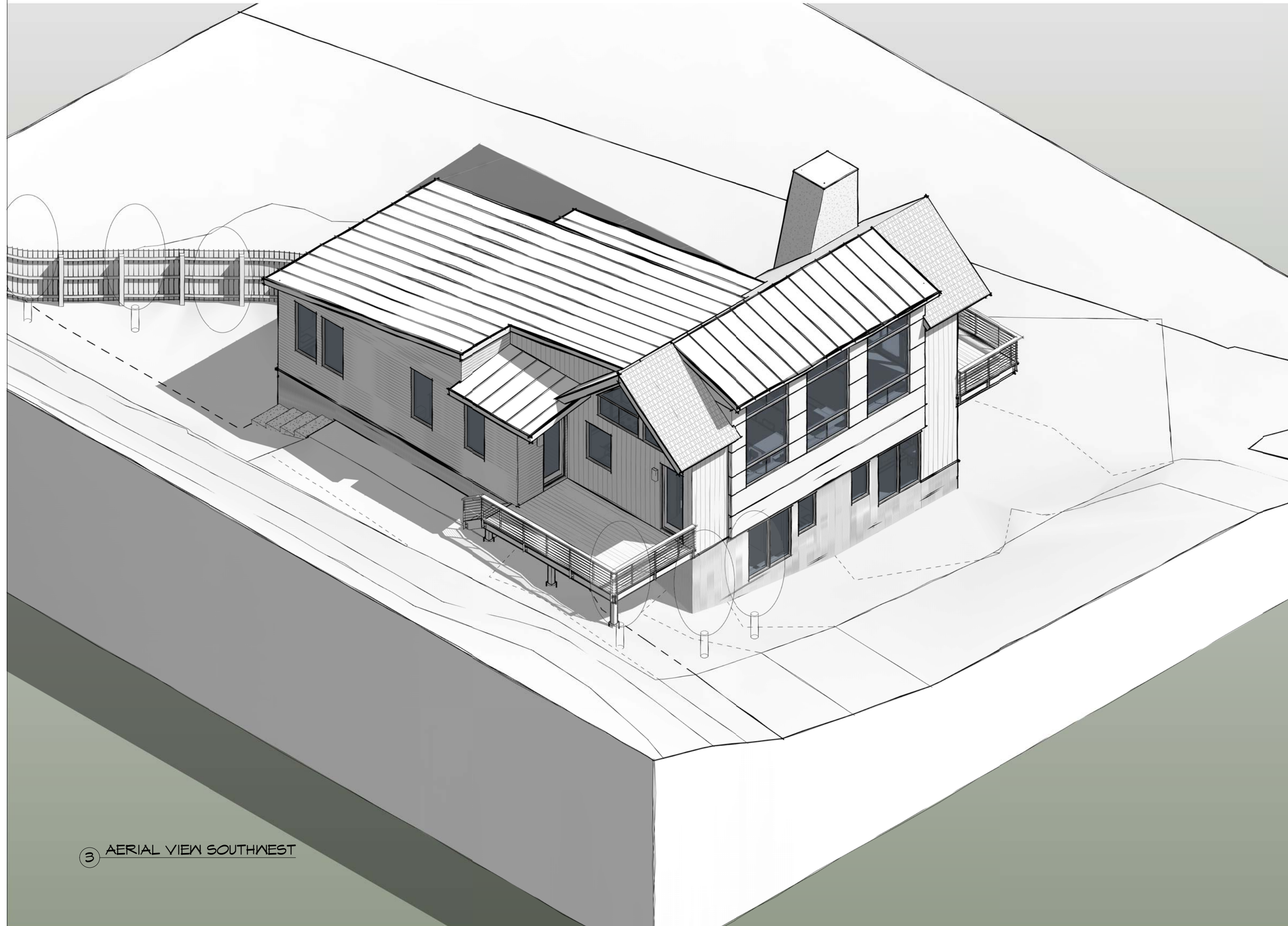
Staff is recommending approval without conditions.



④ AERIAL VIEW NORTHWEST



② AERIAL VIEW NORTHEAST



③ AERIAL VIEW SOUTHWEST



① AERIAL VIEW SOUTHEAST

mpp design shop, inc.

PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com

Bilello Residence

701 Boulder Street
Minturn, CO 81645

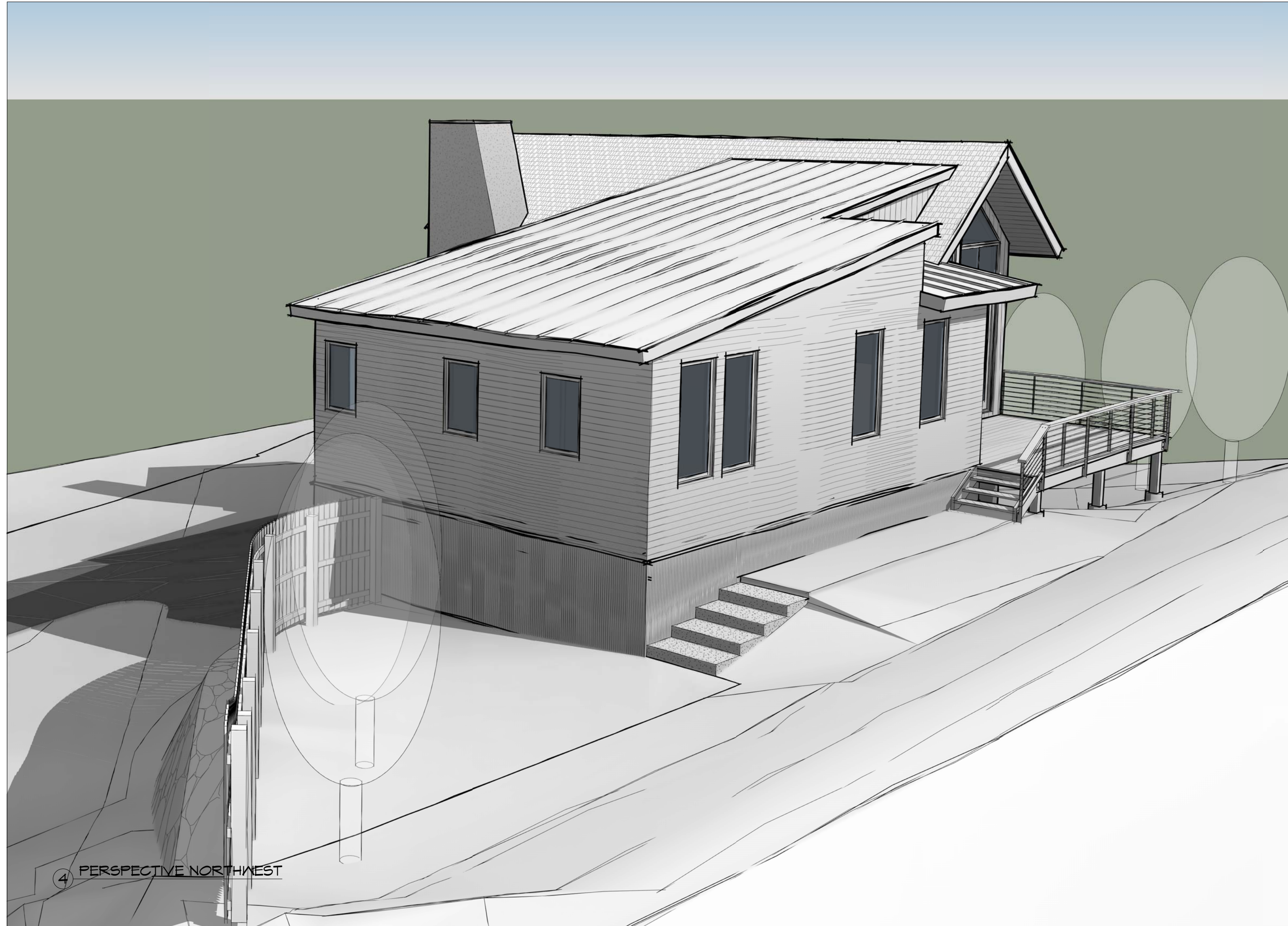
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#	Description	Date
1	DRB Submission	01/06/21

Project Number: 2007
Designed by: mpp
Drawn by: mpp
Checked by: mpp

AERIAL VIEWS

01



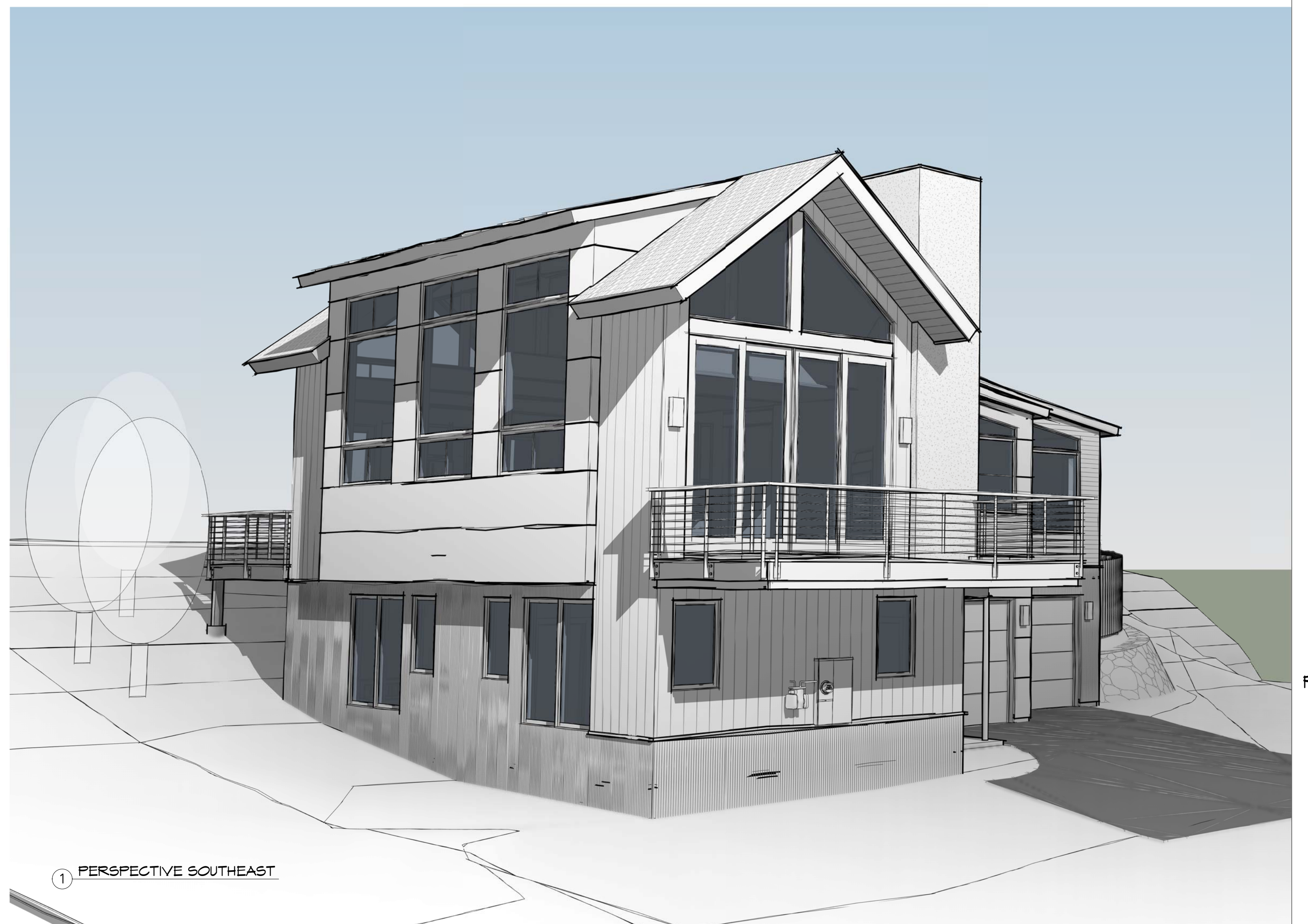
4 PERSPECTIVE NORTHWEST



2 PERSPECTIVE NORTHEAST



3 PERSPECTIVE SOUTHWEST



1 PERSPECTIVE SOUTHEAST

mpp design shop, inc.

PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com

Bilello Residence

701 Boulder Street
Minturn, CO 81645

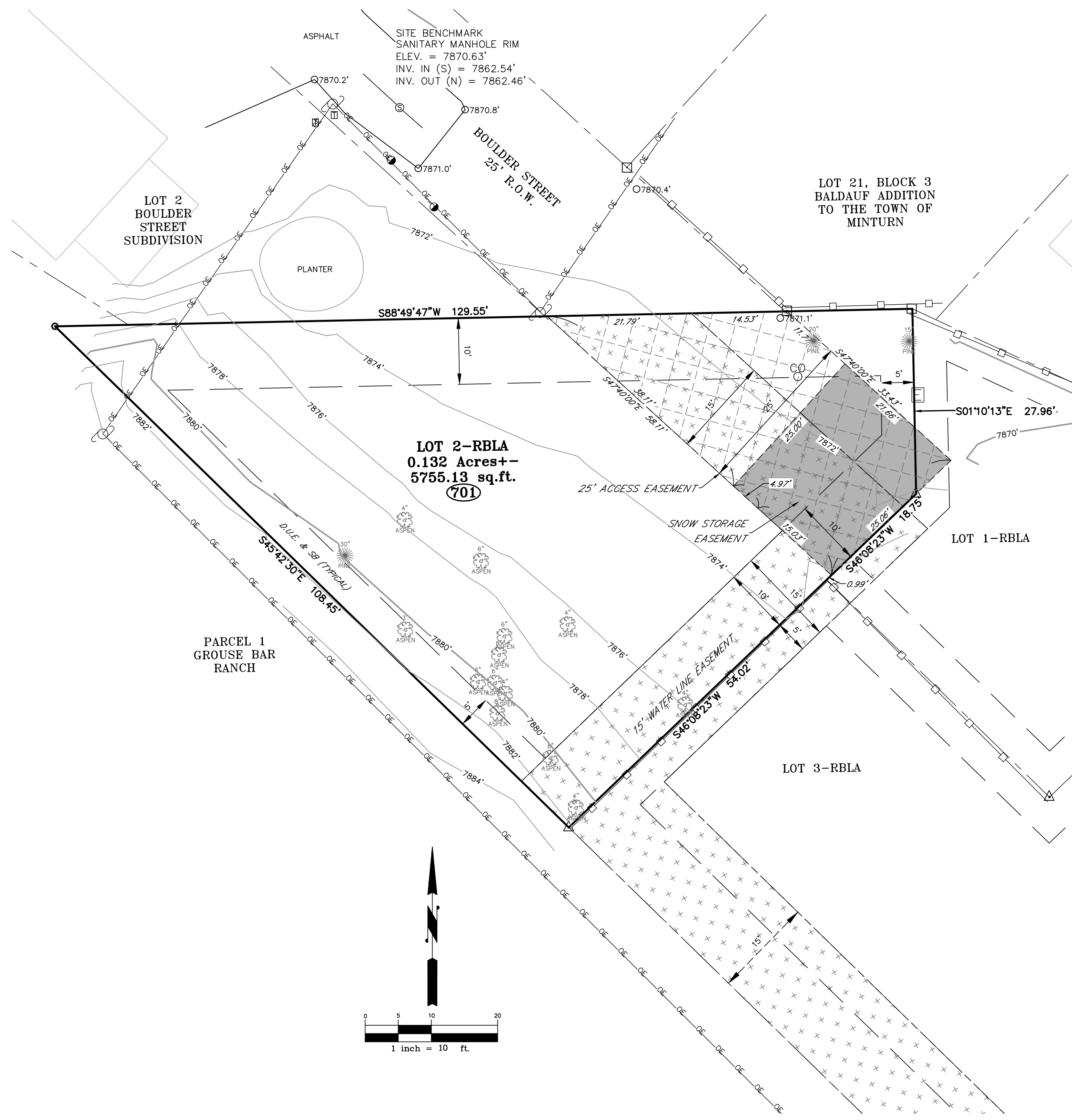
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#	Description	Date
1	DRB Submission	01/06/21

Project Number: 2007
Designed by: mpp
Drawn by: mpp
Checked by: mpp

PERSPECTIVE VIEWS

IMPROVEMENT LOCATION CERTIFICATE
WITH TOPOGRAPHY
LOT 2, RBLA MINTURN SUBDIVISION
Town of Minturn, County of Eagle, State of Colorado



LEGAL DESCRIPTION:

LOT 2, RBLA MINTURN SUBDIVISION, according to the the Corrected Plat recorded August 2, 2018, at reception #201813165 in the Office of the Clerk and Recorder, County of Eagle, State of Colorado.

NOTES:

- 1) DATE OF SURVEY: 7-13-20
- 2) Street Address: 701 Boulder Street (Not-Posted)
- 3) Benchmark: 3.25" Aluminum Cap, CDOT MM 145.8 Elevation = 7869.72'
Site Benchmark: Sanitary Manhole Rim Elevation = 7870.63' NAVD Vertical Datum
- 4) One foot contours shown hereon.
- 5) Location of improvements, lot lines, set backs, and easements are based upon the above-referenced Final Plat, Survey Monuments found at the time of this survey as shown hereon and Title Commitment Order No. V50057124 from Land Title Guarantee Company with an effective date of 6-15-20. This Survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property.
- 6) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.
- 7) NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

CERTIFICATION:

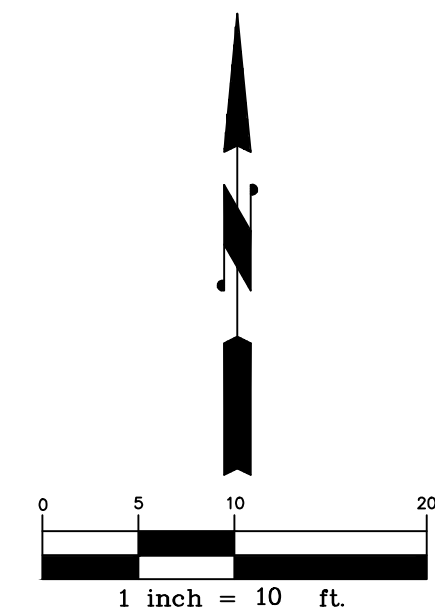
I hereby certify that this Improvement Location Certificate was prepared for Michael Anthony Bilello and Carlee S., and this is NOT a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvements lines. This certificate is valid only for use by Michael Anthony Bilello and Carlee S. and describes the parcels appearance on 7-13-20.

I further certify that the improvements on the above described parcel on this date, 7-13-20, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.



Randall P. Kipp P.L.S. #38079
Colorado Professional
Land Surveyor

LEGEND:	
N00°00'00"E 0.00'	DENOTES BOUNDARY LINE BEARING AND DISTANCE
---	DENOTES ACCESS & UTILITY EASEMENT LINE
---	DENOTES DRAINAGE/ UTILITY EASEMENT AND SETBACK LINE (D.U.E. & SB)
---	DENOTES OVERHEAD WIRES
---	DENOTES ADJOINING PROPERTY LINES
□	DENOTES WOOD POST AND RAIL FENCE
---○---	DENOTES OVERHEAD WIRE
□	DENOTES FOUND SURVEY MONUMENTS 1.5" ALUMINUM CAP ON #5 REBAR, LS #9337
○	DENOTES FOUND SURVEY MONUMENT 1.25" RED PLASTIC CAP ON #5 REBAR, LS #4551
△	DENOTES FOUND SURVEY MONUMENT - 1.5" ALUMINUM CAP ON #5 REBAR, LS #38079
○	DENOTES UTILITY POLE
○	DENOTES SANITARY CLEANOUT
○	DENOTES SANITARY MANHOLE
□	DENOTES ELECTRIC PEDESTAL
○	DENOTES GUY WIRE
□	DENOTES TELEPHONE PEDESTAL



IMPROVEMENT LOCATION CERTIFICATE WITH TOPOGRAPHY LOT 2, RBLA SUBDIVISION Town of Minturn, County of Eagle, Colorado		KIPP LAND SURVEYING RANDY KIPP P.L.S. P.O. Box 3154 Eagle, CO 81631 (970) 390-9540 email: randy@kipplandsurveying.com web: kipplandsurveying.com
JOB NO.: 15048	DATE: 7-13-20	
SHEET 1 OF 1	DWG NAME: 05048-Lot 2 RBLA	

LOT 2
BOULDER STREET SUBDIVISION
SHANE SORENSEN
BOOK 641 PAGE 873

CONSTRUCTION MANAGEMENT NOTES:
ALL BUILDING MATERIALS TO BE STORED ON SITE IN PARKING AND GRADED AREAS OUTSIDE OF 30' HWY SETBACK.
ALL SOIL REMOVED FOR EXCAVATION TO BE REMOVED FROM SITE AS REG'D. NO EXCESS SOILS TO BE STORED WITHIN 30' HWY SETBACK.
BACK-FILL SOILS TO BE PROCURED OFF-SITE AS REG'D AT TIME OF BACK-FILLING AND ROUGH GRADING.
ALL CONTRACTOR PARKING TO BE ON-SITE IN PARKING AREA, AS MUCH AS POSSIBLE, OR IN-TOWN ON-STREET PARKING ACCORDING TO MUNICIPAL PARKING REGULATIONS.

LOT 21, BLOCK 3
BALDAUF ADDITION TO THE TOWN OF MINTURN
IAN, J. LOCHHEAD
REC. NO. 65797

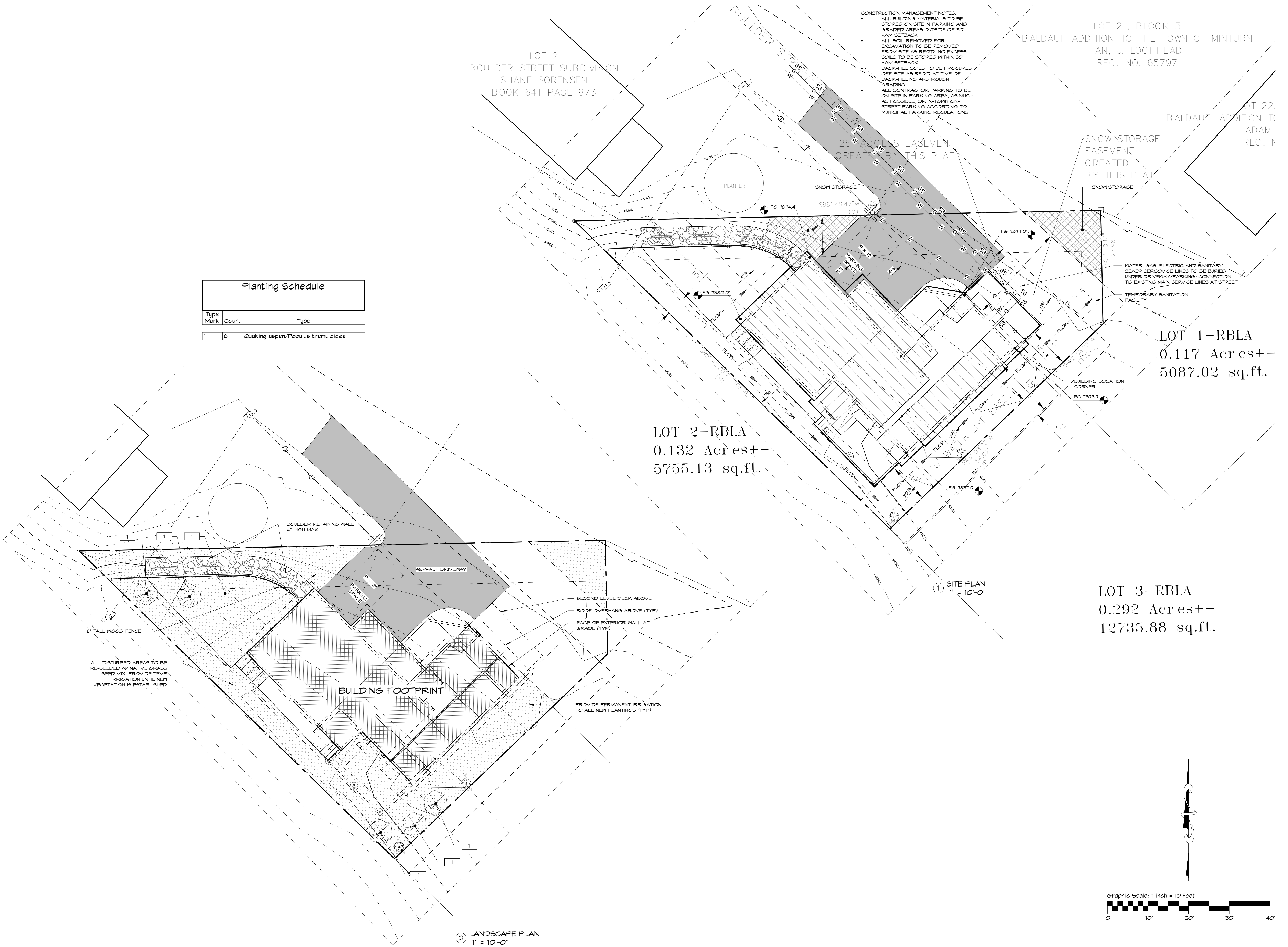
LOT 22,
BALDAUF ADDITION TO
ADAM
REC. N

LOT 1-RBLA
0.117 Acres +/-
5087.02 sq.ft.

LOT 2-RBLA
0.132 Acres +/-
5755.13 sq.ft.

LOT 3-RBLA
0.292 Acres +/-
12735.88 sq.ft.

Type Mark	Count	Type
1	6	Quaking aspen/Populus tremuloides



ALL DISTURBED AREAS TO BE RE-SEEDED IN NATIVE GRASS SEED MIX; PROVIDE TEMP IRRIGATION UNTIL NEW VEGETATION IS ESTABLISHED

BOULDER RETAINING WALL: 4' HIGH MAX

ASPHALT DRIVEWAY

BUILDING FOOTPRINT

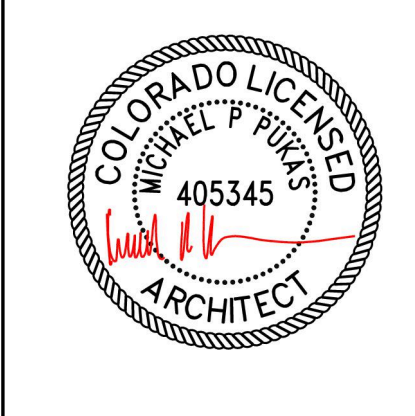
SECOND LEVEL DECK ABOVE
ROOF OVERHANG ABOVE (TYP)
FACE OF EXTERIOR WALL AT GRADE (TYP)

PROVIDE PERMANENT IRRIGATION TO ALL NEW PLANTINGS (TYP)

1 SITE PLAN
1" = 10'-0"

2 LANDSCAPE PLAN
1" = 10'-0"

mpp design shop, inc.
PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com



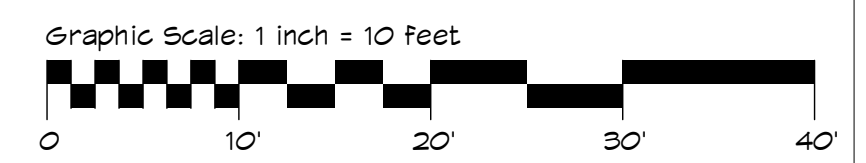
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#	Description	Date
1	DRB Submission	01/06/21

Project Number: 2007
Designed by: mpp
Drawn by: mpp
Checked by: mpp

SITE & LANDSCAPE PLANS



AS101

SITE AND BUILDING ANALYSIS

LOT SIZE: 0.132 ACRES / 5,755 SF
 DRIVEWAY AREA: 694 SF
 SNOW STORAGE REQUIRED @ 5%: 35 SF
 SNOW STORAGE PROPOSED: 311 SF
 TOTAL BEDROOMS PROPOSED: 4
 PARKING SPACES REQUIRED: 3
 PARKING SPACES PROPOSED: 3 (2 ENCLOSED, 1 SURFACE)

LOT AREA & ALLOWABLE COVERAGE		
LOT AREA	BUILDING LOT COVERAGE @ 40%	IMPERVIOUS SURFACE COVERAGE @ 50%
5,755 SF	2,302 SF	2,878 SF

BUILDING LOT COVERAGE	
BUILDING LOT COVERAGE	1,663 SF
	1,663 SF

IMPERVIOUS SURFACE COVERAGE	
BACK DECK COVERAGE	195 SF
BUILDING LOT COVERAGE	1,662 SF
DRIVEWAY COVERAGE	698 SF
FRONT DECK COVERAGE	142 SF
WALKWAY COVERAGE	132 SF
	2,829 SF

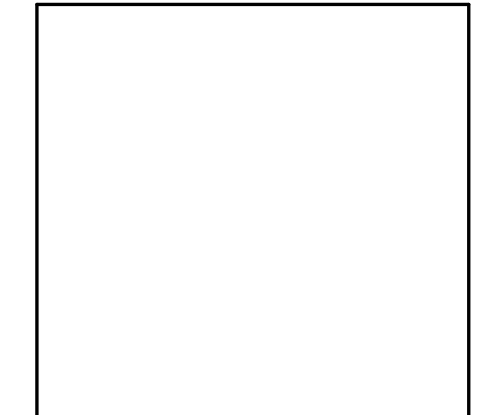
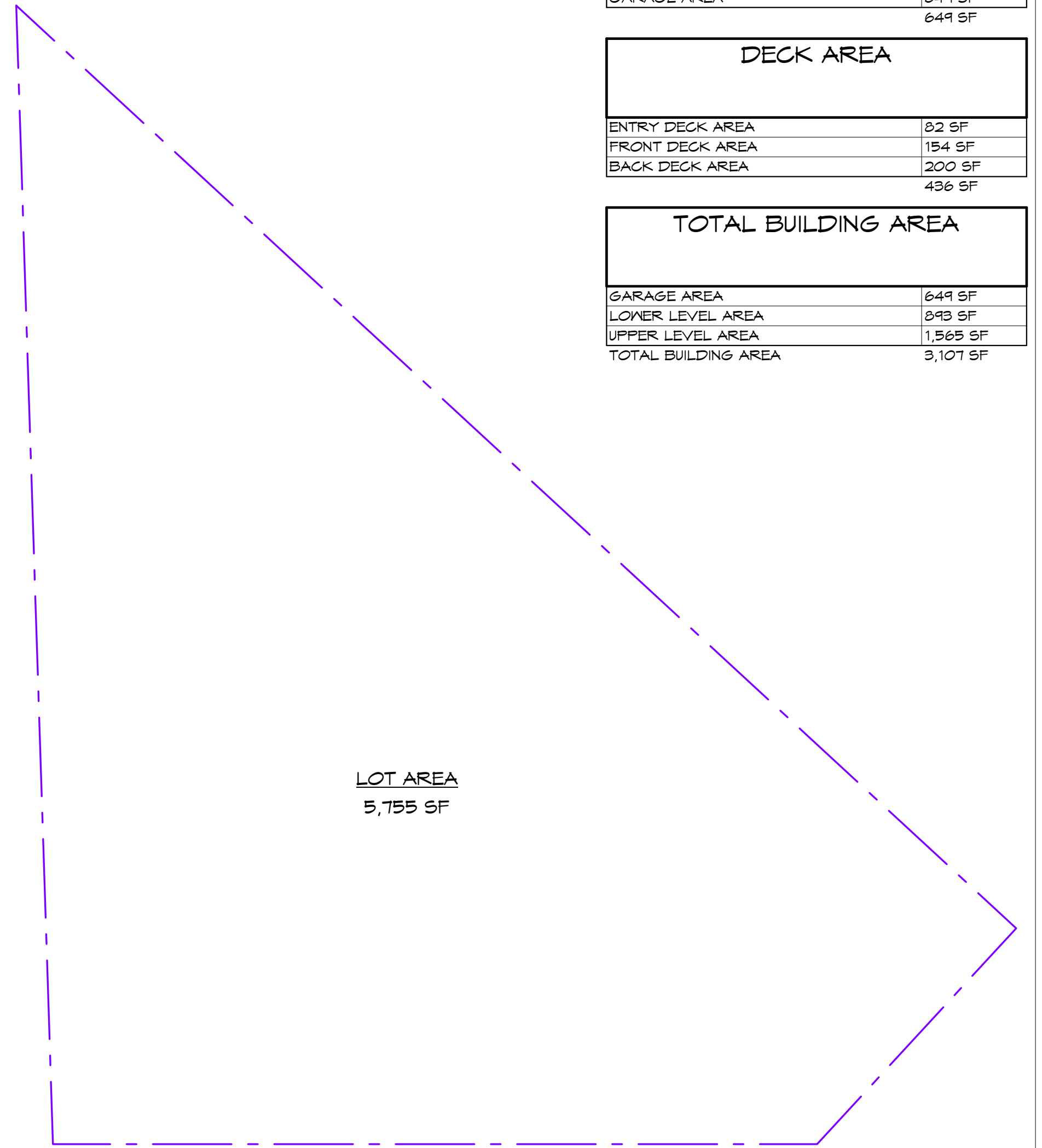
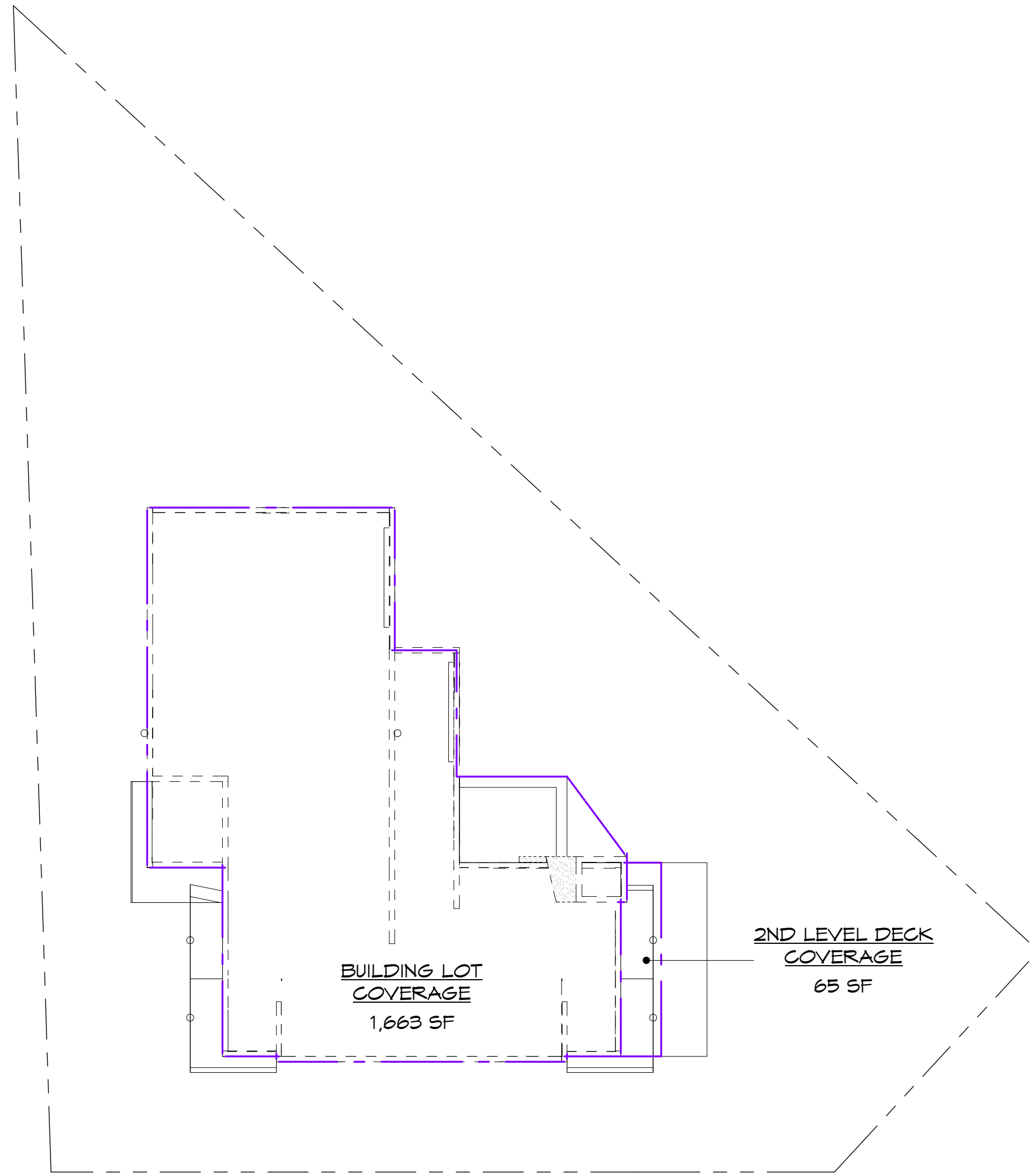
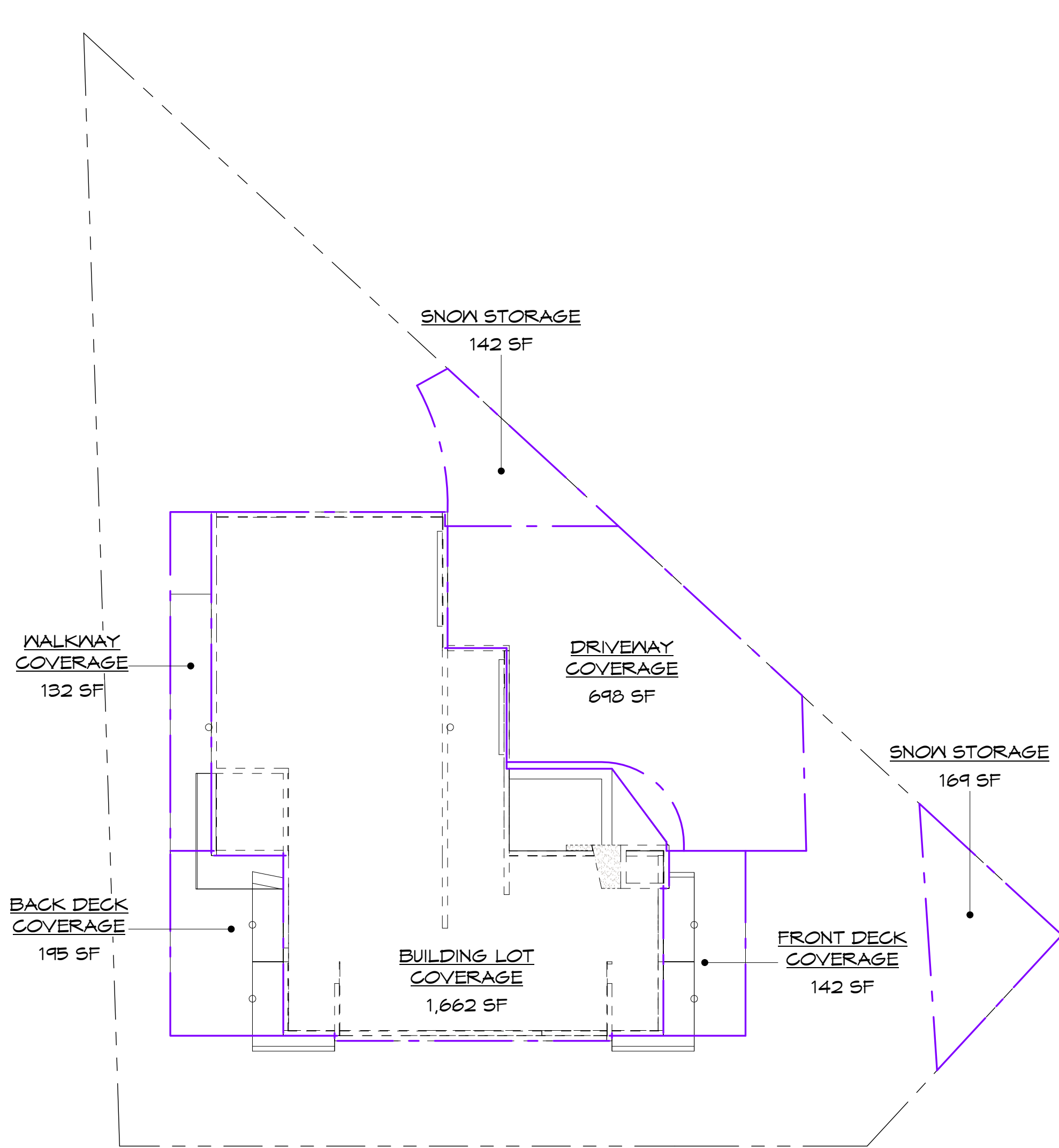
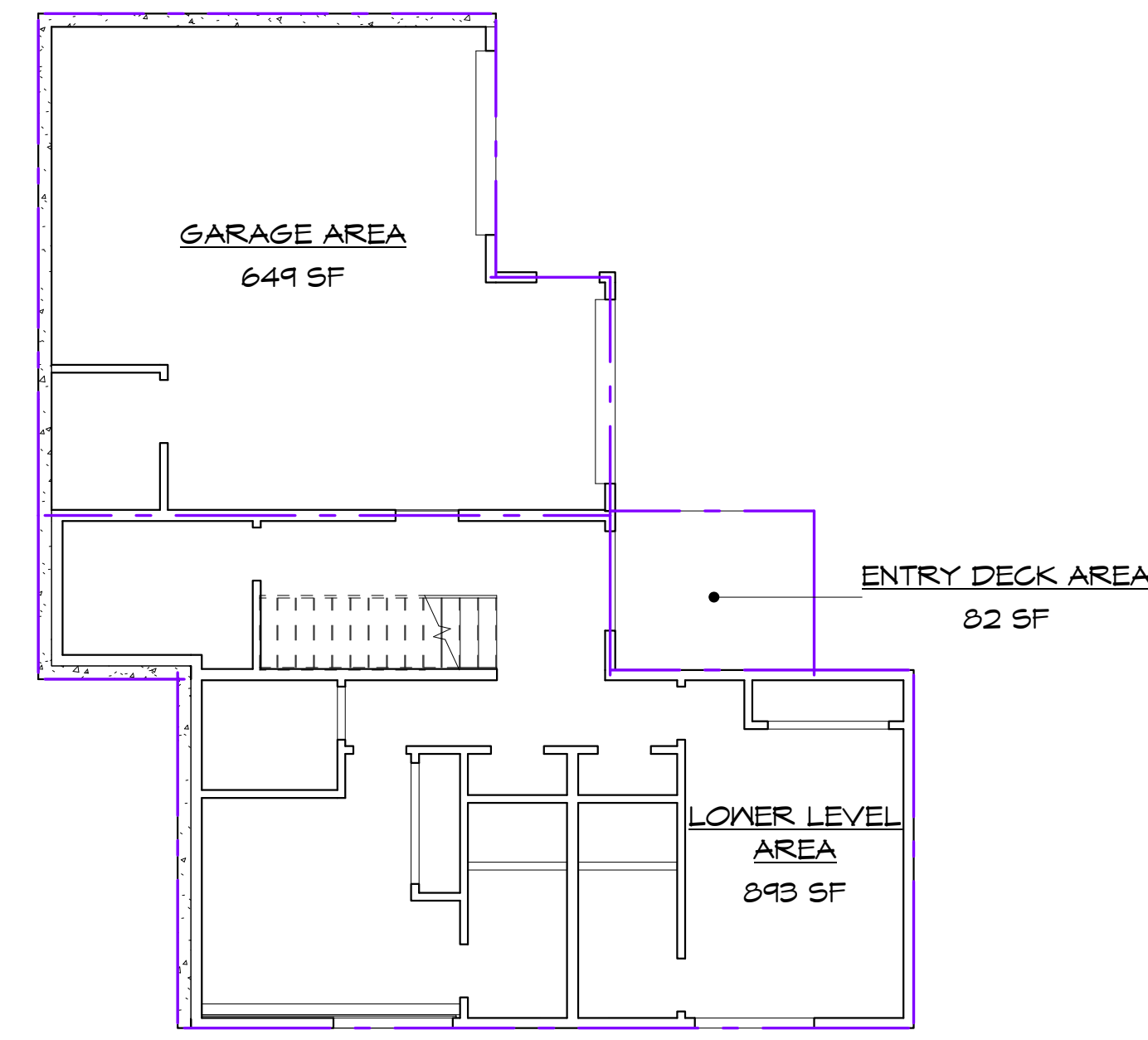
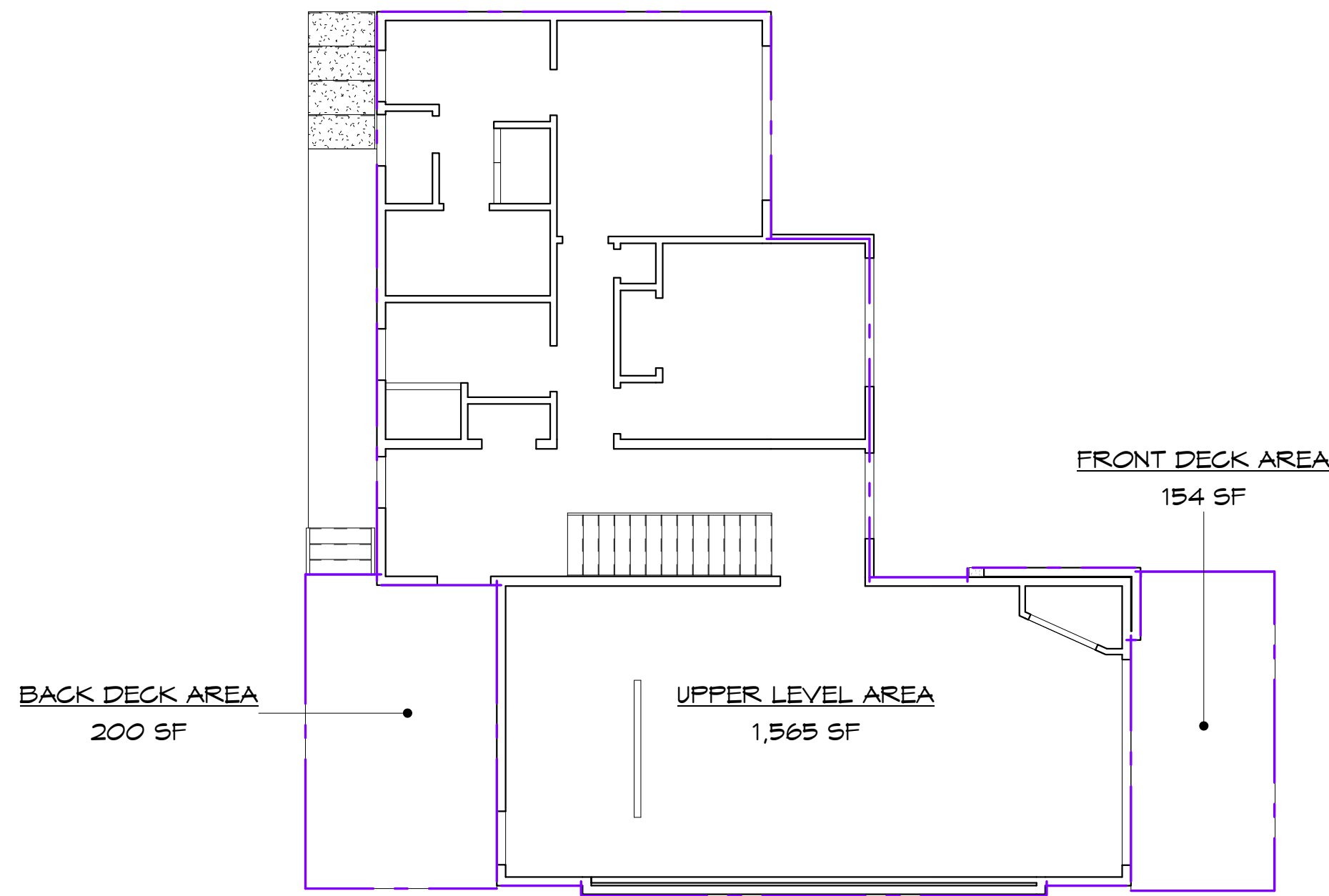
SNOW STORAGE AREA	
SNOW STORAGE	142 SF
SNOW STORAGE	169 SF
	311 SF

LIVEABLE FLOOR AREA	
LOWER LEVEL AREA	893 SF
UPPER LEVEL AREA	1,565 SF
2ND LEVEL DECK COVERAGE	65 SF
	2,523 SF

GARAGE AREA	
GARAGE AREA	649 SF
	649 SF

DECK AREA	
ENTRY DECK AREA	82 SF
FRONT DECK AREA	154 SF
BACK DECK AREA	200 SF
	436 SF

TOTAL BUILDING AREA	
GARAGE AREA	649 SF
LOWER LEVEL AREA	893 SF
UPPER LEVEL AREA	1,565 SF
TOTAL BUILDING AREA	3,107 SF



mpp design shop, inc.
 PO Box 288
 Gypsum, CO 81637
 (970) 390-4931
 michael@mppdesignshop.com

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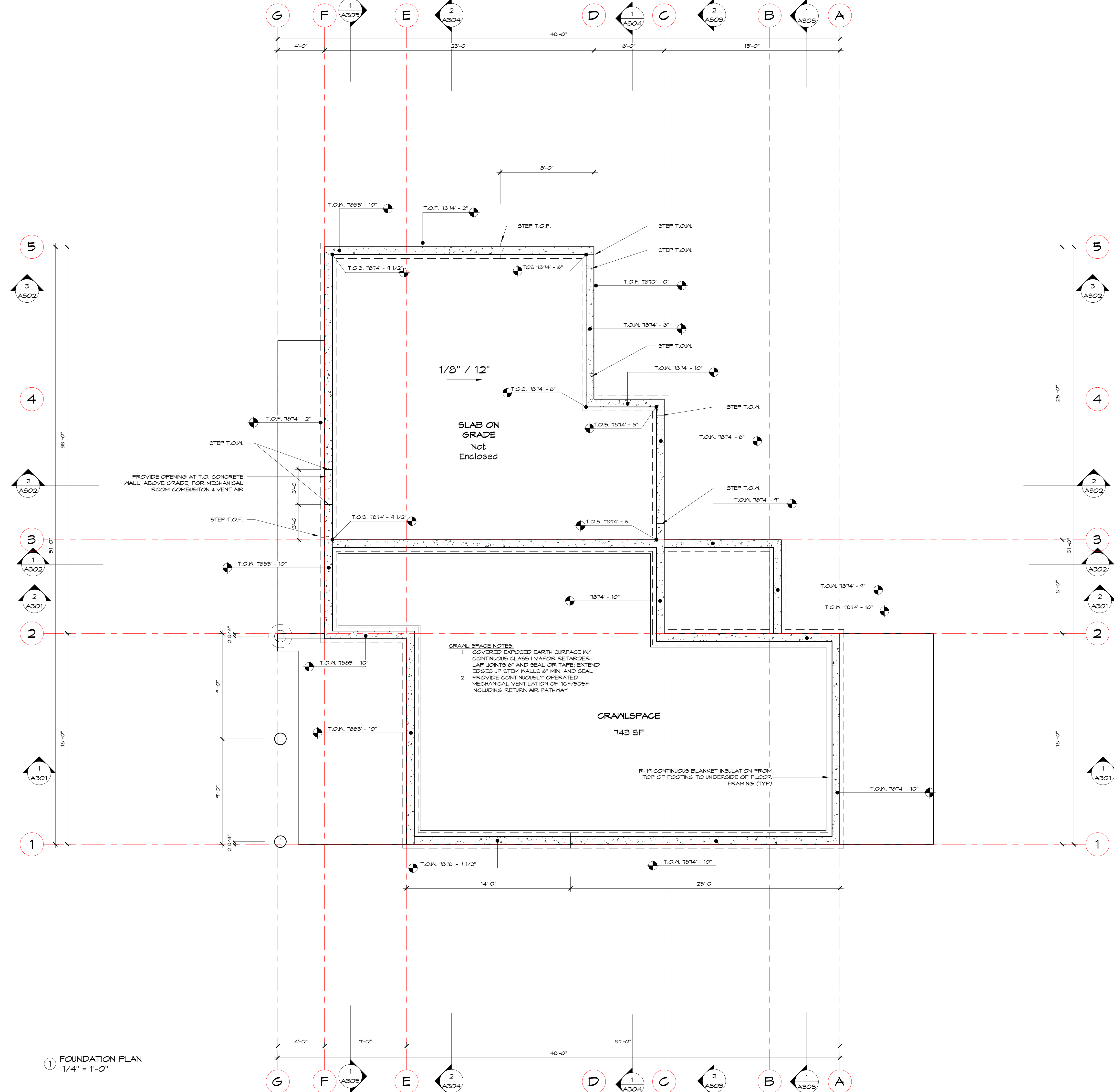
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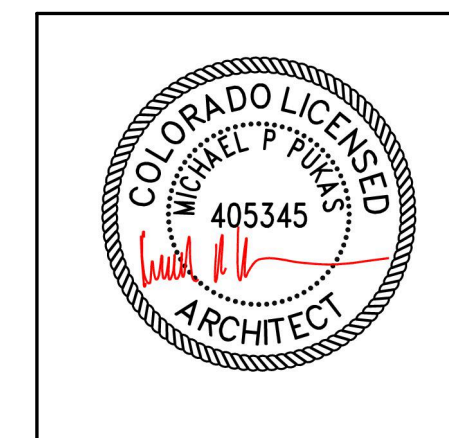
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 Designed by: mpp
 Drawn by: mpp
 Checked by: mpp

AREAS, SCHEDULES

A100
 18



1 FOUNDATION PLAN
1/4" = 1'-0"



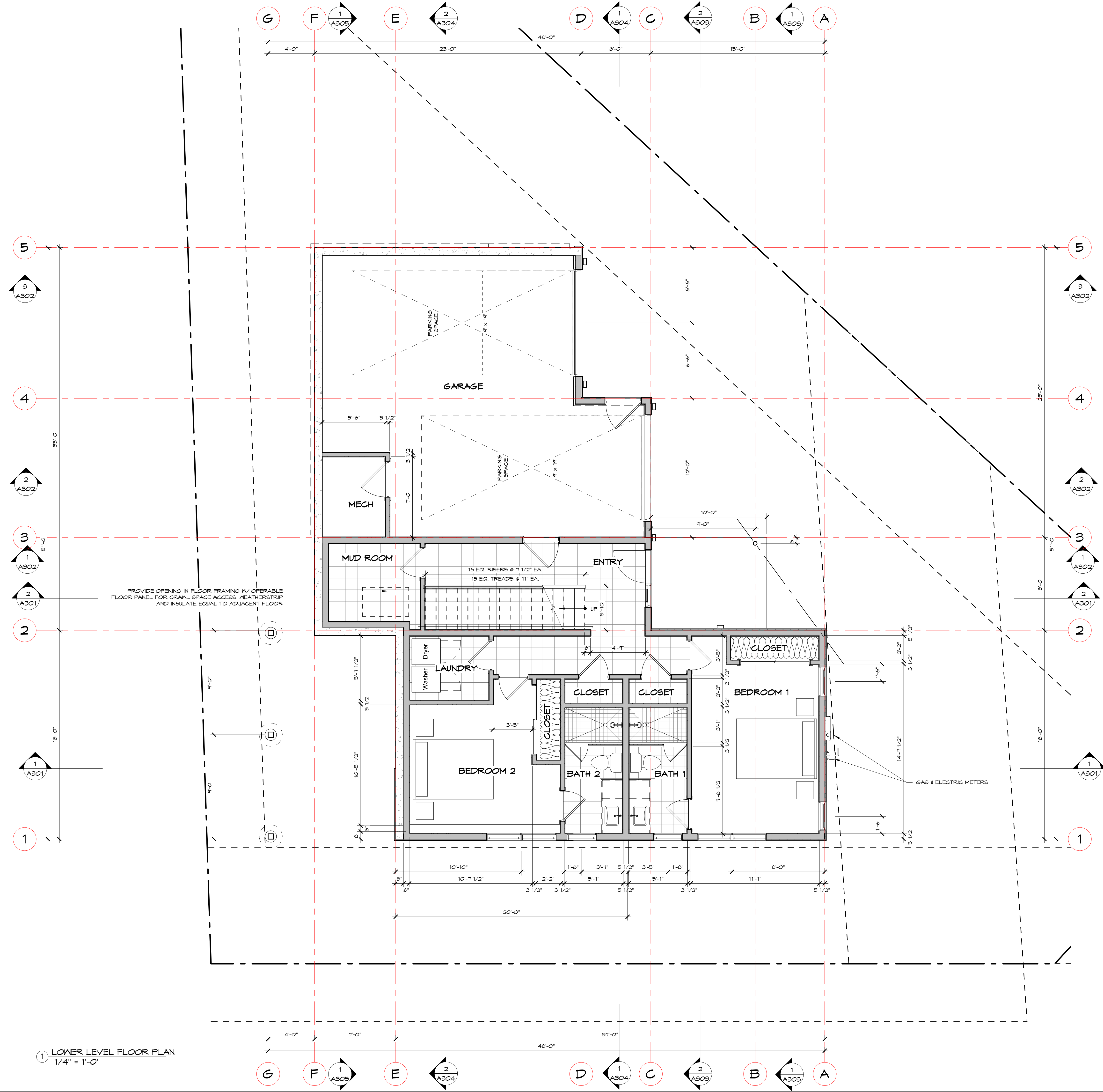
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FOUNDATION PLAN



1 LOWER LEVEL FLOOR PLAN
 1/4" = 1'-0"

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 PO Box 288
 Gypsum, CO 81637
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 michael@mppdesignshop.com



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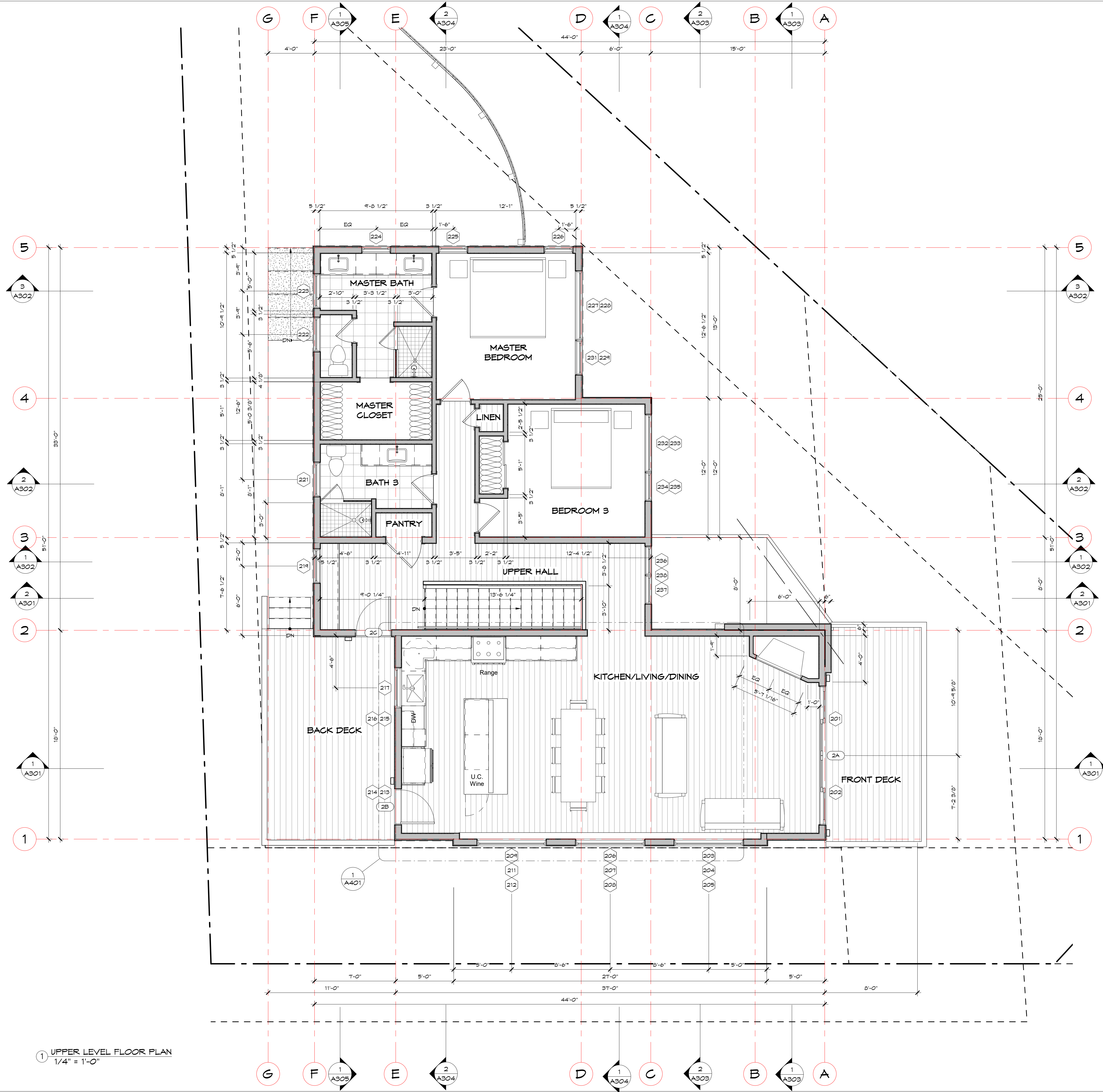
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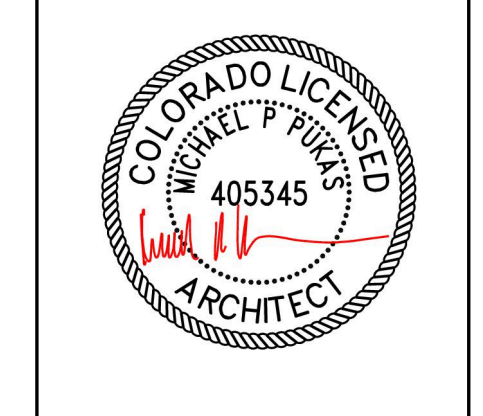
LOWER LEVEL FLOOR PLAN

A102



1 UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

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PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com



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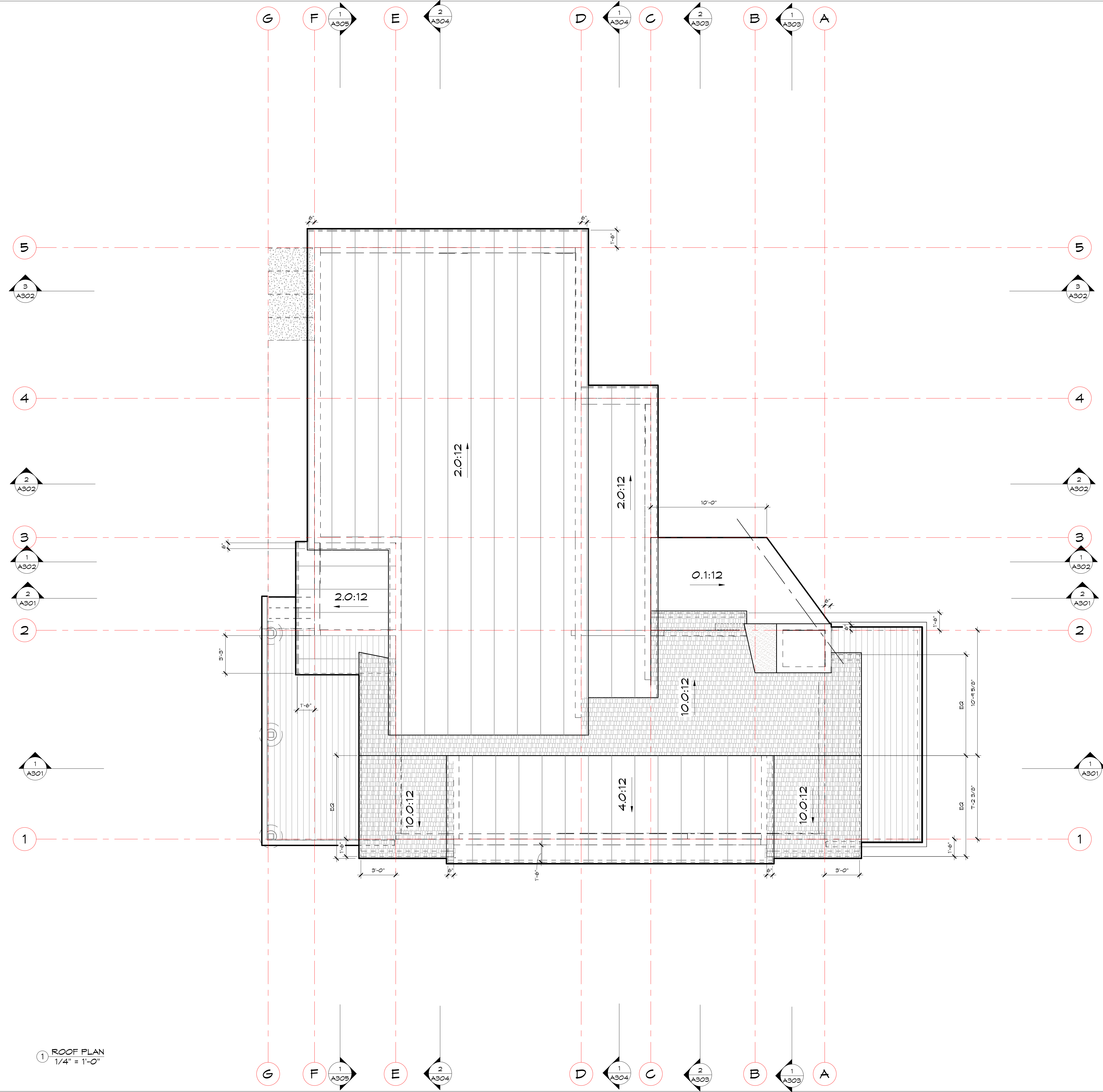
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UPPER LEVEL FLOOR PLAN

A103



① ROOF PLAN
1/4" = 1'-0"

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PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com



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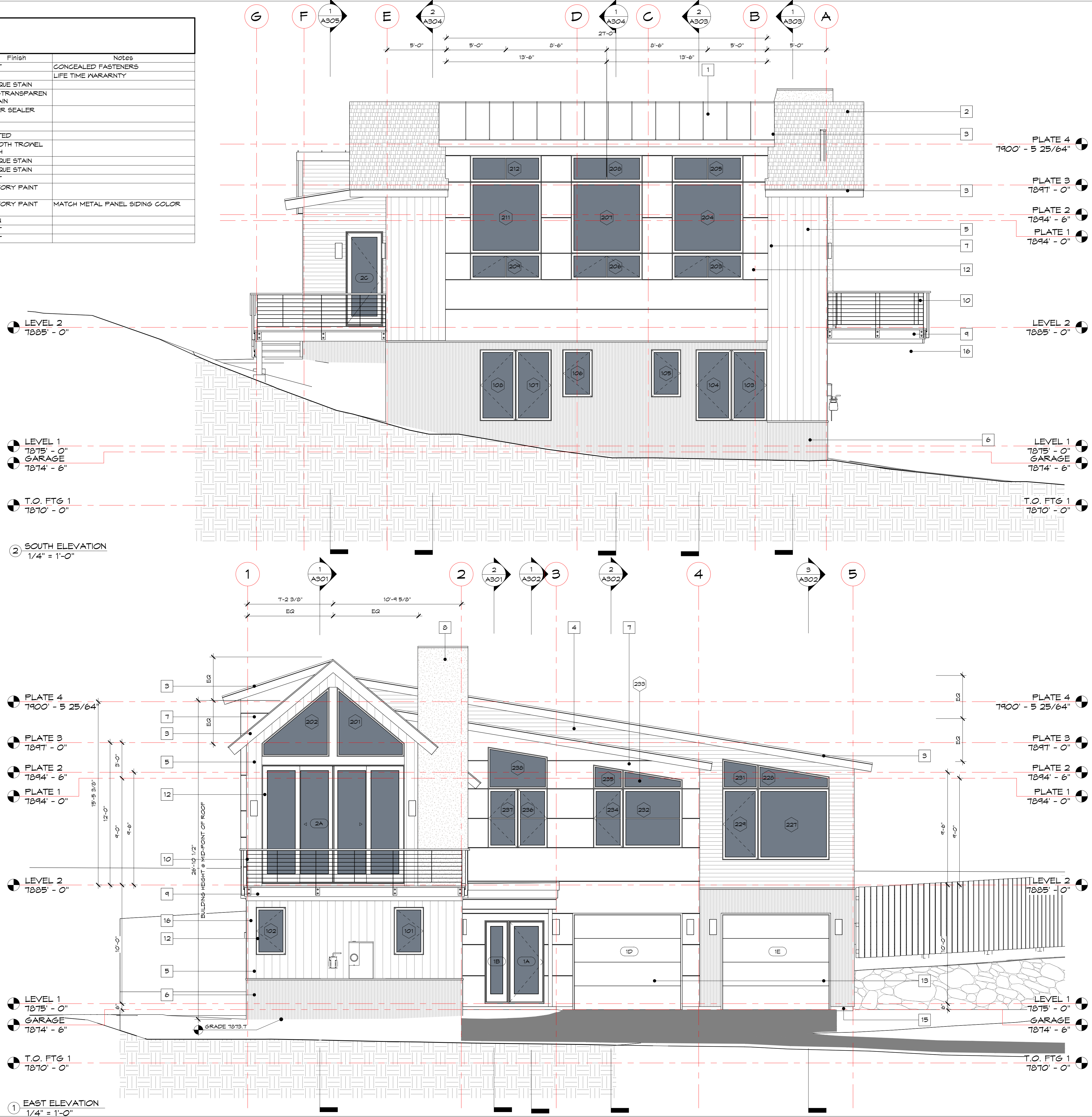
Project Number: 2007
Designed by: mpp
Drawn by: mpp
Checked by: mpp

ROOF PLAN

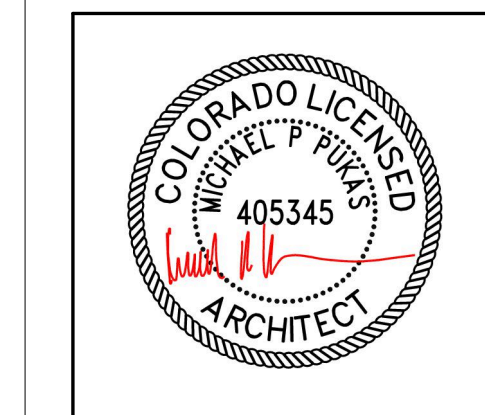
A104
22

EXTERIOR MATERIAL LEGEND

Key	Material	Manufacturer	Model	Color	Finish	Notes
1	STANDING SEAM METAL ROOF			GRAY	PAINT	CONCEALED FASTENERS
2	ASPHALT SHINGLES			WEATHERED WOOD		LIFE TIME WARRANTY
3	2X WOOD FASCIA			BROWN	OPAQUE STAIN	
4	HORIZONTAL WOOD LAP SIDING			NATURAL CEDAR	SEMI-TRANSPARENT STAIN	
5	VERTICAL BARN WOOD SIDING			NATURAL WEATHERED	CLEAR SEALER	
6	CORRUGATED COR-TEN SIDING			NATURAL RUST		
7	METAL PANEL SIDING			CHARCOAL GRAY	PAINTED SMOOTH TROWEL FINISH	
8	STUCCO SIDING			LIGHT GRAY		
9	2X RS FASCIA			BROWN	OPAQUE STAIN	
10	METAL RAILING IV/ WOOD TOP RAIL			BROWN	OPAQUE STAIN	
11	4" ROUND METAL COLUMNS			CHARCOAL GRAY	PAINT	
12	ALUMINIUM GLAZ, WOOD FRAME WINDOWS & DOORS			BRONZE	FACTORY PAINT	
13	INSULATED METAL GARAGE DOORS, METAL CLAD			CHARCOAL GRAY	FACTORY PAINT	MATCH METAL PANEL SIDING COLOR
14	WOOD DECKING			BROWN	STAIN	
15	METAL GRADE FLASHING			GRAY	PAINT	
16	STEEL BEAM IV/ ANGLED BOTTOM CUT			CHARCOAL GRAY	PAINT	



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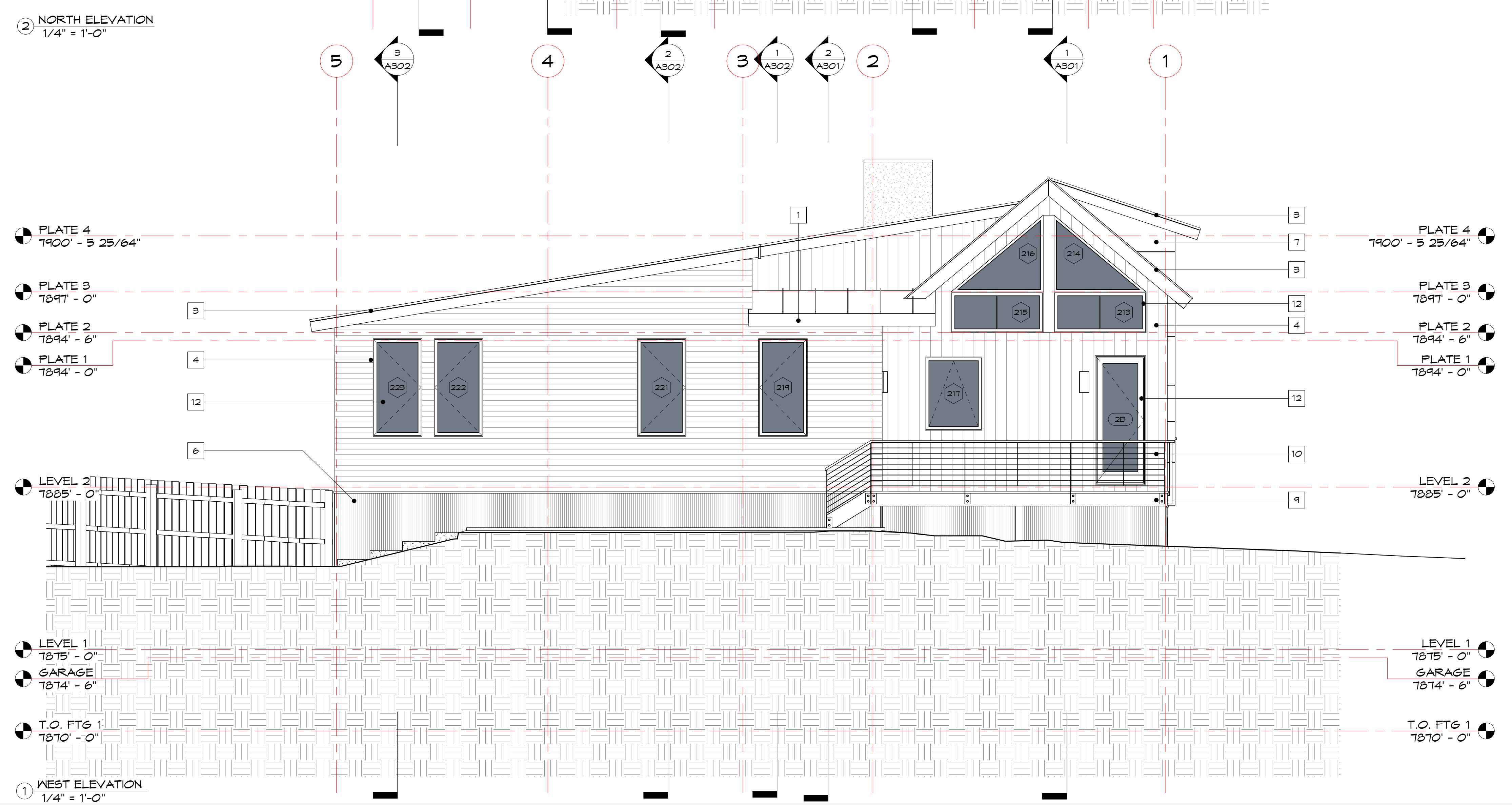
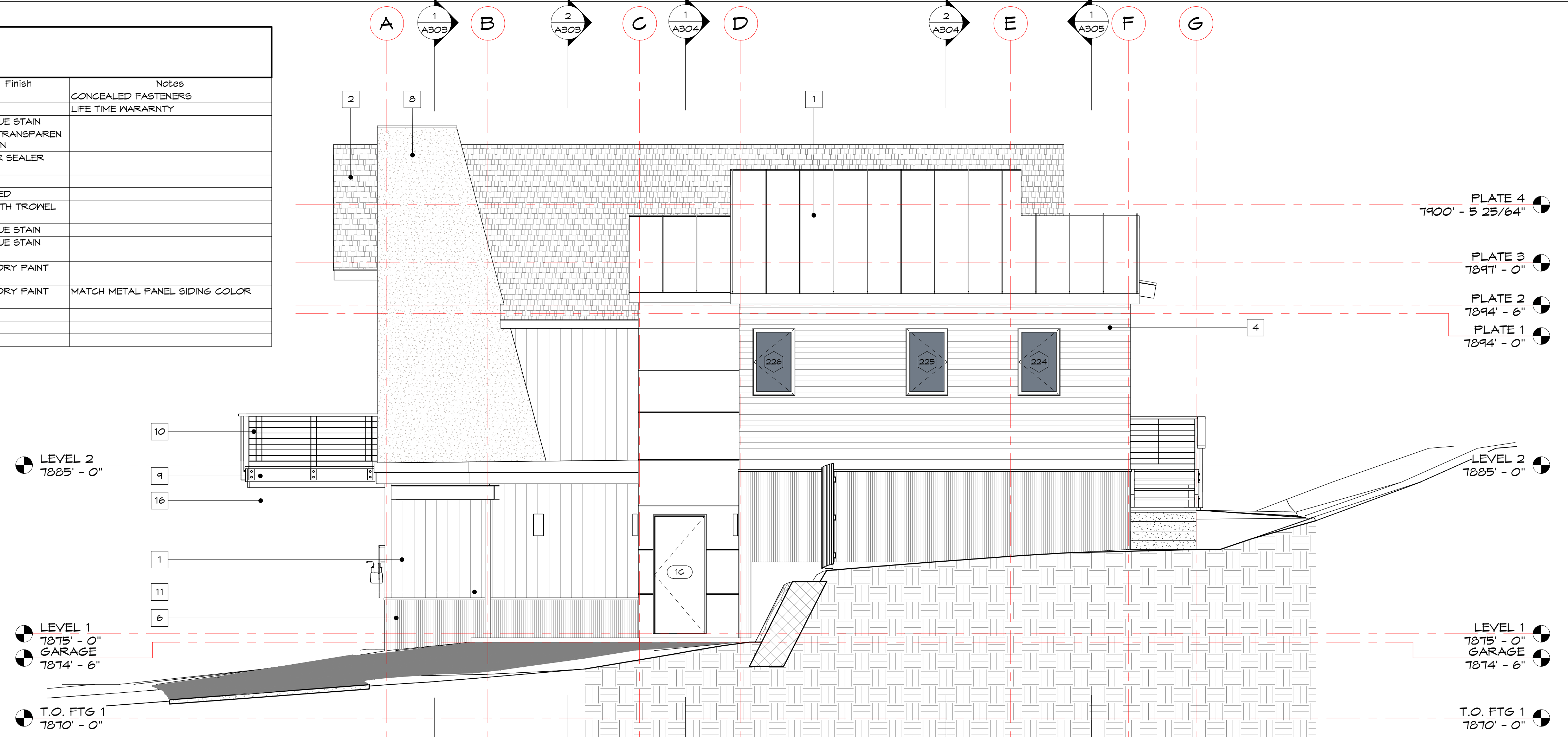
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EAST & SOUTH ELEVATIONS

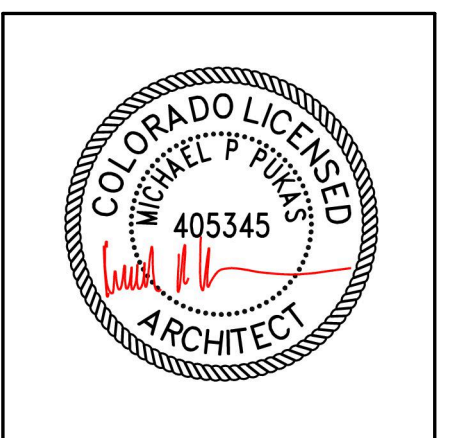
A201
23

EXTERIOR MATERIAL LEGEND

Key	Material	Manufacturer	Model	Color	Finish	Notes
1	STANDING SEAM METAL ROOF			GRAY	PAINT	CONCEALED FASTENERS
2	ASPHALT SHINGLES			WEATHERED WOOD	PAINT	LIFE TIME WARRANTY
3	2x WOOD FASCIA			BROWN	OPAQUE STAIN	
4	HORIZONTAL WOOD LAP SIDING			NATURAL CEDAR	SEMI-TRANSPARENT STAIN	
5	VERTICAL BARN WOOD SIDING			NATURAL WEATHERED	CLEAR SEALER	
6	CORRUGATED COR-TEN SIDING			NATURAL RUST		
7	METAL PANEL SIDING			CHARCOAL GRAY	PAINTED SMOOTH TROWEL FINISH	
8	STUCCO SIDING			LIGHT GRAY		
9	2x R5 FASCIA			BROWN	OPAQUE STAIN	
10	METAL RAILING W/ WOOD TOP RAIL			BROWN	OPAQUE STAIN	
11	4" ROUND METAL COLUMNS			CHARCOAL GRAY	PAINT	
12	ALUMNIUM GLAD, WOOD FRAME WINDOWS & DOORS			BRONZE	FACTORY PAINT	
13	INSULATED METAL GARAGE DOORS, METAL CLAD			CHARCOAL GRAY	FACTORY PAINT	MATCH METAL PANEL SIDING COLOR
14	WOOD DECKING			BROWN	GRAY STAIN	
15	METAL GRADE FLASHING			GRAY	PAINT	
16	STEEL BEAM W/ ANGLED BOTTOM CUT			CHARCOAL GRAY	PAINT	



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1	DRB Submission	01/06/21

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WEST & NORTH ELEVATIONS

A202
 24

EXTERIOR DOOR SCHEDULE						
Mark	Type	Description	Width	Height	U-FACTOR R	Comments
1A	1	ENTRY	3' - 0"	7' - 0"	<=0.3	
1: 1						
1B	2	ENTRY SIDE-LITE	2' - 0"	7' - 0"	<=0.3	
2: 1						
1C	3	SOLID PANEL	3' - 0"	7' - 0"	<=0.3	
3: 1						
2B	4	OVERHEAD GARAGE	3' - 1 7/16"	7' - 11 1/2"	<=0.3	
2C	4	OVERHEAD GARAGE	3' - 1 7/16"	7' - 11 1/2"	<=0.3	
4: 2						
2A	5	4-PANEL SLIDER	12' - 0"	10' - 0"	<=0.3	
5: 1						
1D	6	GLASS FRENCH	9' - 0"	8' - 0"	<=0.3	
1E	6	GLASS FRENCH	9' - 0"	8' - 0"	<=0.3	
6: 2						

TOTAL EXTERIOR DOOR COUNT: 8

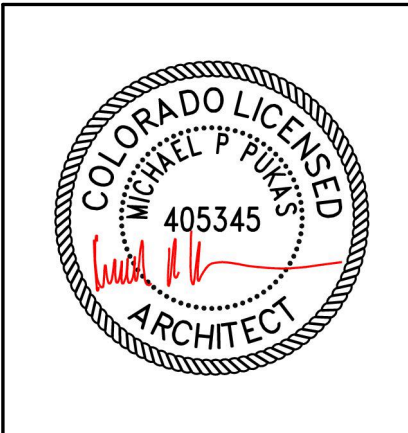
WINDOW SCHEDULE						
Mark	Type	Description	Width	Height	U-FACTOR R	Comments
101	1	CASEMENT	2' - 6"	4' - 0"	<=0.3	
102	1	CASEMENT	2' - 6"	4' - 0"	<=0.3	
105	1	CASEMENT	2' - 6"	4' - 0"	<=0.3	
106	1	CASEMENT	2' - 6"	4' - 0"	<=0.3	
224	1	CASEMENT	2' - 6"	4' - 0"	<=0.3	
225	1	CASEMENT	2' - 6"	4' - 0"	<=0.3	
226	1	CASEMENT	2' - 6"	4' - 0"	<=0.3	
7						
103	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	EGRESS
104	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	EGRESS
107	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	EGRESS
108	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	EGRESS
219	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	
221	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	
222	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	
223	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	
229	2	CASEMENT	3' - 0"	6' - 0"	<=0.3	EGRESS
9						
204	3	FIXED	6' - 0"	6' - 0"	<=0.3	
207	3	FIXED	6' - 0"	6' - 0"	<=0.3	
211	3	FIXED	6' - 0"	6' - 0"	<=0.3	
227	3	FIXED	6' - 0"	6' - 0"	<=0.3	
4						
232	4	FIXED	5' - 0"	5' - 0"	<=0.3	
1						
216	8	FIXED TRAP	5' - 8"	4' - 8" 171/256"	<=0.3	
1						
214	9	FIXED TRAP	5' - 8"	4' - 8" 171/256"	<=0.3	
1						
234	10	CASEMENT	2' - 6"	5' - 0"	<=0.3	EGRESS
236	10	CASEMENT	2' - 6"	5' - 0"	<=0.3	
237	10	CASEMENT	2' - 6"	5' - 0"	<=0.3	
3						
231	11	FIXED TRAP	3' - 0"	2' - 6"	<=0.3	
1						
228	12	FIXED TRAP	6' - 0"	2' - 0"	<=0.3	
1						
201	14	FIXED TRAP	5' - 8"	5' - 10"	<=0.3	
202	14	FIXED TRAP	5' - 8"	5' - 10"	<=0.3	
2						
205	16	FIXED	6' - 0"	2' - 3"	<=0.3	
208	16	FIXED	6' - 0"	2' - 3"	<=0.3	
212	16	FIXED	6' - 0"	2' - 3"	<=0.3	
3						
203	17	AWNING	6' - 0"	2' - 3"	<=0.3	
206	17	AWNING	6' - 0"	2' - 3"	<=0.3	
209	17	AWNING	6' - 0"	2' - 3"	<=0.3	
3						
213	18	FIXED	5' - 8"	2' - 6"	<=0.3	
215	18	FIXED	5' - 8"	2' - 6"	<=0.3	
2						
217	19	AWNING	3' - 6"	4' - 6"	<=0.3	
1						
238	20	FIXED TRAP	5' - 0"	3' - 6"	<=0.3	
1						
235	21	FIXED TRAP	2' - 6"	2' - 0"	<=0.3	
1						
233	22	FIXED TRAP	5' - 0"	1' - 7"	<=0.3	
1						

TOTAL WINDOW COUNT: 42

FENESTRATION NOTES

1. IRC 309.1.3: U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE.
2. ALL EXTERIOR WINDOWS U-FACTOR TO BE: <=0.3, U.O.N.
3. ALL EXTERIOR WINDOWS FRAME TO BE: WOOD FRAME, ALUMINUM CLAD, U.O.N.
4. ALL EXTERIOR WINDOWS GLAZING TO BE: LOW-E, AIR FILLED INSULATED, U.O.N.

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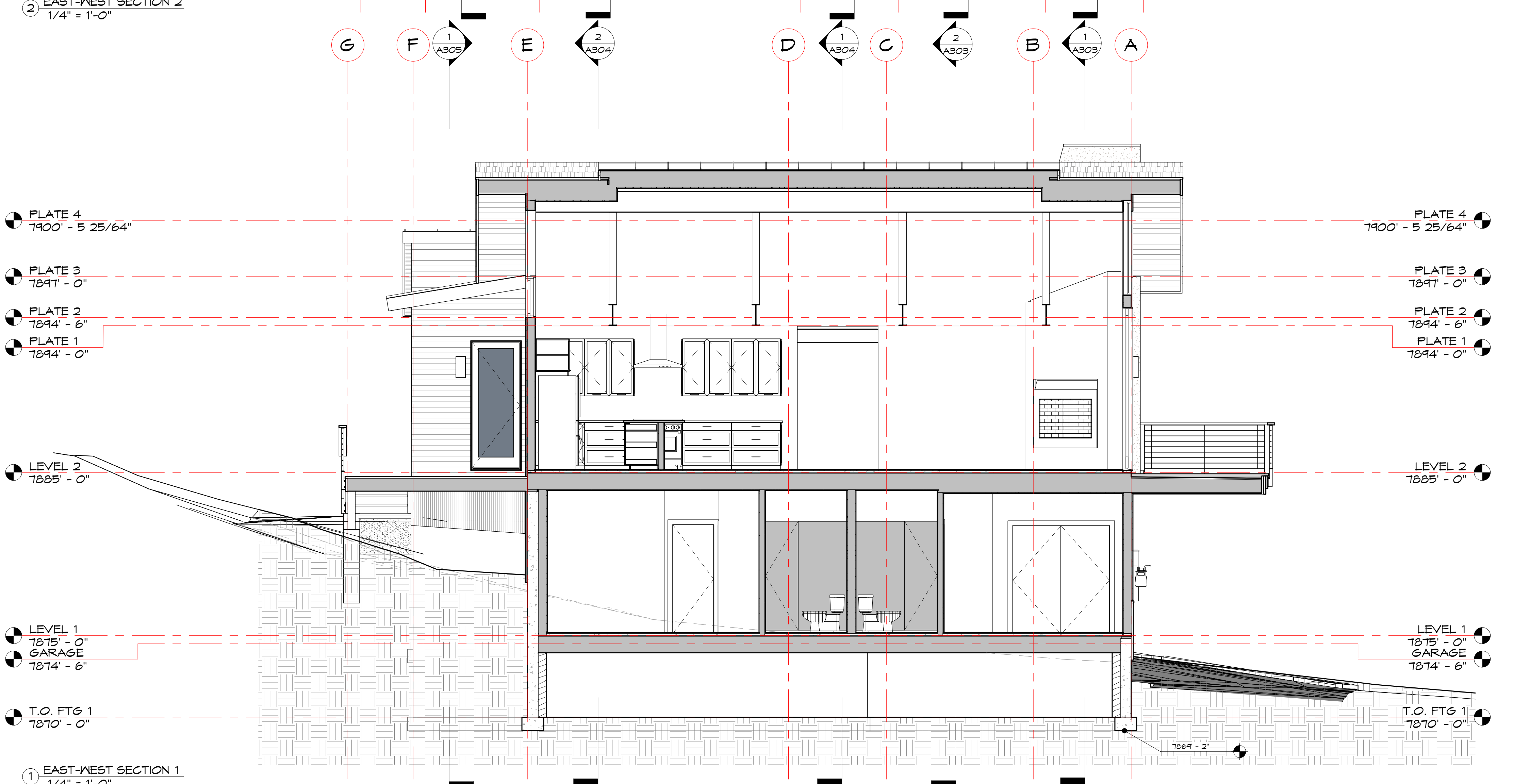
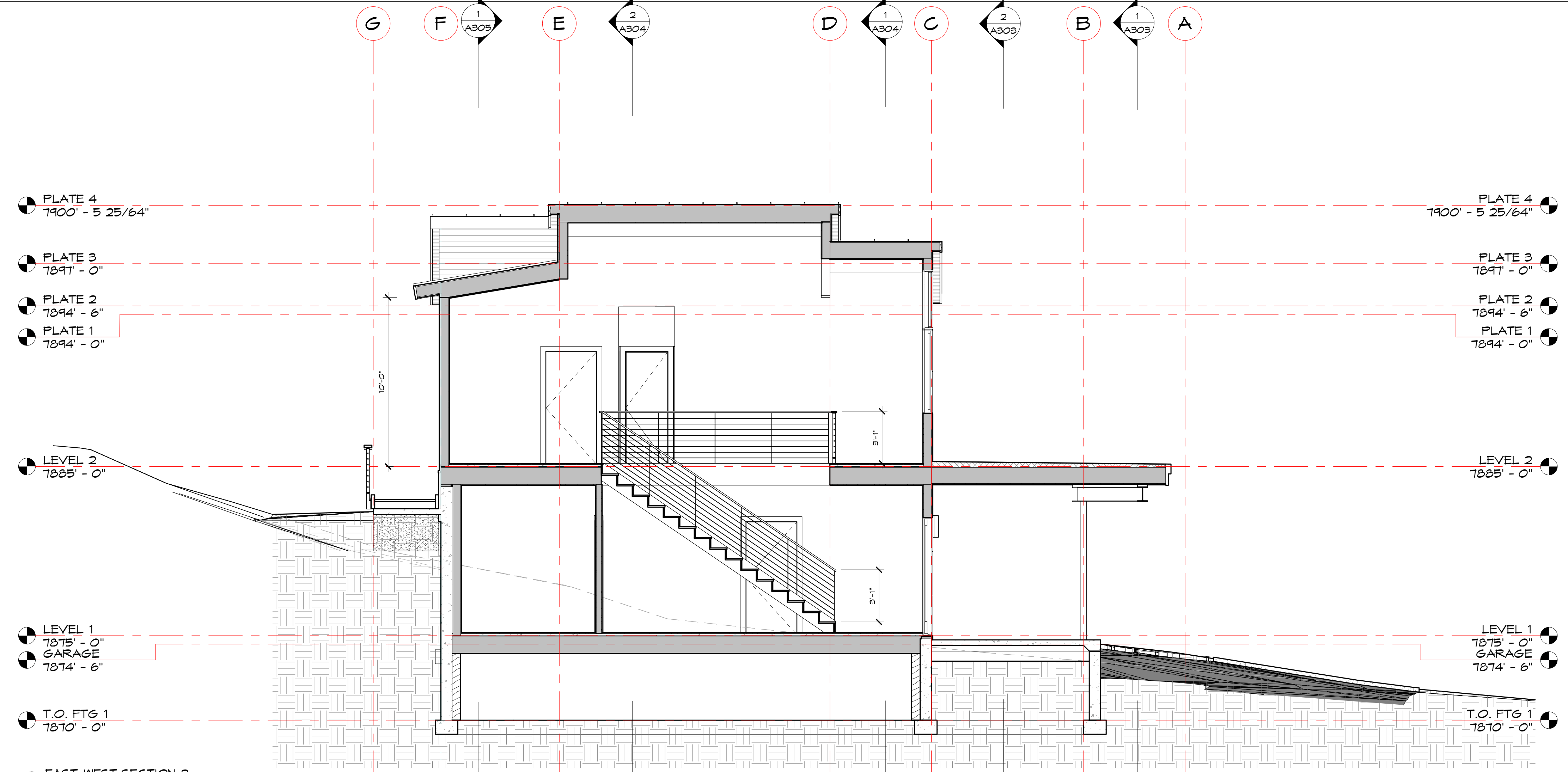
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#	Description	Date

Project Number: 2007
Designed by: mpp
Drawn by: mpp
Checked by: mpp

WINDOW & DOOR SCHEDULE

A300



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Bilello Residence
 701 Boulder Street
 Minturn, CO 81645

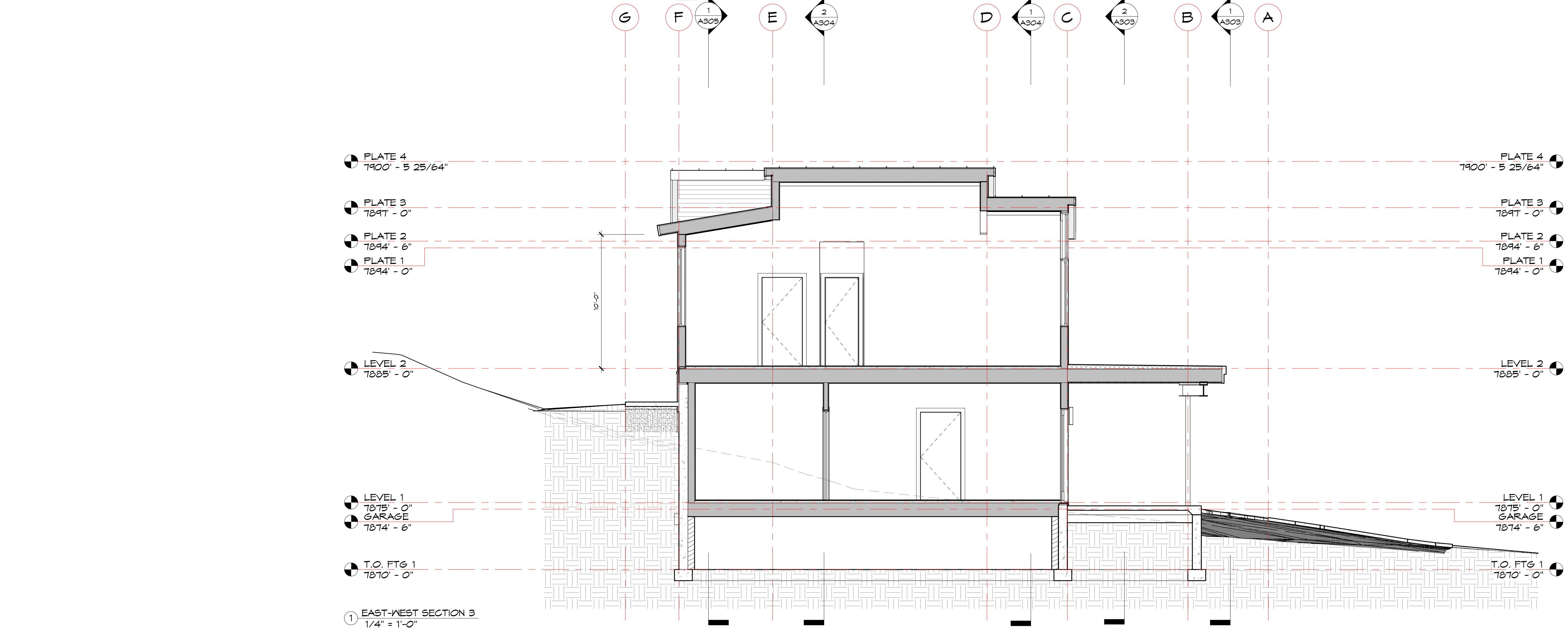
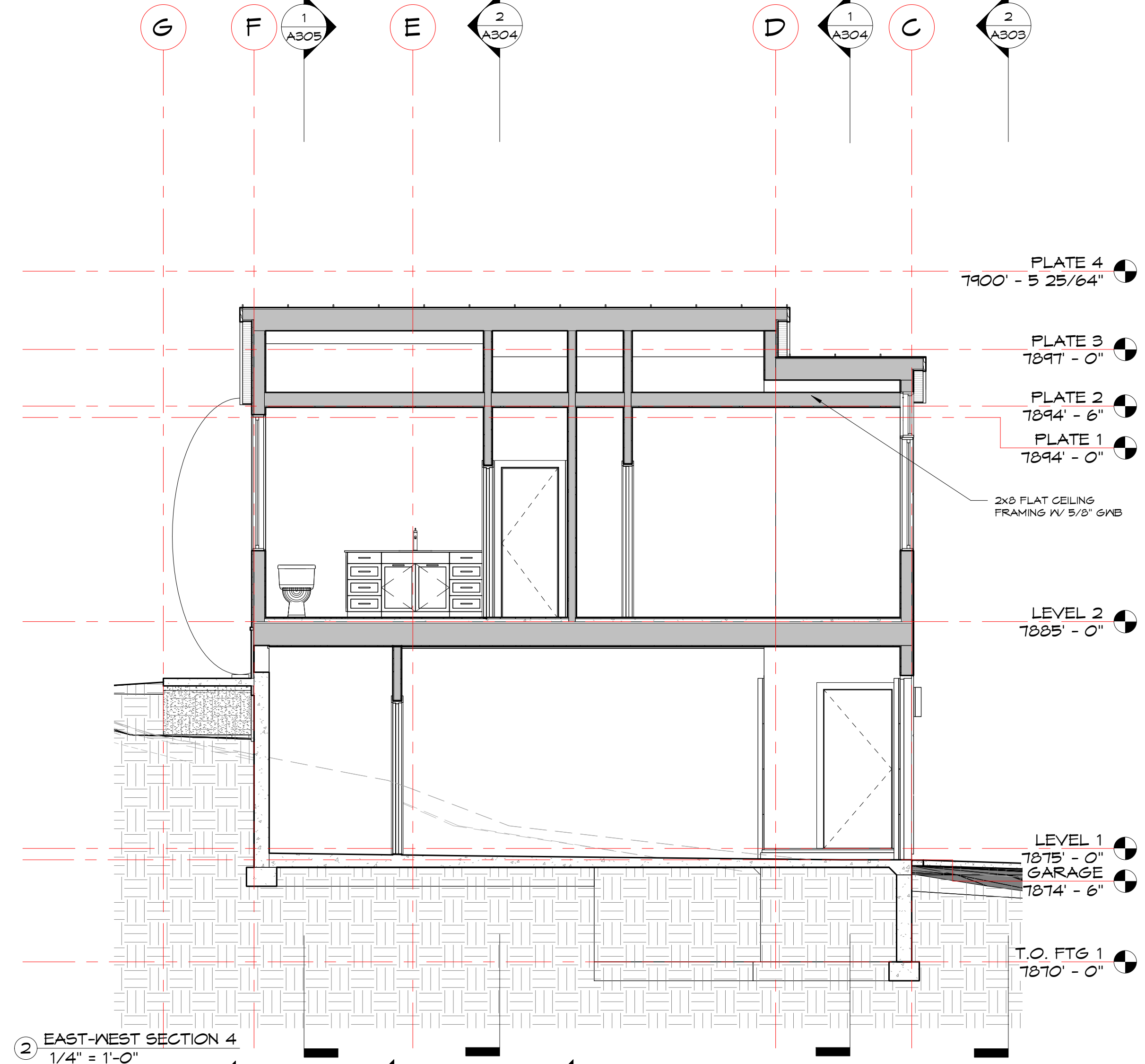
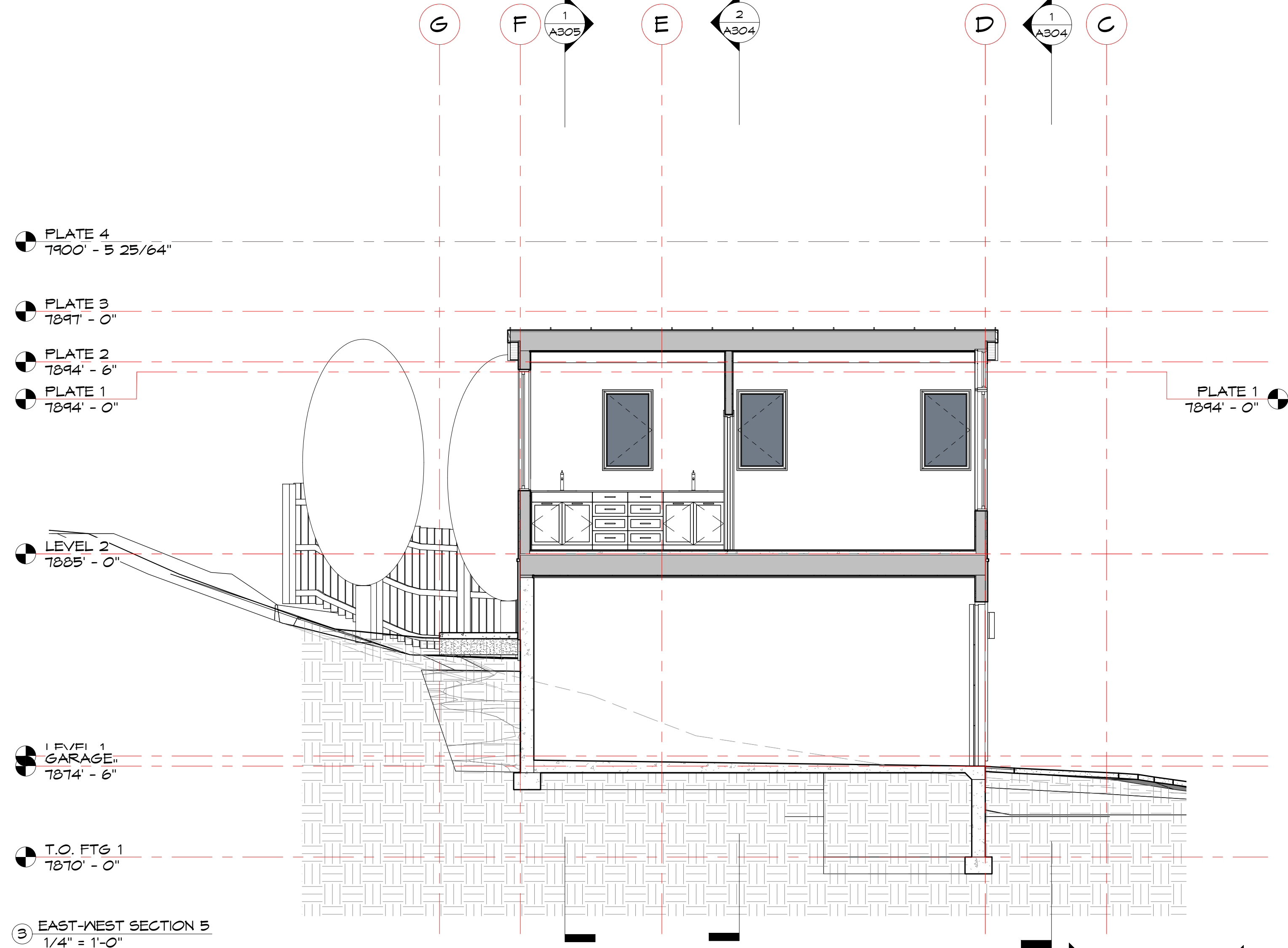
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#	Description	Date
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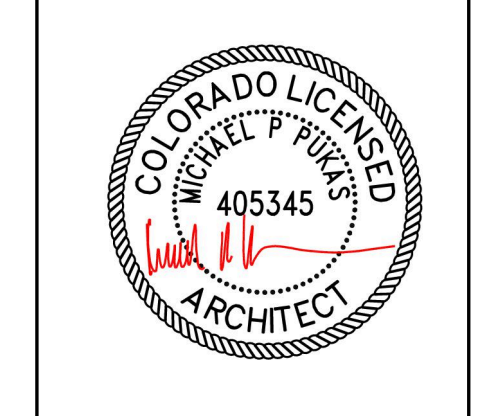
Project Number: 2007
 Designed by: mpp
 Drawn by: mpp
 Checked by: mpp

EAST-WEST BUILDING SECTIONS

A301



mpp design shop, inc.
 PO Box 288
 Gypsum, CO 81637
 (970) 390-4931
 michael@mppdesignshop.com



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 701 Boulder Street
 Minturn, CO 81645

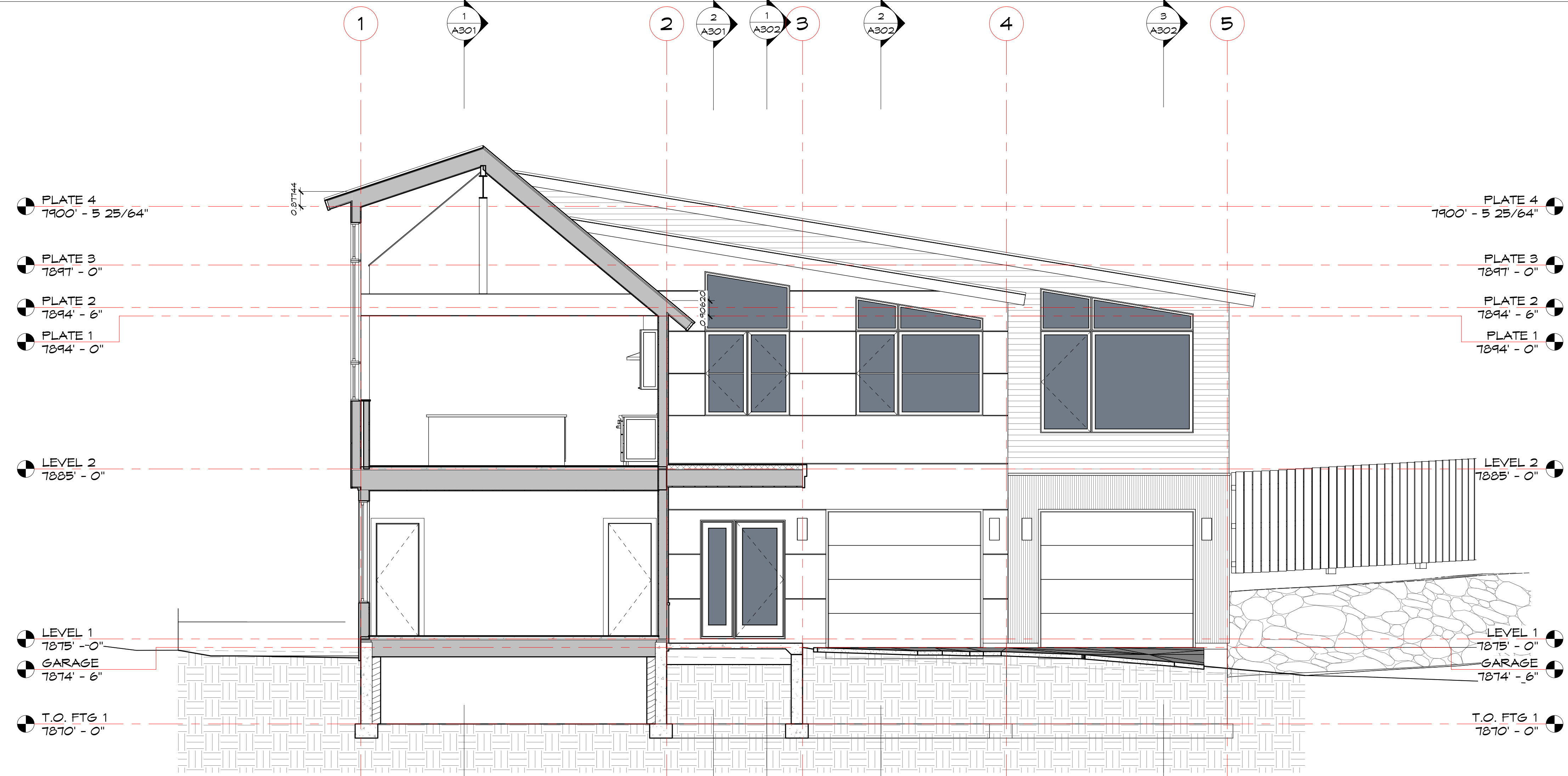
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#	Description	Date
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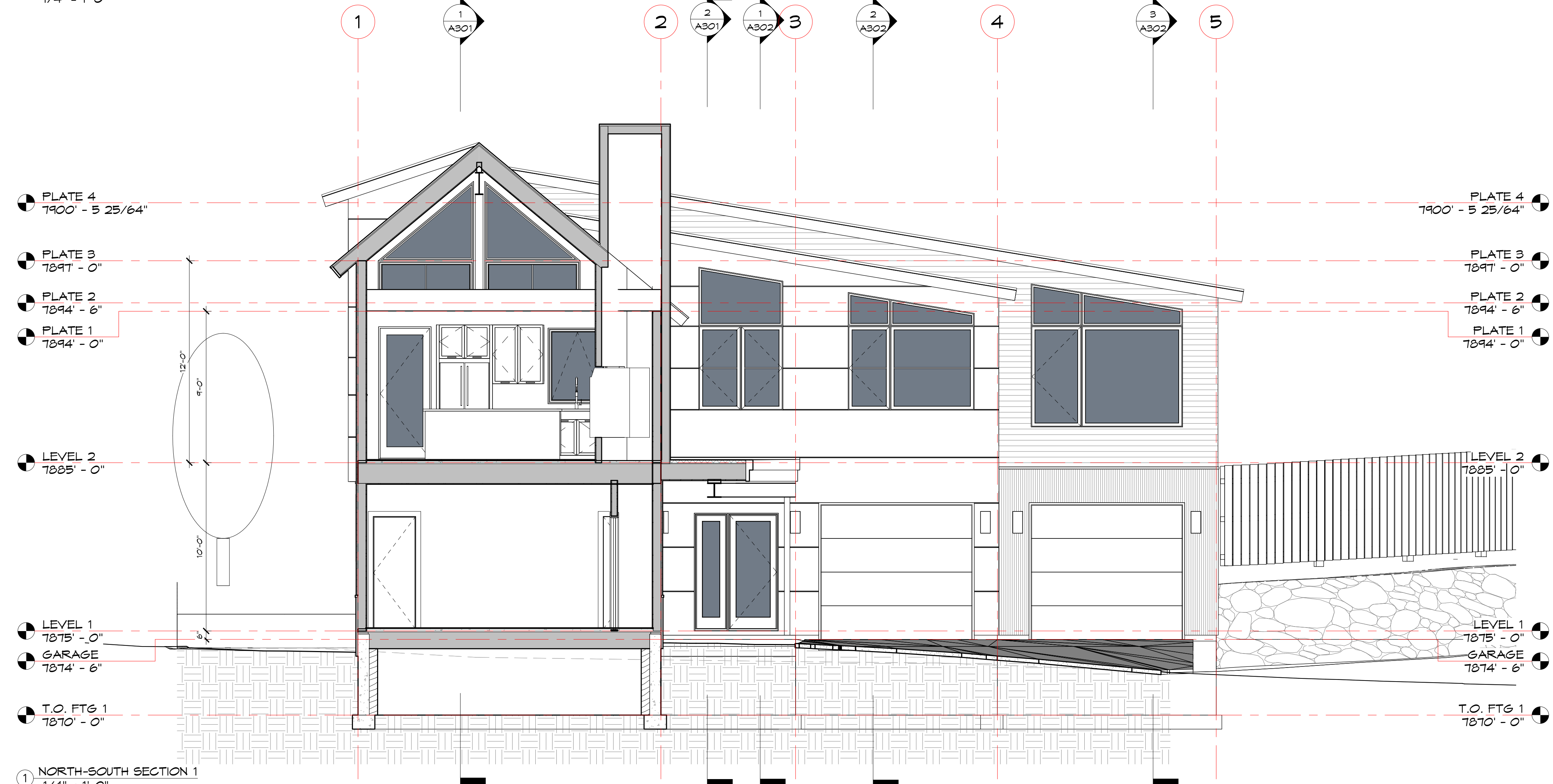
Project Number: 2007
 Designed by: mpp
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EAST-WEST BUILDING SECTIONS

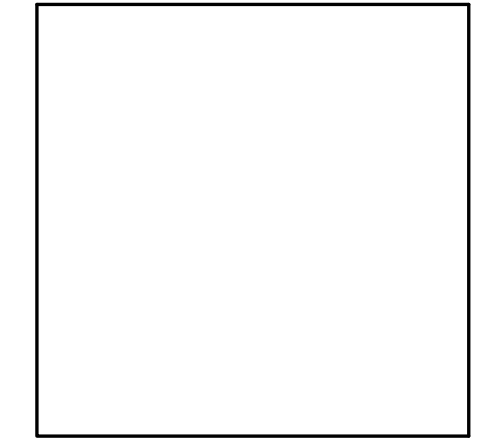
A302
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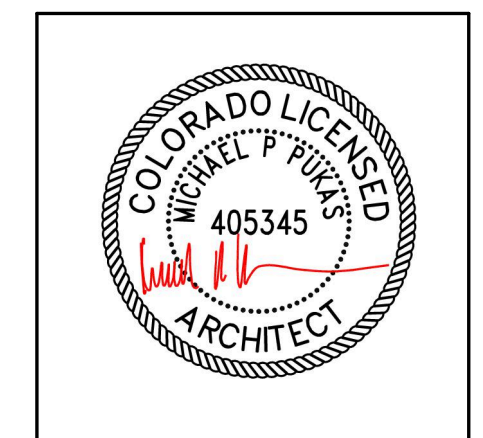
② NORTH-SOUTH SECTION 2
1/4" = 1'-0"



① NORTH-SOUTH SECTION 1
1/4" = 1'-0"



mpp design shop, inc.
PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com



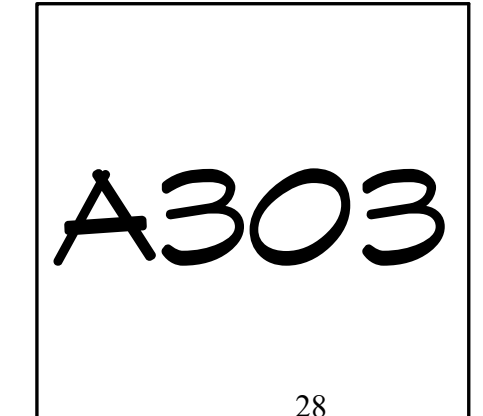
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Minturn, CO 81645

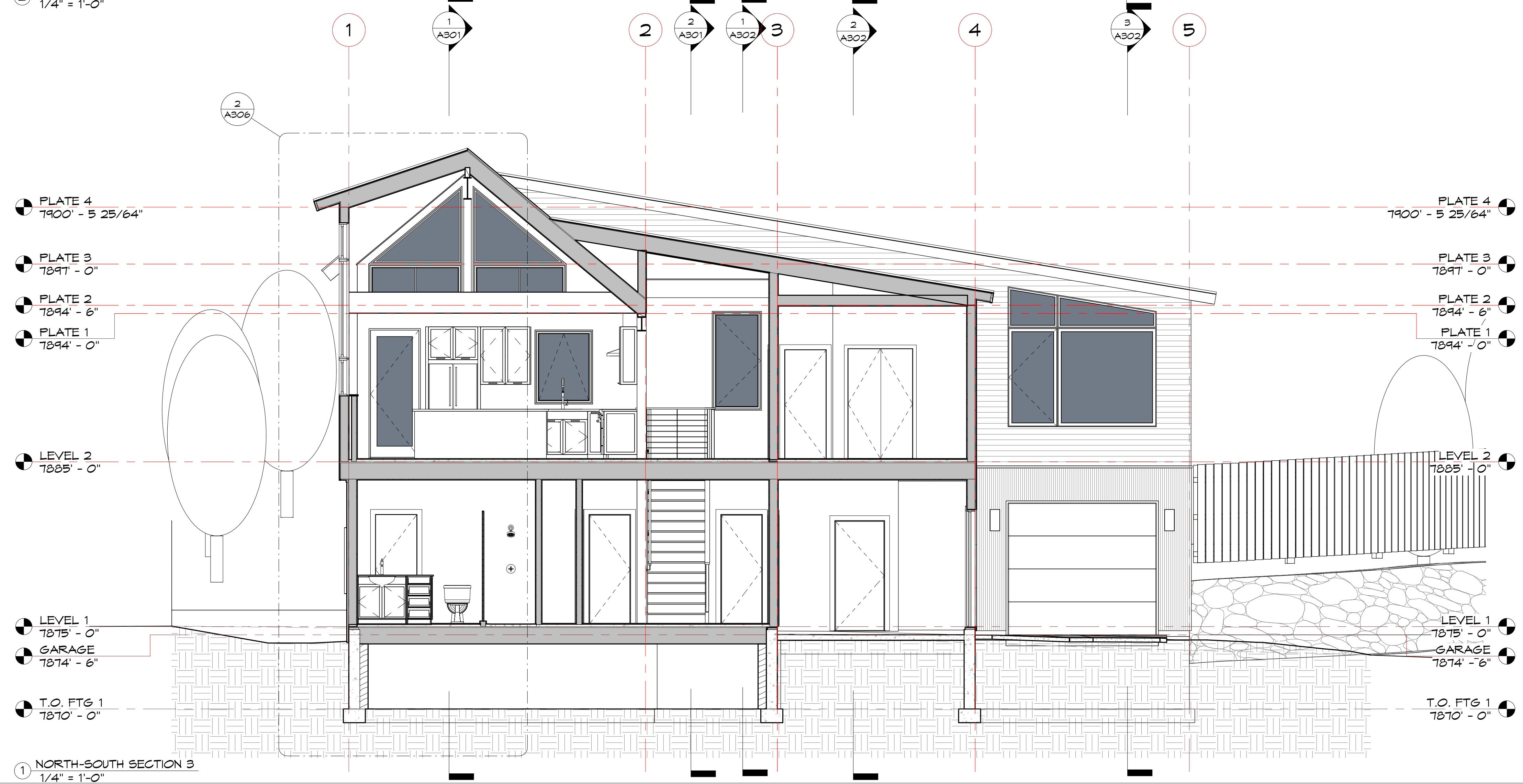
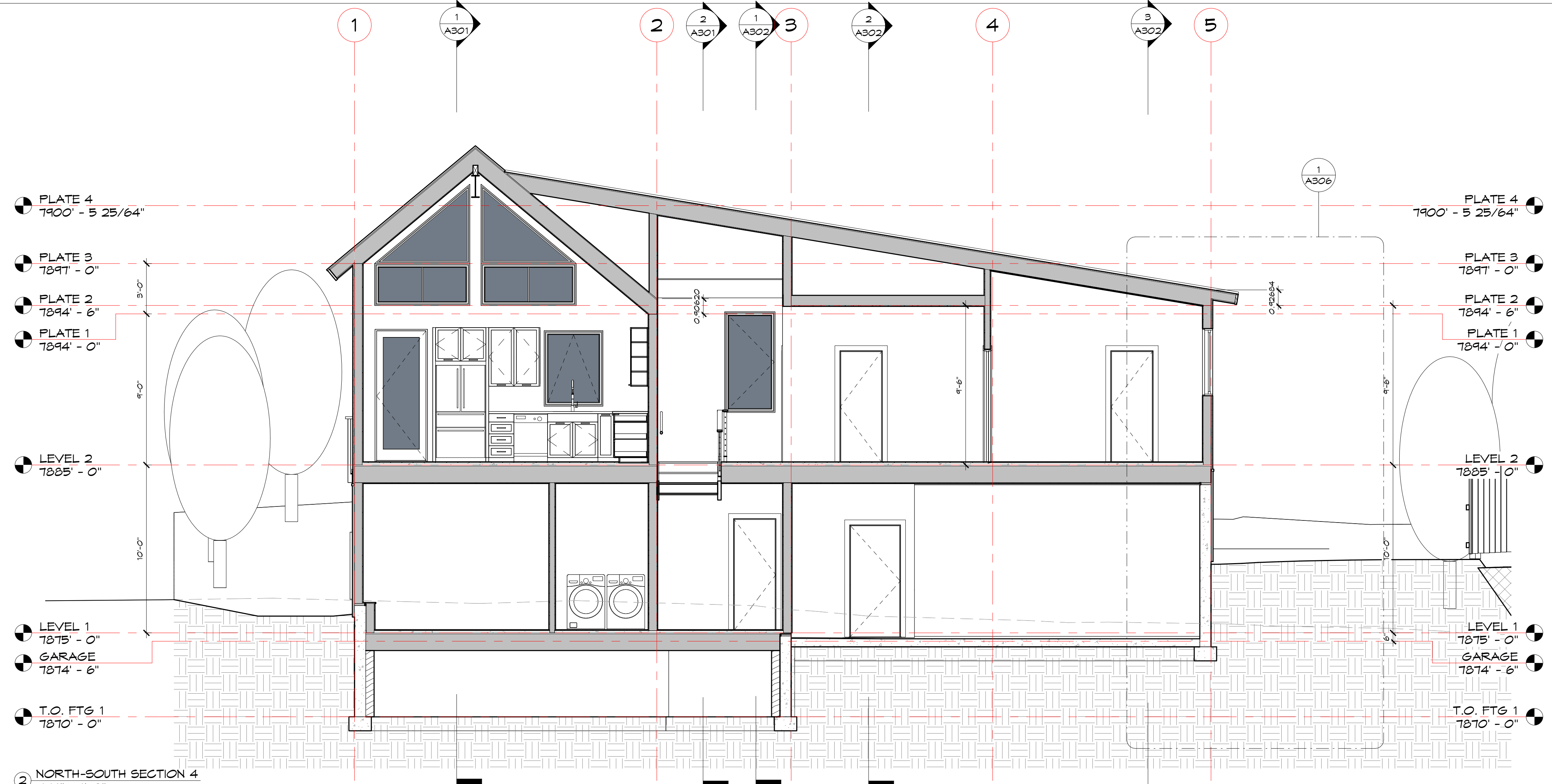
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1	DRB Submission	01/06/21

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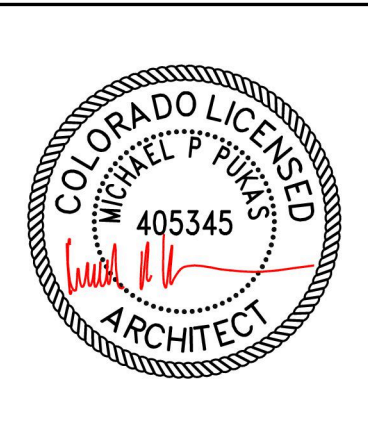
NORTH-SOUTH BUILDING SECTIONS





mpp design shop, inc.

PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com



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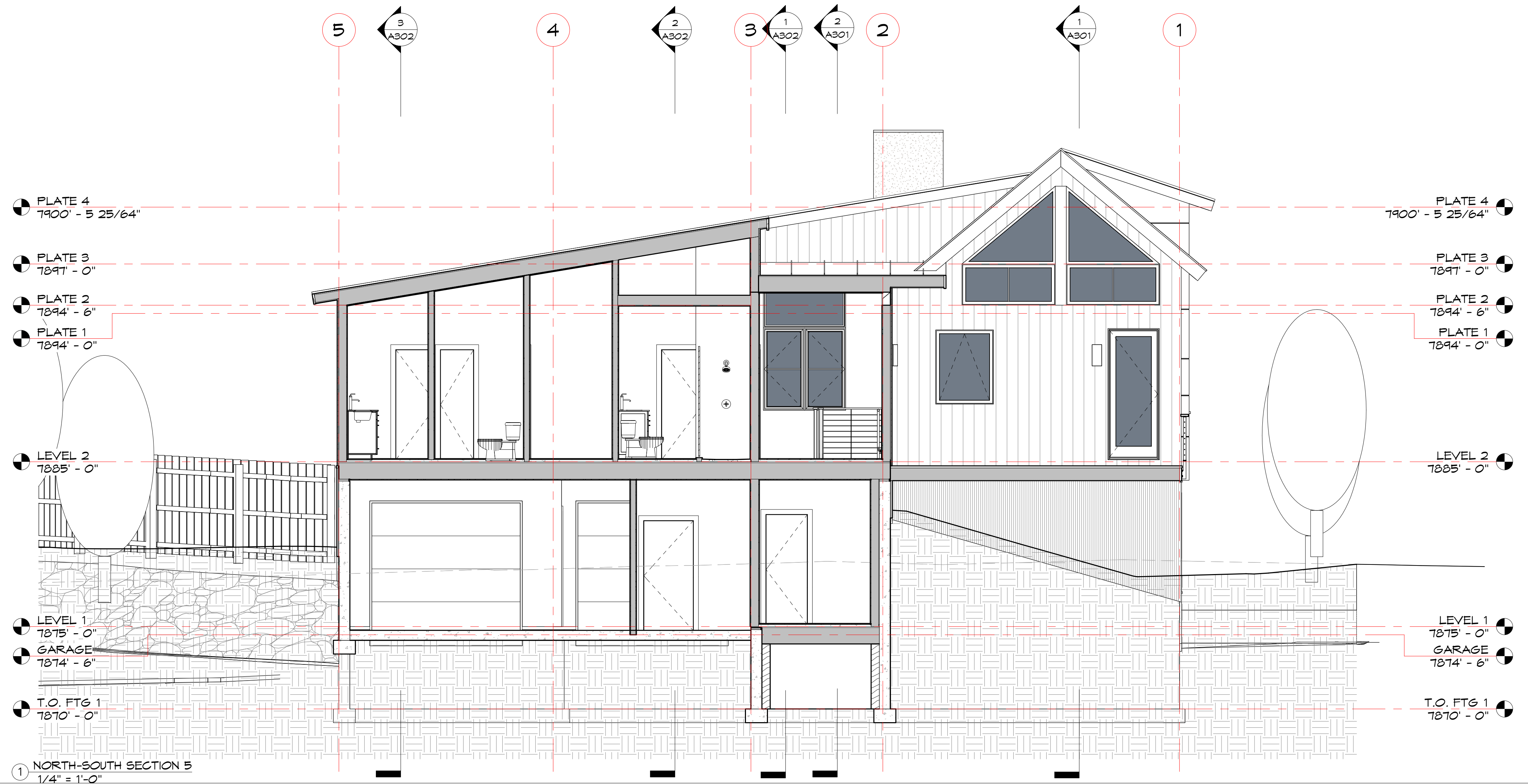
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1	DRB Submission	01/06/21

Project Number: 2007
Designed by: mpp
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NORTH-SOUTH BUILDING SECTIONS

A304



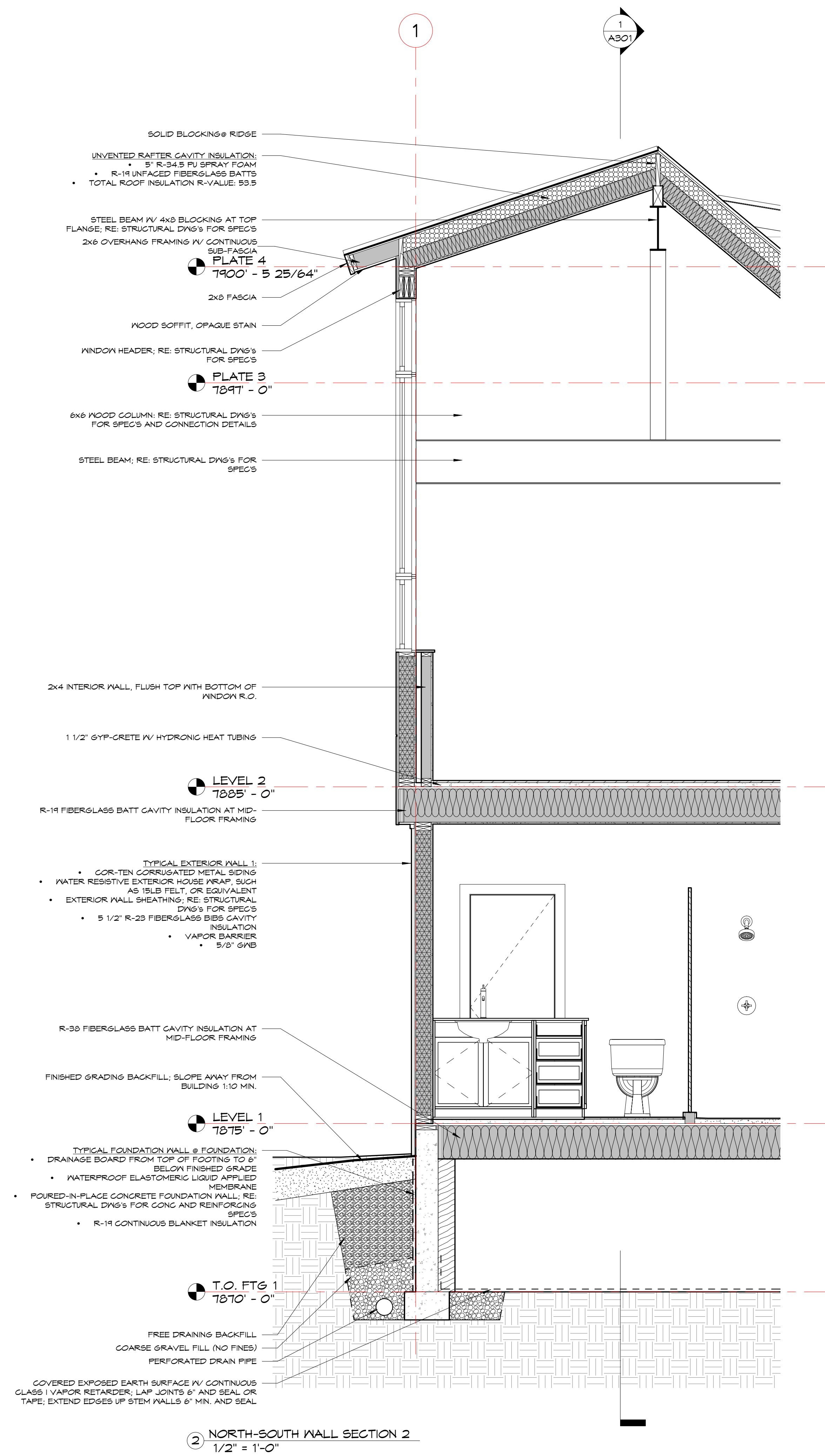
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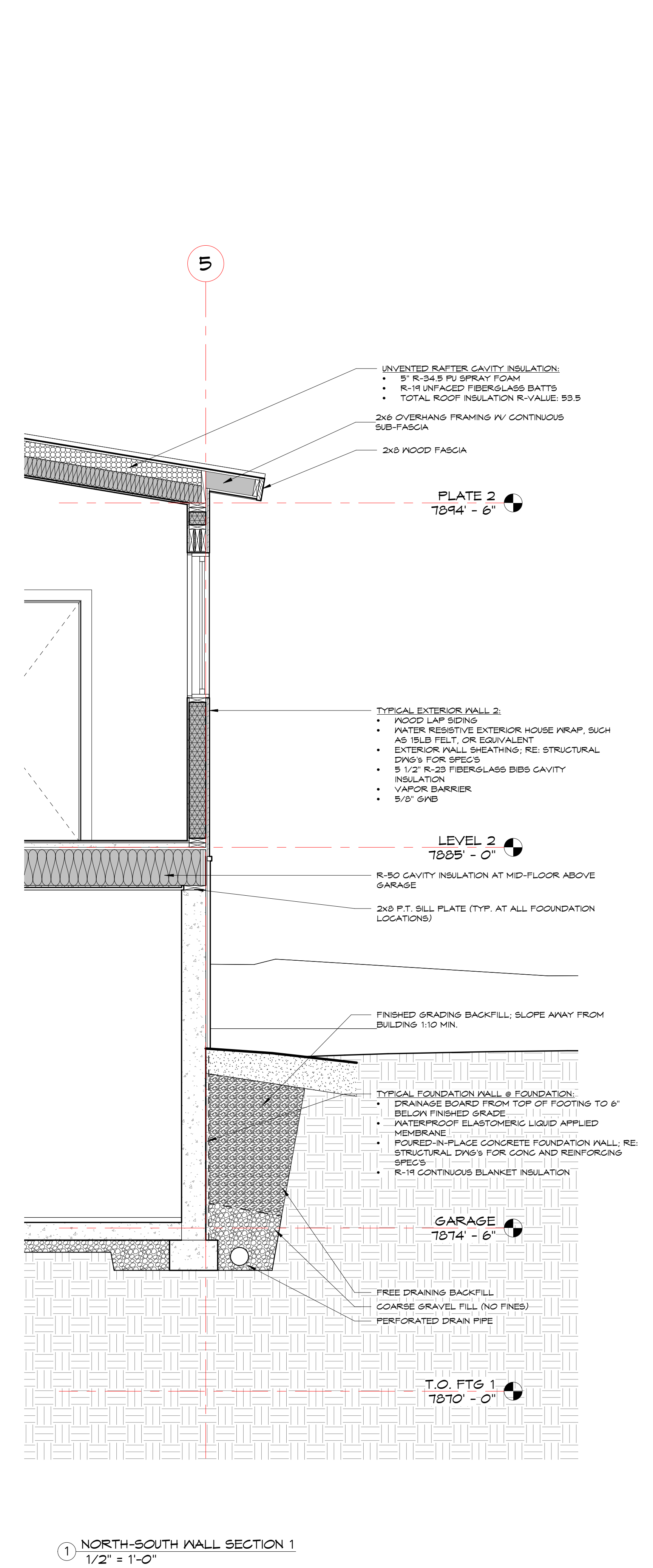
Project Number: 2007
Designed by: mpp
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Checked by: mpp

NORTH-SOUTH
BUILDING SECTIONS

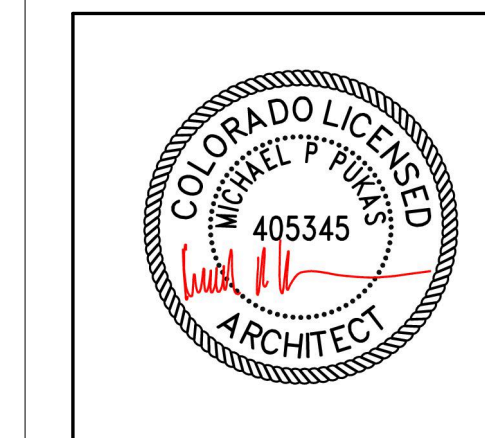
A305



② NORTH-SOUTH WALL SECTION 2
1/2" = 1'-0"



① NORTH-SOUTH WALL SECTION 1
1/2" = 1'-0"

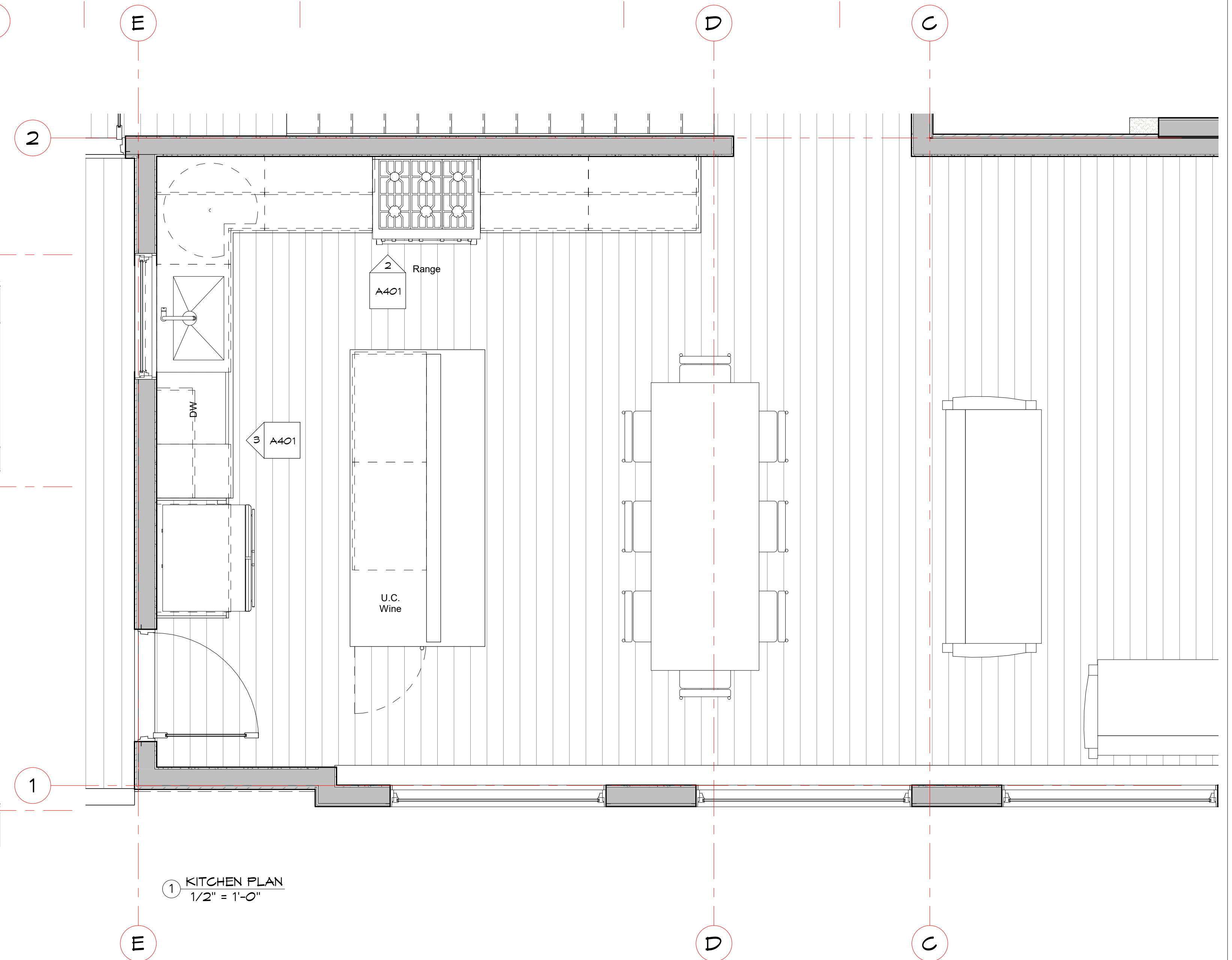
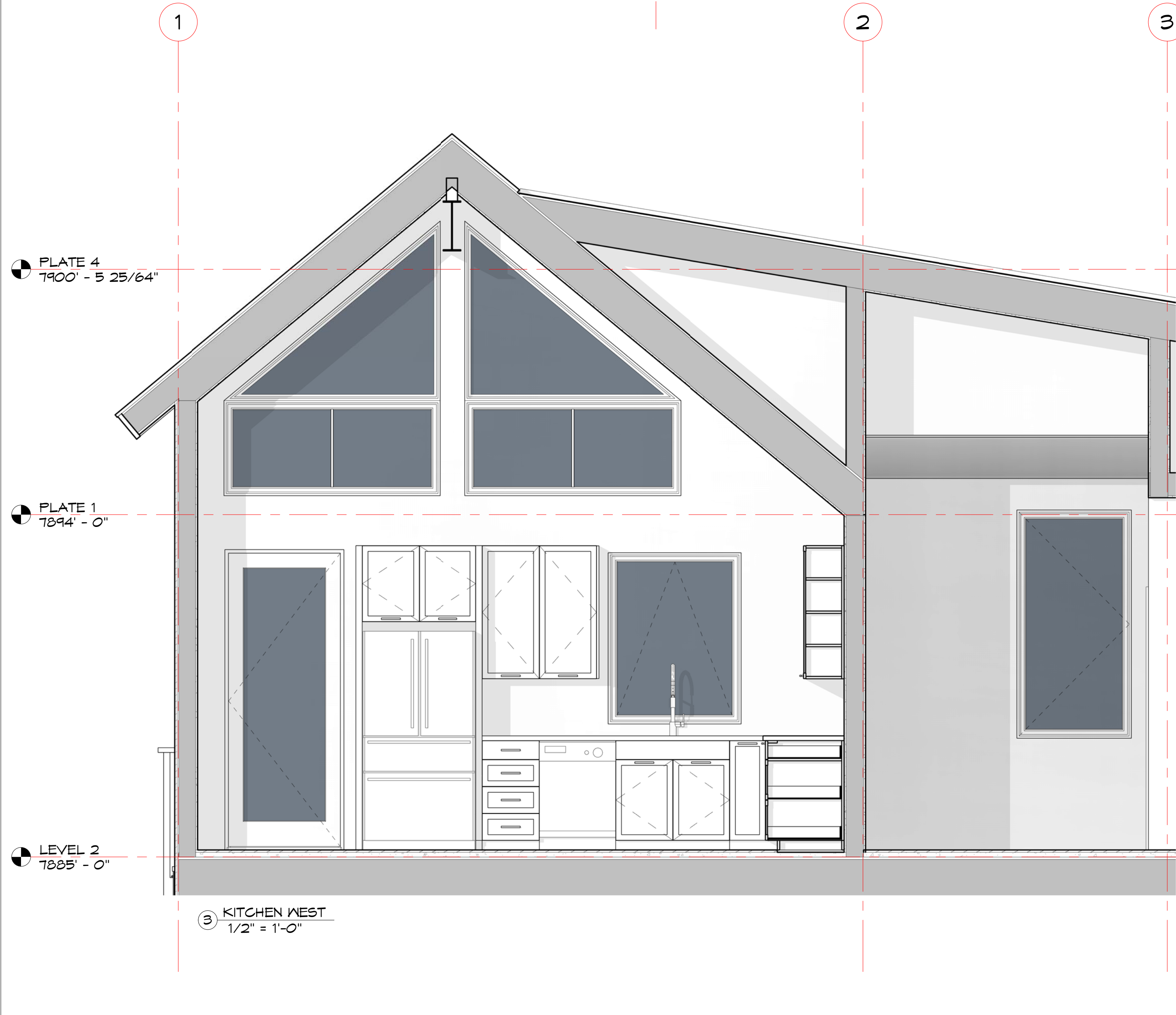
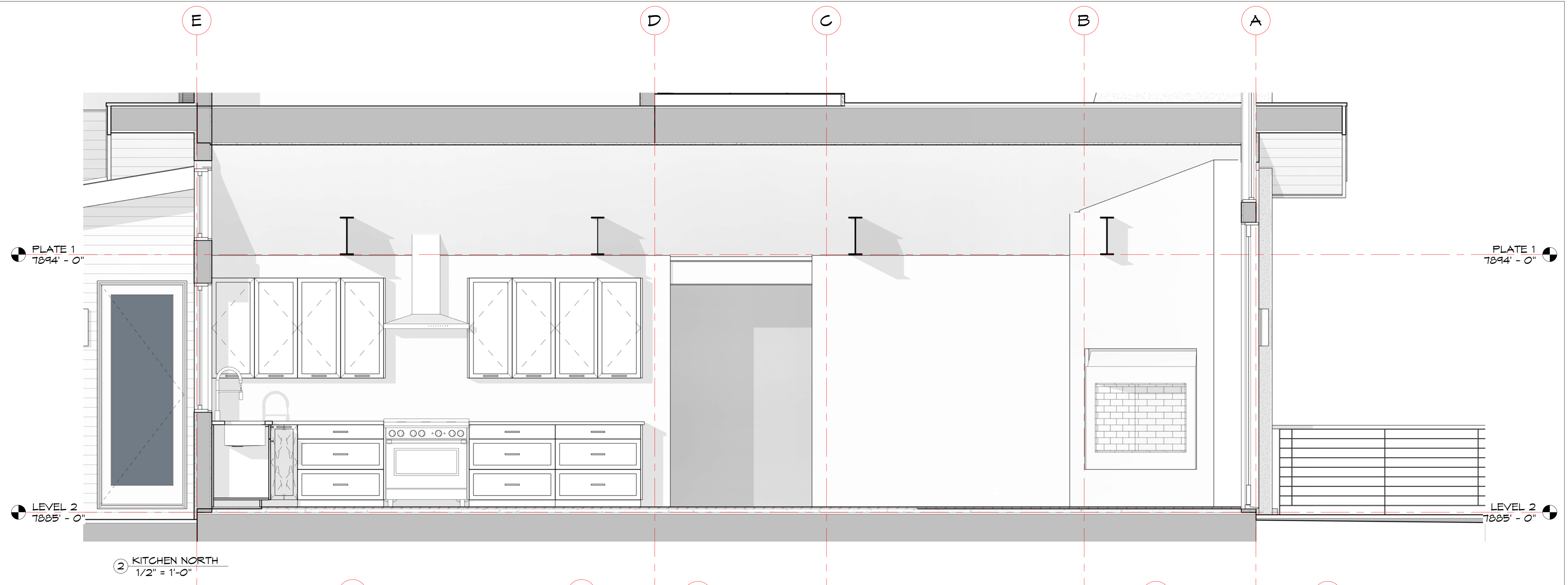


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Project Number: 2007
Designed by: mpp
Drawn by: mpp
Checked by: mpp

WALL SECTIONS



mpp design shop, inc.
 PO Box 288
 Gypsum, CO 81637
 (970) 390-4931
 michael@mppdesignshop.com



Bilello Residence
 701 Boulder Street
 Minturn, CO 81645

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#	Description	Date

Project Number: 2007
 Designed by: Author
 Drawn by: Author
 Checked by: mpp

ENLARGED PLANS & ELEVATIONS

A401



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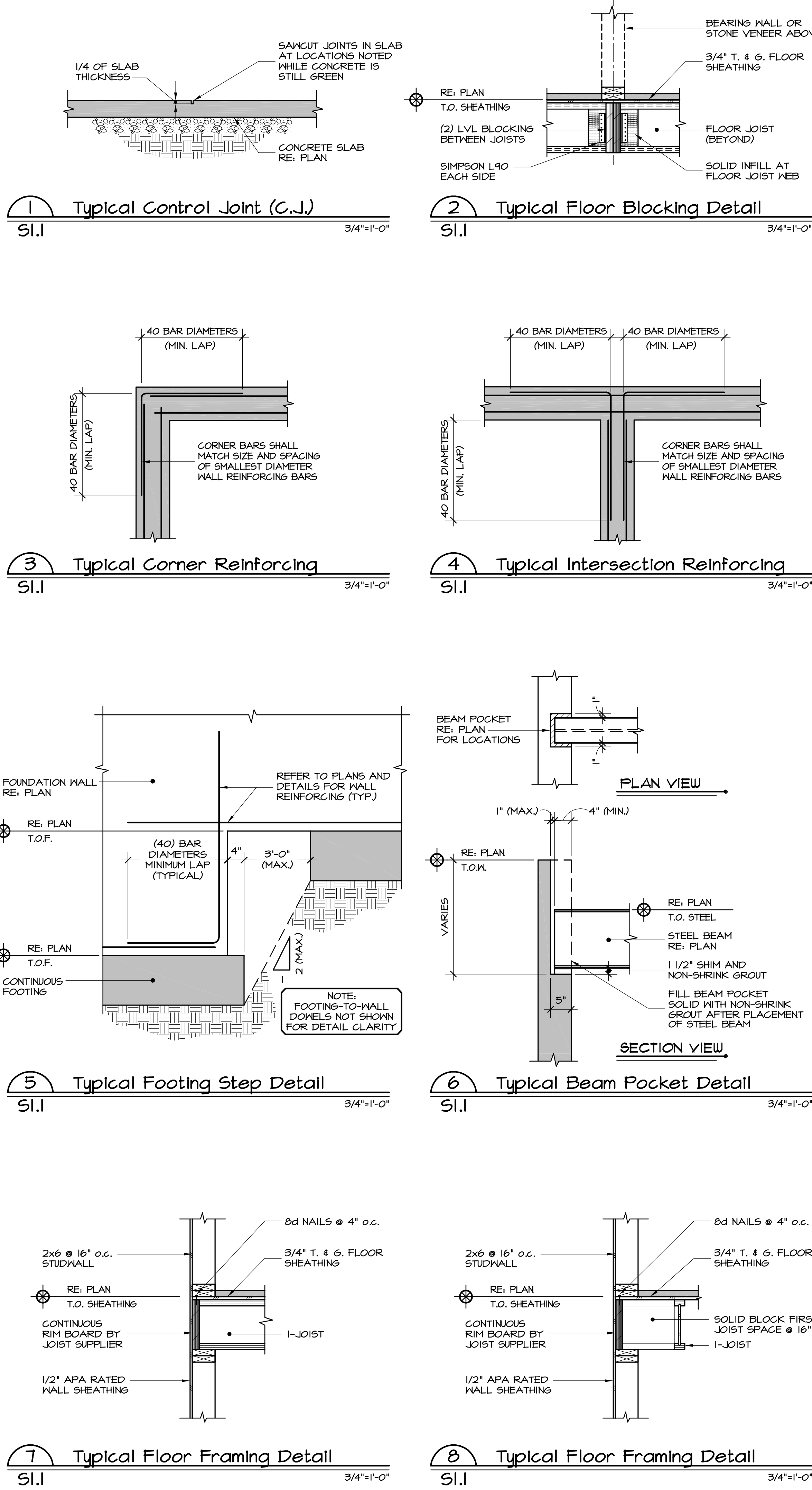
BILELLO RESIDENCE
701 Boulder Street
Minturn, Colorado

Date	• 04/20/2021
SDG Project No.	• 20-059
Drawn By	• SDG
Checked By	• JDS
Date	• Issue
02/01/21	• Review Set
04/15/21	• Review Set
04/20/21	• Construction
	•
	•
	•
Title	• General Notes and Standard Details

DRAWING SYMBOLS AND ABBREVIATIONS			
<p>DETAIL NUMBER → X</p> <p>DETAIL LOCATION (SHEET NUMBER) → X</p> <p>DETAIL NUMBER → X</p> <p>DETAIL LOCATION (SHEET NUMBER) → X</p> <p>DETAIL NUMBER → X</p> <p>DETAIL LOCATION (SHEET NUMBER) → X</p> <p>T.O.W. XX'-XX"</p> <p>T.O.F. XX'-XX"</p> <p>T.O.C. XX'-XX"</p> <p>T.O.L. XX'-XX"</p> <p>(XX'-XX")</p> <p>(XX'-XX")</p>	<p>XX'-XX" T.O. SLAB TOP OF SLAB ELEVATION</p> <p>XX'-XX" T.O. SHEATHING TOP OF PLYWOOD SHEATHING ELEVATION</p> <p>XX'-XX" T.O. DECKING TOP OF DECKING ELEVATION</p> <p>(A) PAD FOOTING MARK</p> <p>(A) BASE PLATE MARK</p> <p>(A) REVISION NUMBER MARK</p> <p>STEP T.O.W. LOCATION OF STEP IN TOP OF WALL</p> <p>STEP T.O.F. LOCATION OF STEP IN TOP OF FOOTING</p>	<p>A. BOLT ANCHOR BOLT</p> <p>ARCH. ARCHITECTURAL</p> <p>B.O. BOTTOM OF</p> <p>BCI I-JOIST (BOISE CASCADE)</p> <p>BRG. BEARING</p> <p>C CHANNEL (AISC)</p> <p>C.J. CONTROL JOINT</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>CONC. CONCRETE</p> <p>CONT. CONTINUOUS</p> <p>CTR. CENTER</p> <p>DIA. DIAMETER</p> <p>DL DEAD LOAD</p> <p>EXP. EXPANSION</p> <p>EXT. EXTERIOR</p> <p>F.O. FACE OF</p> <p>F.S. FAR SIDE</p> <p>FDN. FOUNDATION</p> <p>FT. FEET</p> <p>GL. GLU-LAMINATED MEMBER</p> <p>H.A.S. HEADED ANCHOR STUD</p> <p>HORIZ.; H. HORIZONTAL</p> <p>HSS HOLLOW STEEL SECTION</p> <p>IN. INCHES</p> <p>INT. INTERIOR</p> <p>JT. JOINT</p> <p>KIP 1,000 POUNDS</p> <p>klf KIPS PER LINEAL FOOT</p> <p>ksf KIPS PER SQUARE FOOT</p> <p>ksi KIPS PER SQUARE INCH</p> <p>L ANGLE (AISC)</p> <p>LBS. POUNDS</p> <p>LL DOUBLE ANGLE (AISC)</p> <p>LVL LAMINATED VENEER LUMBER</p> <p>MAX. MAXIMUM</p> <p>MC MISC. CHANNEL (AISC)</p> <p>MIN. MINIMUM</p> <p>N.S. NEAR SIDE</p> <p>o.c. ON-CENTER SPACING</p> <p>plf POUNDS PER LINEAL FOOT</p> <p>psf POUNDS PER SQUARE FOOT</p> <p>psi POUNDS PER SQUARE INCH</p> <p>PRE-ENG. PRE-ENGINEERED MEMBER</p> <p>PROJ. PROJECTED</p> <p>REF. REFERENCE; REFER TO</p> <p>REINF. REINFORCE (MENT)</p> <p>REV. REVISION</p> <p>SL SNOW LOAD</p> <p>STD. STANDARD</p> <p>T&G TONGUE AND GROOVE</p> <p>T.O. TOP OF</p> <p>TS TUBE STEEL (AISC)</p> <p>TYP. TYPICAL</p> <p>VERT.; V. VERTICAL</p> <p>W WIDE FLANGE (AISC)</p> <p>W.W.F. WELDED WIRE FABRIC</p> <p>WL WIND LOAD</p> <p>WT TEE SECTION (AISC)</p>	<p>1/4 OF SLAB THICKNESS</p> <p>SAWCUT JOINTS IN SLAB AT LOCATIONS NOTED WHILE CONCRETE IS STILL GREEN</p> <p>CONCRETE SLAB RE: PLAN</p> <p>BEARING WALL OR STONE VENEER ABOVE</p> <p>3/4" T. & G. FLOOR SHEATHING</p> <p>FLOOR JOIST (BEYOND)</p> <p>SOLID INFILL AT FLOOR JOIST WEB</p> <p>(2) LVL BLOCKING BETWEEN JOISTS</p> <p>SIMPSON L90 EACH SIDE</p> <p>RE: PLAN T.O. SHEATHING</p> <p>RE: PLAN T.O. WALL</p> <p>40 BAR DIAMETERS (MIN. LAP)</p> <p>40 BAR DIAMETERS (MIN. LAP)</p> <p>CORNER BARS SHALL MATCH SIZE AND SPACING OF SMALLEST DIAMETER WALL REINFORCING BARS</p> <p>40 BAR DIAMETERS (MIN. LAP)</p> <p>40 BAR DIAMETERS (MIN. LAP)</p> <p>CORNER BARS SHALL MATCH SIZE AND SPACING OF SMALLEST DIAMETER WALL REINFORCING BARS</p> <p>FOUNDATION WALL RE: PLAN</p> <p>RE: PLAN T.O.F.</p> <p>REFER TO PLANS AND DETAILS FOR WALL REINFORCING (TYP.)</p> <p>(40) BAR DIAMETERS MINIMUM LAP (TYPICAL)</p> <p>4" 3'-0" (MAX)</p> <p>1 (MAX) 2 (MAX)</p> <p>NOTE: FOOTING-TO-WALL DONELS NOT SHOWN FOR DETAIL CLARITY</p> <p>FOUNDATION WALL RE: PLAN</p> <p>RE: PLAN T.O.F.</p> <p>CONTINUOUS FOOTING</p> <p>BEAM POCKET RE: PLAN FOR LOCATIONS</p> <p>PLAN VIEW</p> <p>1" (MAX) 4" (MIN)</p> <p>RE: PLAN T.O. STEEL</p> <p>STEEL BEAM RE: PLAN</p> <p>1 1/2" SHIM AND NON-SHRINK GROUT</p> <p>FILL BEAM POCKET SOLID WITH NON-SHRINK GROUT AFTER PLACEMENT OF STEEL BEAM</p> <p>SECTION VIEW</p> <p>2x6 @ 16" o.c. STUD/WALL</p> <p>RE: PLAN T.O. SHEATHING</p> <p>CONTINUOUS RIM BOARD BY JOIST SUPPLIER</p> <p>1/2" APA RATED WALL SHEATHING</p> <p>8d NAILS @ 4" o.c.</p> <p>3/4" T. & G. FLOOR SHEATHING</p> <p>1-JOIST</p> <p>2x6 @ 16" o.c. STUD/WALL</p> <p>RE: PLAN T.O. SHEATHING</p> <p>CONTINUOUS RIM BOARD BY JOIST SUPPLIER</p> <p>1/2" APA RATED WALL SHEATHING</p> <p>8d NAILS @ 4" o.c.</p> <p>3/4" T. & G. FLOOR SHEATHING</p> <p>SOLID BLOCK FIRST JOIST SPACE @ 16" o.c.</p> <p>1-JOIST</p>

GENERAL STRUCTURAL NOTES

<p>STRUCTURAL DESIGN CRITERIA:</p> <p>1. These General Structural Notes apply to these Structural Drawings and supplement the project Specifications. Refer to the Project Manual for additional requirements.</p> <p>2. This project is located in Minturn, Colorado and has been designed in accordance with the 2015 Edition of the International Residential Code (including applicable amendments and supplements).</p> <p>3. Design Loads:</p> <table border="1"> <tr> <td>A. Roof Live Load:</td> <td>Uniform Snow</td> <td>100 psf</td> </tr> <tr> <td rowspan="4">B. Floor Live Loads:</td> <td>Residential</td> <td>40 psf</td> </tr> <tr> <td>Light Storage</td> <td>125 psf</td> </tr> <tr> <td>Stairs & Corridors</td> <td>100 psf</td> </tr> <tr> <td>Balconies & Decks</td> <td>100 psf</td> </tr> <tr> <td>C. Wind Analysis:</td> <td>Basic Wind Speed Exposure</td> <td>90 mph (3-second gust) C</td> </tr> <tr> <td>D. Seismic Analysis:</td> <td>Seismic Design Category 'B'</td> <td></td> </tr> <tr> <td>E. Frost / Fdn. Depth:</td> <td>48" minimum below exterior ground surface to bottom of footing elevation</td> <td></td> </tr> </table> <p>4. Structural Design References:</p> <ul style="list-style-type: none"> American Concrete Institute (ACI); ACI 301, ACI 318, ACI 530 American Institute of Steel Construction (AISC) American Institute of Timber Construction (AITC) American Iron and Steel Institute (AISI) American Plywood Association (APA) American Society of Civil Engineers (ASCE); ASCE 7 American Society for Testing and Materials (ASTM) American Welding Society (AWS) National Design Specification for Wood Construction (NDS) International Residential Code (IRC) <p>COORDINATION:</p> <p>1. Dimensions: Written dimensions take precedence over scaled dimensions. All dimensions noted within the Structural Drawings shall be verified with the Architectural Drawings. Refer to Mechanical, Electrical, Plumbing, and Architectural Drawings for openings not noted within the Structural Drawings. Any dimensional discrepancies shall be noted in writing for review by the Architect and Structural Engineer.</p> <p>2. Shop Drawings: Shop drawings shall be prepared by the fabricator. Copying of these Construction Documents for use as shop drawings will not be permitted.</p> <p>3. Field Verification: The Contractor shall verify existing conditions prior to commencement of work, and shall notify the Architect and Structural Engineer for any interpretation or clarification.</p> <p>4. Field Modifications to Structural Members: The Contractor is responsible for securing the Architect's and Structural Engineer's approval prior to any cutting, notching, drilling or other modifications which may affect the integrity of the structure. When such modifications have been approved, they are to be completed in accordance with applicable building codes and manufacturer's instructions.</p> <p>5. Duty of Cooperation: Issuance of these documents presupposes further cooperation among the Owner, Contractor, Architect and Structural Engineer. Building design and construction are complex, and every contingency cannot be anticipated. Although the Structural Engineer(s) have performed their services with due care and diligence, they cannot guarantee perfection. Any ambiguity or discrepancy discovered through the use of these documents shall be promptly reported to the Architect and Structural Engineer for further clarification. Failure to do so may compound misinterpretation and increase construction costs, and such failure shall relieve the Structural Engineer of responsibility from consequences which may arise.</p> <p>6. Changes to the Work: Substitution of noted structural products or "approved equivalent" products will be acceptable only with the written approval of the Structural Engineer. Changes to the Contract Documents made without approval are unauthorized and shall relieve the Structural Engineer of responsibility from consequences which may arise.</p> <p>7. Jobsite Safety: These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the jobsite safety of all personnel, work, materials, utilities, equipment and adjacent properties in accordance with accepted codes, regulations and industry practices.</p>	A. Roof Live Load:	Uniform Snow	100 psf	B. Floor Live Loads:	Residential	40 psf	Light Storage	125 psf	Stairs & Corridors	100 psf	Balconies & Decks	100 psf	C. Wind Analysis:	Basic Wind Speed Exposure	90 mph (3-second gust) C	D. Seismic Analysis:	Seismic Design Category 'B'		E. Frost / Fdn. Depth:	48" minimum below exterior ground surface to bottom of footing elevation		<p>STRUCTURAL CONCRETE:</p> <p>1. Concrete has been designed and shall be constructed in accordance with the American Concrete Institute (ACI). Refer to the "Field Observations" paragraph of these General Structural Notes for observation requirements. All concrete shall be of stone aggregate, unless noted otherwise. Refer to the Project Manual and Specifications for additional requirements (durability, color, finish, etc.). The use of any concrete additive containing chlorides is prohibited.</p> <p>2. Minimum 28-day compressive strength shall be as follows:</p> <table border="1"> <tr> <td>A. Foundation Walls</td> <td>3,000 psi</td> </tr> <tr> <td>B. Footings</td> <td>3,000 psi</td> </tr> <tr> <td>C. Slabs on Grade</td> <td>4,000 psi</td> </tr> <tr> <td>D. Topping Slabs</td> <td>4,000 psi</td> </tr> <tr> <td>E. All other concrete</td> <td>3,000 psi</td> </tr> </table> <p>3. Reinforcing is to be new billet steel ASTM A615 Grade 60 (field bent or welded bars shall be ASTM A706, Grade 60). No welding of reinforcement is permitted unless detailed. No splices of reinforcement are permitted except as detailed or authorized by Structural Engineer. Provide corner and bars to match all horizontal reinforcing. Provide minimum (2) #5 bars around all sides of all openings in concrete and extend 2'-0" minimum past edges of openings. Where permitted, use contact lap splices (40 bar diameters minimum lap). Welded wire fabric (W.W.F.) shall be in accordance with ASTM A185. Provide a minimum (1) full mesh lap at splice locations.</p> <p>4. Placing of Reinforcement: Form ties are to be used for bar supports only when the clear dimensions shown on the details can be maintained. Provide wire chairs, bolsters, additional reinforcement, and accessories necessary to support reinforcement at position shown in the Structural Drawings. Support of reinforcement on wood, brick, or other unacceptable material will not be permitted.</p> <p>5. The following minimum concrete cover over reinforcing shall be provided unless noted otherwise:</p> <table border="1"> <tr> <td>A. Concrete cast against and permanently exposed to earth</td> <td>3 inches</td> </tr> <tr> <td>B. Concrete exposed to earth or weather (#5 bars and smaller)</td> <td>1-1/2 inches</td> </tr> <tr> <td>C. Piers, Beams and Columns</td> <td>1-1/2 inches</td> </tr> </table> <p>STRUCTURAL STEEL:</p> <p>1. Structural steel, including embedded angles, plates or other sections has been designed and shall be detailed and erected in accordance with the American Institute of Steel Construction (AISC), ASD Specifications and Code of Standard Practice. Steel detailing and erection shall accommodate provisions of AISC and OSHA standards (including OSHA Steel Erection Standard Part 1926, Subpart "R").</p> <p>2. Minimum yield strengths (Fy) are 35 ksi for pipes (ASTM A53, Grade B), 46 ksi for tubes (ASTM A500, Grade B), 50 ksi for wide flange members (ASTM A572, Grade 50), and 36 ksi for all others (ASTM A36).</p> <p>3. Connections: Use standard framed beam connections meeting requirements of the AISC Manual of Steel Construction (ASD). Use 3/4" diameter minimum A325N bolts or welded equivalent. Minimum welds are per AISC, and not less than 3/16" continuous fillet using E70XX electrodes (unless noted otherwise). Welding of rebar anchors to angles or plates shall be completed to develop a minimum 150% of the yield strength of the reinforcing bar. Headed stud anchors shall conform to AWS D1.1 and shall be automatically end welded in the shop (unless noted otherwise). See specifications for testing requirements.</p> <p>STRUCTURAL TIMBER:</p> <p>1. Structural Timber has been designed and shall be constructed in conformance with provisions of the NDS Specification for Stress Grade Lumber and its Fastenings. The Contractor shall not cut, notch, or otherwise modify timber members without the written consent of the Structural engineer. Provide cross-bracing at 8'-0" o.c. maximum, and provide solid blocking between joists at all bearing supports.</p> <table border="1"> <tr> <td>A. Wall Studs</td> <td>Hem-Fir (HF) Construction Grade</td> </tr> <tr> <td>B. Floor Joists (2x members)</td> <td>Hem-Fir (HF) #2 Grade or Better</td> </tr> <tr> <td>C. Floor Beams</td> <td>Douglas-Fir (DF) #1 Grade Beam & Stringer</td> </tr> <tr> <td>D. Roof Rafters (2x members)</td> <td>Hem-Fir (HF) #2 Grade or Better</td> </tr> <tr> <td>E. Roof Beams</td> <td>Douglas-Fir (DF) #1 Grade Beam & Stringer</td> </tr> <tr> <td>F. Posts / Columns</td> <td>Douglas-Fir (DF) #1 Grade Post & Timber</td> </tr> <tr> <td>G. T&G Wood Decking</td> <td>Douglas-Fir (DF) Commercial Grade</td> </tr> </table> <p>3. Wall, roof, and floor sheathing shall meet the minimum requirements of the APA and AITC. Provide thicknesses and fasten to framing members as noted in the Structural Drawings. Panels are to be oriented to span along their strong axis, and all panel joints are to be staggered.</p> <p>4. Pre-fabricated structural connectors shall be as manufactured by Simpson Strong-Tie Company or approved equivalent.</p>	A. Foundation Walls	3,000 psi	B. Footings	3,000 psi	C. Slabs on Grade	4,000 psi	D. Topping Slabs	4,000 psi	E. All other concrete	3,000 psi	A. Concrete cast against and permanently exposed to earth	3 inches	B. Concrete exposed to earth or weather (#5 bars and smaller)	1-1/2 inches	C. Piers, Beams and Columns	1-1/2 inches	A. Wall Studs	Hem-Fir (HF) Construction Grade	B. Floor Joists (2x members)	Hem-Fir (HF) #2 Grade or Better	C. Floor Beams	Douglas-Fir (DF) #1 Grade Beam & Stringer	D. Roof Rafters (2x members)	Hem-Fir (HF) #2 Grade or Better	E. Roof Beams	Douglas-Fir (DF) #1 Grade Beam & Stringer	F. Posts / Columns	Douglas-Fir (DF) #1 Grade Post & Timber	G. T&G Wood Decking	Douglas-Fir (DF) Commercial Grade	<p>STRUCTURAL TIMBER (CONT.):</p> <p>5. I-joists (BCI) shall be as manufactured by Boise Cascade Corporation or approved equivalent. Provide member size and series as noted in the Structural Drawings. The Supplier shall furnish shop drawings showing all joist members, bridging, blocking, and miscellaneous accessories for review by the Structural Engineer prior to installation. Refer to the Manufacturer Installation Guide for further construction requirements.</p> <p>6. Laminated Veneer Lumber (LVL) shall be as manufactured by Boise Cascade Corporation or approved equivalent. Provide member size as noted in the Structural Drawings, conforming to combination 24F-V4 (multiple span beams shall be 24F-V8) strength and stiffness requirements, unless otherwise noted. Ship members to the jobsite stored in manufacturer's protective wrapping. Refer to Architectural drawings for appearance grade requirements.</p> <p>7. Glue-Laminated (GL) members shall Visually Graded Western Species, conforming to combination 24F-V4 (multiple span beams shall be 24F-V8) strength and stiffness requirements, unless otherwise noted. Ship members to the jobsite stored in manufacturer's protective wrapping. Refer to Architectural drawings for appearance grade requirements.</p> <p>8. Pre-Engineered wood roof trusses shall be designed by a registered Professional Engineer licensed in the State of Colorado. Calculated live load deflections of all trusses shall not exceed 1/240 of the span length. Shop drawings and calculations bearing the seal and signature of the design engineer shall be submitted for the review of the Structural Engineer. These submittals shall indicate the design loads, locations of all trusses, connection plate sizes and capacities, and the size and grade of lumber to be used. Shop drawing review by the Structural Engineer must be completed prior to truss fabrication. The truss manufacturer shall indicate and provide blocking at bearing locations and lateral bridging as required for truss stability.</p> <p>FOUNDATIONS:</p> <p>1. The structure shall be founded upon spread footings placed upon APPROVED undisturbed natural soils or compacted structural fill with an ASSUMED maximum allowable bearing pressure of 2,500 psf.</p> <p>2. Retaining walls have been designed in accordance with the following ASSUMED design values:</p> <table border="1"> <tr> <td>A. Coefficient of Friction</td> <td>0.40</td> </tr> <tr> <td>B. Lateral Earth Pressure</td> <td>50 pcf</td> </tr> <tr> <td>C. Passive Pressure</td> <td>300 pcf</td> </tr> </table> <p>3. Provide 1 1/2" void below all non-bearing partitions constructed upon slabs on grade.</p> <p>4. The soil design pressures and coefficients noted above are assumed values and must be verified by a qualified soils engineer prior to foundation construction. Once these values have been verified, the Structural Engineer must be informed and allowed sufficient time to re-evaluate the foundation system if these values differ from the assumptions listed above.</p> <p>The Soils Engineer shall review all foundation excavations prior to the placement of formwork or reinforcement. All structural fill shall be observed and tested by the Soils Engineer during the grading and fill placement process.</p> <p>FIELD OBSERVATIONS:</p> <p>1. The Contractor shall inform the Structural Engineer at least 72 hours prior to casting any concrete so as to allow the Structural Engineer the opportunity to review the placement of reinforcement and embeddings.</p> <p style="text-align: center;">Contact Sundquist Design Group, Inc. at (303) 838-2222.</p> <p>SPECIAL INSPECTIONS:</p> <p>1. It is the responsibility of the Contractor to coordinate all structural inspections as required by governing building codes and the Construction Documents. A qualified independent testing company is to provide Special Inspections for portions of the Work, as indicated in the Construction Documents and as required by local jurisdictions.</p> <p>2. The Special Inspector shall be responsible for completing, maintaining, and resubmitting all special inspection logs and forms required by Local Building Officials.</p>	A. Coefficient of Friction	0.40	B. Lateral Earth Pressure	50 pcf	C. Passive Pressure	300 pcf
A. Roof Live Load:	Uniform Snow	100 psf																																																									
B. Floor Live Loads:	Residential	40 psf																																																									
	Light Storage	125 psf																																																									
	Stairs & Corridors	100 psf																																																									
	Balconies & Decks	100 psf																																																									
C. Wind Analysis:	Basic Wind Speed Exposure	90 mph (3-second gust) C																																																									
D. Seismic Analysis:	Seismic Design Category 'B'																																																										
E. Frost / Fdn. Depth:	48" minimum below exterior ground surface to bottom of footing elevation																																																										
A. Foundation Walls	3,000 psi																																																										
B. Footings	3,000 psi																																																										
C. Slabs on Grade	4,000 psi																																																										
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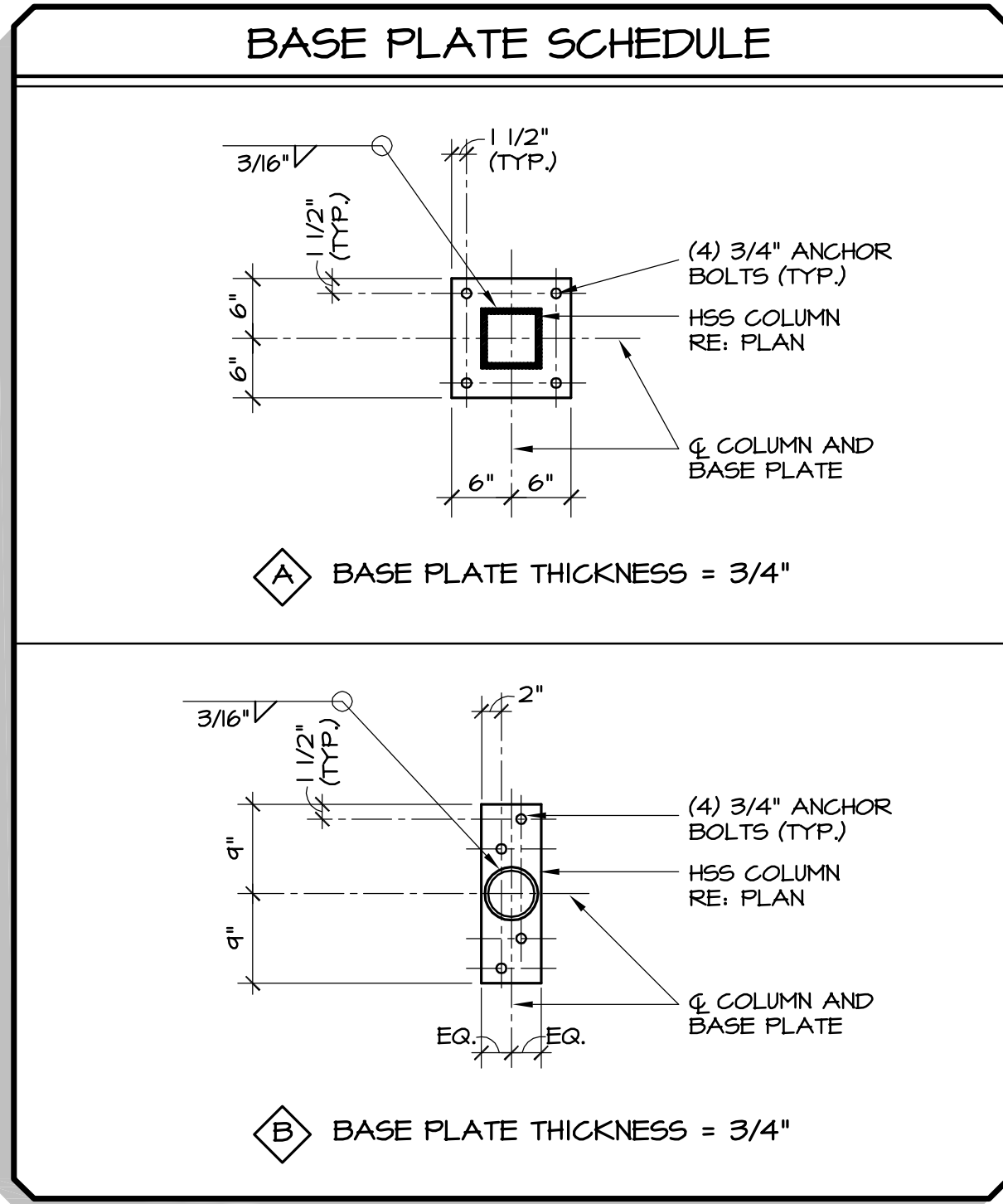
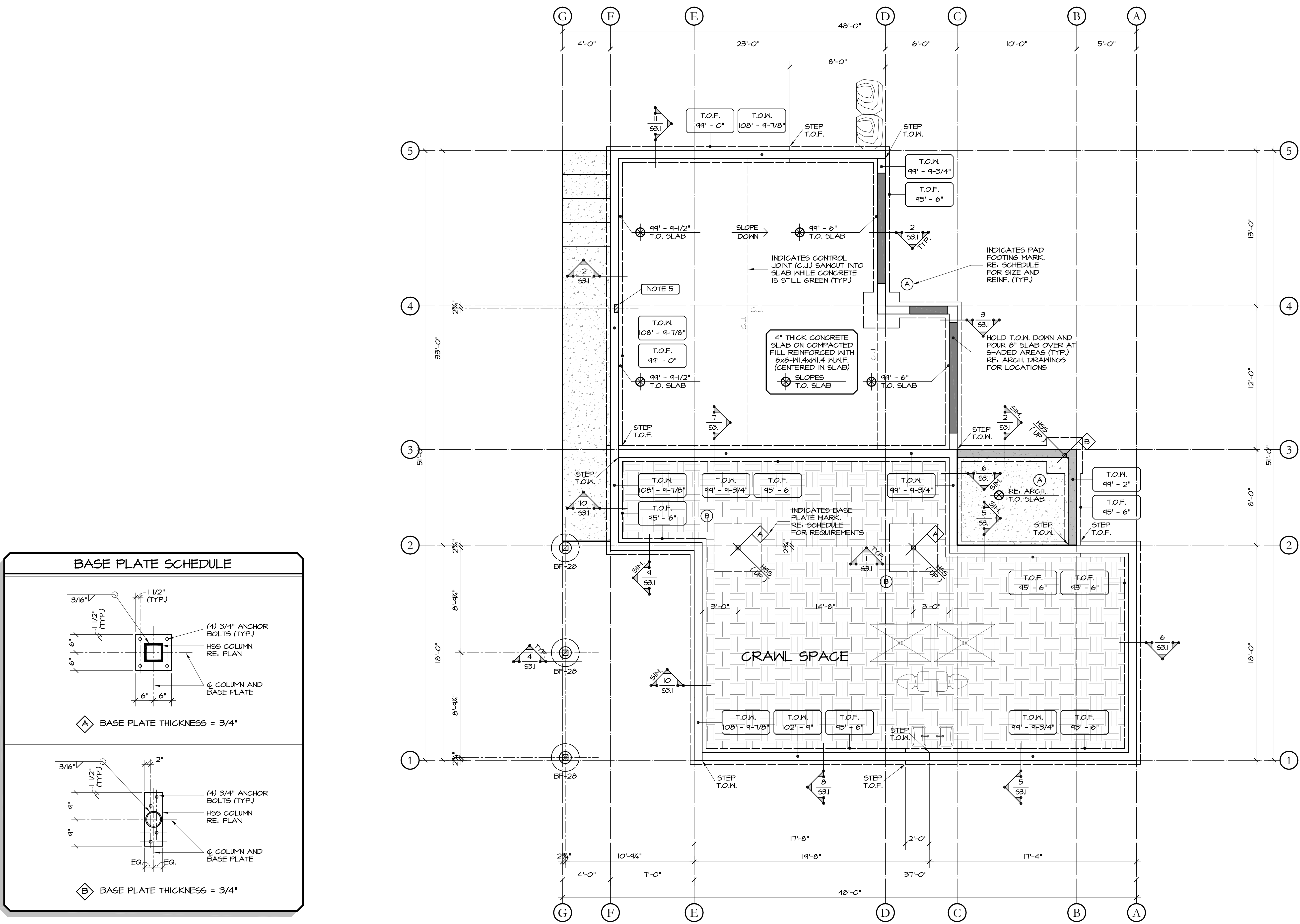


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BILELLO RESIDENCE

701 Boulder Street
Minturn, Colorado



PAD FOOTING SCHEDULE		
MARK	FOOTING DIMENSIONS Plan Size	REINFORCING
(A)	3'-0" x 3'-0"	(4) # 5 Bars Each Way
(B)	4'-0" x 4'-0"	(5) # 5 Bars Each Way
(C)		
(D)		

NOTES:
1. PAD FOOTINGS ARE TO BE CENTERED BELOW COLUMN CENTERLINES (I.N.O.).
2. PROVIDE 3" CLEAR DISTANCE FROM BOTTOM OF FOOTING TO REINFORCING.
3. REFER TO PLAN FOR TOP OF FOOTING ELEVATIONS.

1 Foundation Plan
SCALE: 1/4"=1'-0"
NORTH

- NOTES:
- REFER TO SHEET S11 FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
 - REFER TO SOILS REPORT FOR ALL EXCAVATION, FILL, COMPACTION, AND OTHER SUBGRADE CONSIDERATIONS. COORDINATE ALL DRAINAGE, WATERPROOFING, VAPOR BARRIERS AND OTHER PREPARATIONS WITH ARCHITECTURAL DRAWINGS AND SOILS REPORT.
 - REFER TO ARCHITECTURAL DRAWINGS FOR MISC. FOUNDATION PENETRATIONS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
 - REFER TO DETAIL 6/S11 FOR TYPICAL BEAM POCKET REQUIREMENTS.
 - G.C. IS TO VERIFY THAT A MINIMUM FROST DEPTH OF 48" HAS BEEN ACHIEVED FOR THE FOUNDATION WALLS AND EXTERIOR PIERS.
 - G.C. TO COORDINATE UFER GROUND LOCATION (GEE).

Date	04/20/2021
SDG Project No.	20-059
Drawn By	SDG
Checked By	JDS

Date	Issue
02/01/21	Review Set
04/15/21	Review Set
04/20/21	Construction

Title • Foundation Plan



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BILELLO RESIDENCE

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Minturn, Colorado

TYPICAL WALL HEADER NOTES

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL'S (MINIMUM) OR (3) 2x10'S WITH A SINGLE 2x6 TRIMMER AND A SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

I-JOIST HANGER SCHEDULE

SINGLE I-JOIST		
JOIST HEIGHT	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8" BCI 6000 / 60	ITT3511.88	IUS2.37/11.88
11-7/8" BCI 90	ITT411.88	IUS3.56/11.88

LVL BEAMS AND HEADER HANGER SCHEDULE

1-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	MIT11.88	HU11

2-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS56/11.88	HHUS410

3-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS50/11.88	HHUS550/10

4-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUT.25/11.88	HHUS7.25/10

TYPICAL SHEATHING NAILING NOTES

APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS
FLOORS	3/4" T. & G. APA RATED STURD-I-FLOOR	6" o.c.	10" o.c.	8d RING SHANK NAILS (ALT. 10d COMMON) GLUED WITH CONST. ADHESIVE
WALLS	1/2" APA RATED C-C, C-D	6" o.c.	12" o.c.	8d COMMON NAILS
ROOFS	5/8" APA RATED EXPOSURE 1 RATED 40/20	6" o.c.	12" o.c.	10d COMMON NAILS

NOTES:
1. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.
2. REFER TO THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ADDITIONAL SHEATHING REQUIREMENTS.
3. EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED AT WALL PANELS ONLY.

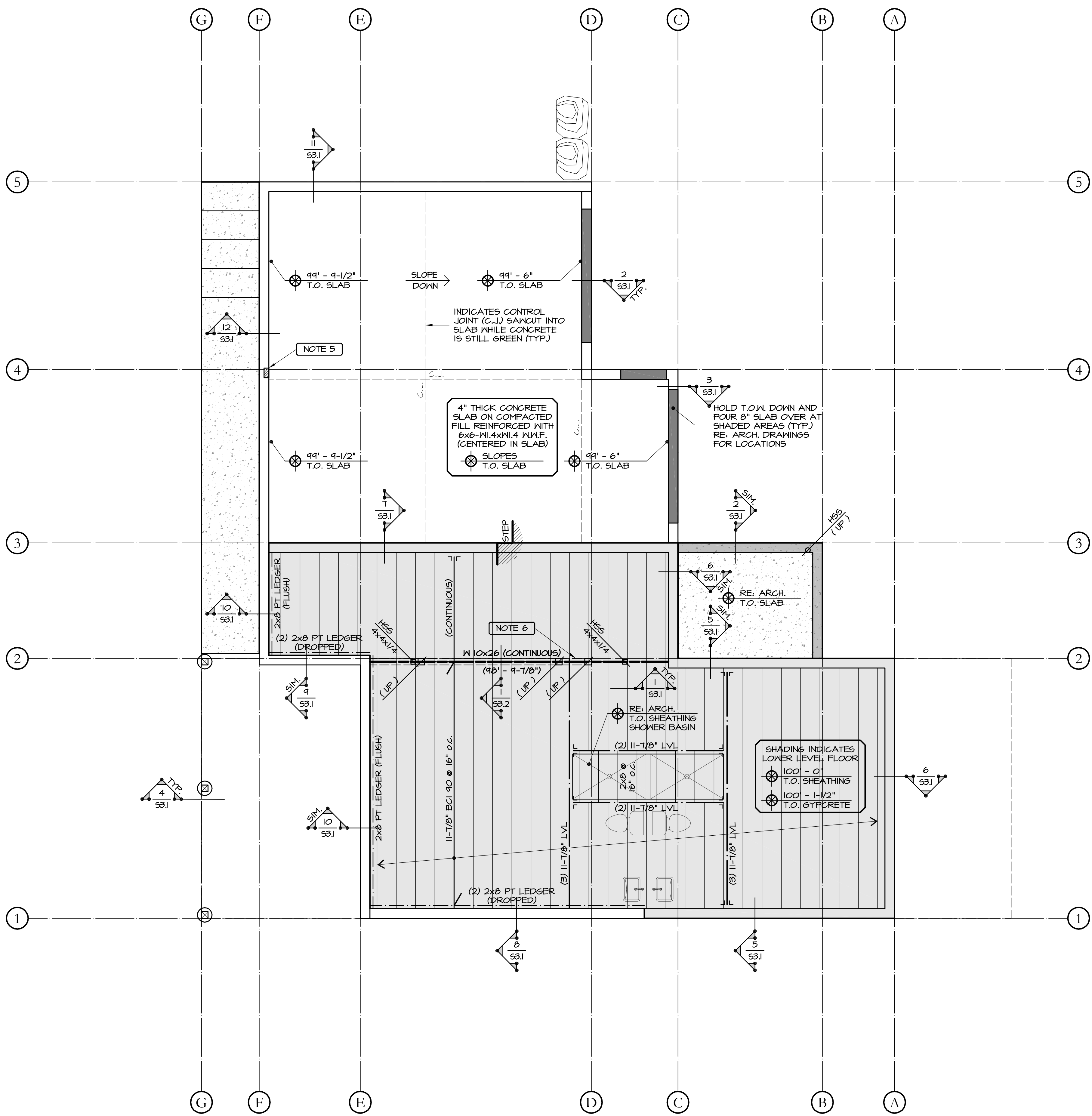
TYPICAL FRAMING PLAN NOTES

PLAN NOTATIONS:
GL: GLU-LAMINATED BEAM
BCI: I-JOIST
LVL: LAMINATED VENEER BEAM

BEAM BEARING CONDITION:
INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)

HEADER BEARING CONDITION:
INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)
T = TRIMMER STUDS
K = KING STUDS

MISCELLANEOUS CONDITIONS:
INDICATES COLUMN / STUDS FROM A LEVEL ABOVE POSTING DOWN TO THE CURRENT FRAMING LEVEL.
INDICATES COLUMN / STUDS FROM A LEVEL ABOVE POSTING DOWN TO FRAMING MEMBER NOTED ON THE CURRENT FRAMING LEVEL.



1 Lower Level Floor Framing Plan
SCALE: 1/4"=1'-0"
NORTH

NOTES:
1. REFER TO SHEET S1.1 FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
2. REFER TO ARCHITECTURAL DRAWINGS FOR MISC. FLOOR PENETRATIONS.
3. ALL FLOOR BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
4. REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
5. REFER TO DETAIL 6/S1.1 FOR TYPICAL BEAM POCKET REQUIREMENTS.
6. INDICATES 2x6 @ 16" o.c. BEARING WALLS ABOVE.

Date	• 04/20/2021
SDG Project No.	• 20-059
Drawn By	• SDG
Checked By	• JDS

Date	• Issue
02/01/21	• Review Set
04/15/21	• Review Set
04/20/21	• Construction
	•
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Title	• Lower Level Floor Framing Plan
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BILELLO RESIDENCE

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Minturn, Colorado

TYPICAL WALL HEADER NOTES

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL'S (MINIMUM) OR (3) 2x10'S WITH A SINGLE 2x6 TRIMMER AND A SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

I-JOIST HANGER SCHEDULE

SINGLE I-JOIST		
JOIST HEIGHT	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8" BCI 6000 / 60	ITT3511.88	IUS2.31/11.88
11-7/8" BCI 90	ITT411.88	IUS3.56/11.88

LVL BEAMS AND HEADER HANGER SCHEDULE

1-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	MIT11.88	HU11

2-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS56/11.88	HHUS410

3-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS50/11.88	HHUS550/10

4-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS7.25/11.88	HHUS7.25/10

TYPICAL SHEATHING NAILING NOTES

APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS
FLOORS	3/4" T. & G. APA RATED STURD-I-FLOOR	6" o.c.	10" o.c.	8d RING SHANK NAILS (ALT. 10d COMMON) GLUED WITH CONST. ADHESIVE
WALLS	1/2" APA RATED C-C, C-D	6" o.c.	12" o.c.	8d COMMON NAILS
ROOFS	5/8" APA RATED EXPOSURE 1 RATED 40/20	6" o.c.	12" o.c.	10d COMMON NAILS

NOTES:
1. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.
2. REFER TO THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ADDITIONAL SHEATHING REQUIREMENTS.
3. EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED AT WALL PANELS ONLY.

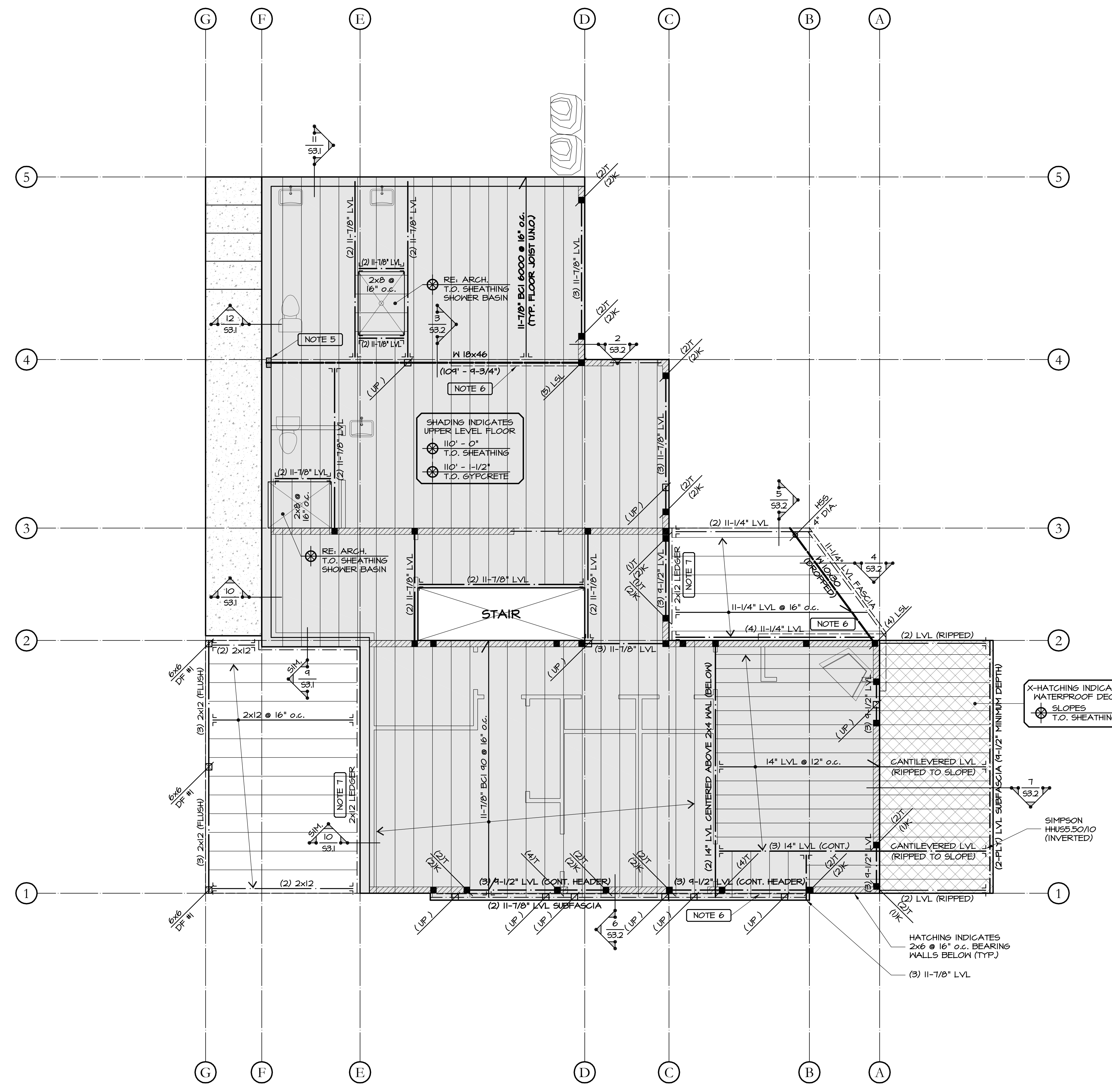
TYPICAL FRAMING PLAN NOTES

PLAN NOTATIONS:
GL: GLU-LAMINATED BEAM
BCI: I-JOIST
LVL: LAMINATED VENEER BEAM

BEAM BEARING CONDITION:
INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)

HEADER BEARING CONDITION:
INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)
T = TRIMMER STUDS
K = KING STUDS

MISCELLANEOUS CONDITIONS:
(UP) INDICATES COLUMN / STUDS FROM A LEVEL ABOVE, POSTING DOWN TO THE CURRENT FRAMING LEVEL.
(DN) INDICATES COLUMN / STUDS POSTING DOWN TO FRAMING MEMBER NOTED ON THE CURRENT FRAMING LEVEL.



1 Upper Level Floor & Low Roof Framing Plan
SCALE: 1/4"=1'-0"
NORTH

- NOTES:
- REFER TO SHEET S1.1 FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR MISC. FLOOR PENETRATIONS.
 - ALL LVL FLOOR AND ROOF BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
 - REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
 - REFER TO DETAIL 6/S1.1 FOR TYPICAL BEAM POCKET REQUIREMENTS.
 - INDICATES 2x6 @ 16" o.c. BEARING WALLS ABOVE.
 - ATTACH LEDGER TO WALL/RIM WITH (2) ROWS OF 5"-LONG LEDGER-LOCK SCREWS SPACED @ 16" o.c. (MAX).

Date	• 04/20/2021
SDG Project No.	• 20-059
Drawn By	• SDG
Checked By	• JDS

Date	• Issue
02/01/21	• Review Set
04/15/21	• Review Set
04/20/21	• Construction
	•
	•

Title • Upper Level Floor and Low Roof Framing Plan



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Date	• 04/20/2021
SDG Project No.	• 20-059
Drawn By	• SDG
Checked By	• JDS

Date	• Issue
02/01/21	• Review Set
04/15/21	• Review Set
04/20/21	• Construction
	•
	•

Title • High Roof Framing Plan

TYPICAL WALL HEADER NOTES

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL'S (MINIMUM) OR (3) 2x10'S WITH A SINGLE 2x6 TRIMMER AND A SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

I-JOIST HANGER SCHEDULE

SINGLE I-JOIST		
JOIST HEIGHT	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8" BCI 6000 / 60	ITT3511.88	IUS2.37/11.88
11-7/8" BCI 90	ITT411.88	IUS3.56/11.88

LVL BEAMS AND HEADER HANGER SCHEDULE

1-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	MIT11.88	HU11

2-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS56/11.88	HHUS410

3-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS50/11.88	HHUS50/10

4-PLY : 1-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HNUS7.25/11.88	HHUS7.25/10

TYPICAL SHEATHING NAILING NOTES

APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS
FLOORS	3/4" T. & G. APA RATED STURD-I-FLOOR	6"o.c.	10"o.c.	8d RING SHANK NAILS (ALT. 10d COMMON) GLUED WITH CONST. ADHESIVE
WALLS	1/2" APA RATED C-C, C-D	6"o.c.	12"o.c.	8d COMMON NAILS
ROOFS	5/8" APA RATED EXPOSURE 1 RATED 40/20	6"o.c.	12"o.c.	10d COMMON NAILS

NOTES:
1. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.
2. REFER TO THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ADDITIONAL SHEATHING REQUIREMENTS.
3. EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED AT WALL PANELS ONLY.

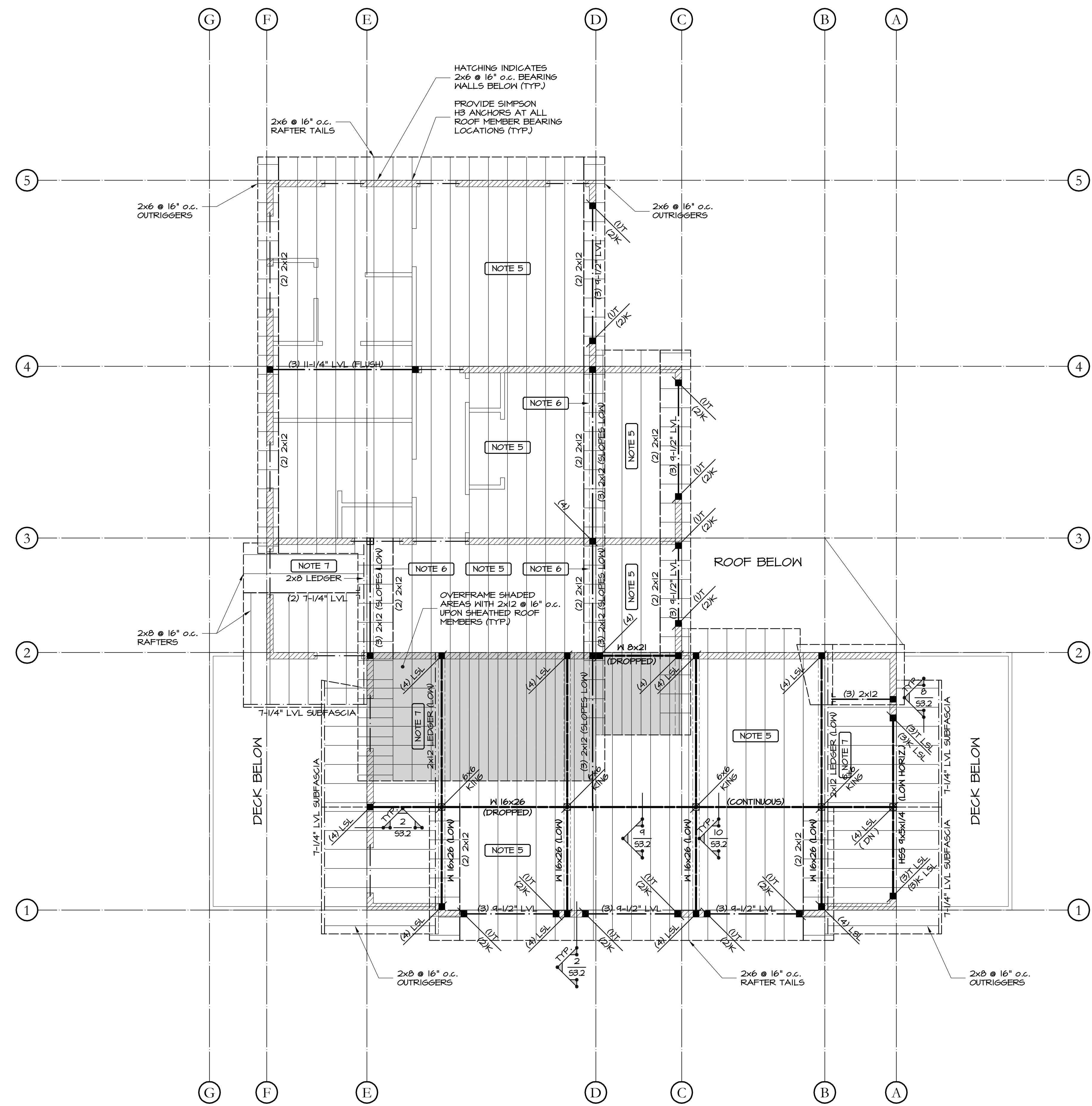
TYPICAL FRAMING PLAN NOTES

PLAN NOTATIONS:
GL: GLU-LAMINATED BEAM
BCI: I-JOIST
LVL: LAMINATED VENEER BEAM

BEAM BEARING CONDITION:
INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)

HEADER BEARING CONDITION:
INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)
T = TRIMMER STUDS
K = KING STUDS

MISCELLANEOUS CONDITIONS:
(UP) INDICATES COLUMN / STUDS FROM A LEVEL ABOVE, POSTING DOWN TO THE CURRENT FRAMING LEVEL.
(DN) INDICATES COLUMN / STUDS POSTING DOWN TO FRAMING MEMBER NOTED ON THE CURRENT FRAMING LEVEL.



1 High Roof Framing Plan
SCALE: 1/4"=1'-0"
NORTH

NOTES:
1. REFER TO SHEET S1.1 FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
2. REFER TO ARCHITECTURAL DRAWINGS FOR MISC. ROOF PENETRATIONS.
3. ALL LVL ROOF BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
4. ALL HEAVY TIMBER ROOF BEAMS ARE TO BE DROPPED (UNLESS NOTED OTHERWISE).
5. ALL ROOF RAFTERS ARE 2x12 @ 16" o.c. (U.N.O.).
6. INDICATES 2x6 @ 16" o.c. KNEEWALL DOWN TO LOWER ROOF PLANE.
7. ATTACH LEDGER TO WALL/RIM WITH (2) ROWS OF 5"-LONG LEDGER-LOCK SCREWS SPACED @ 16" o.c. (MAX).

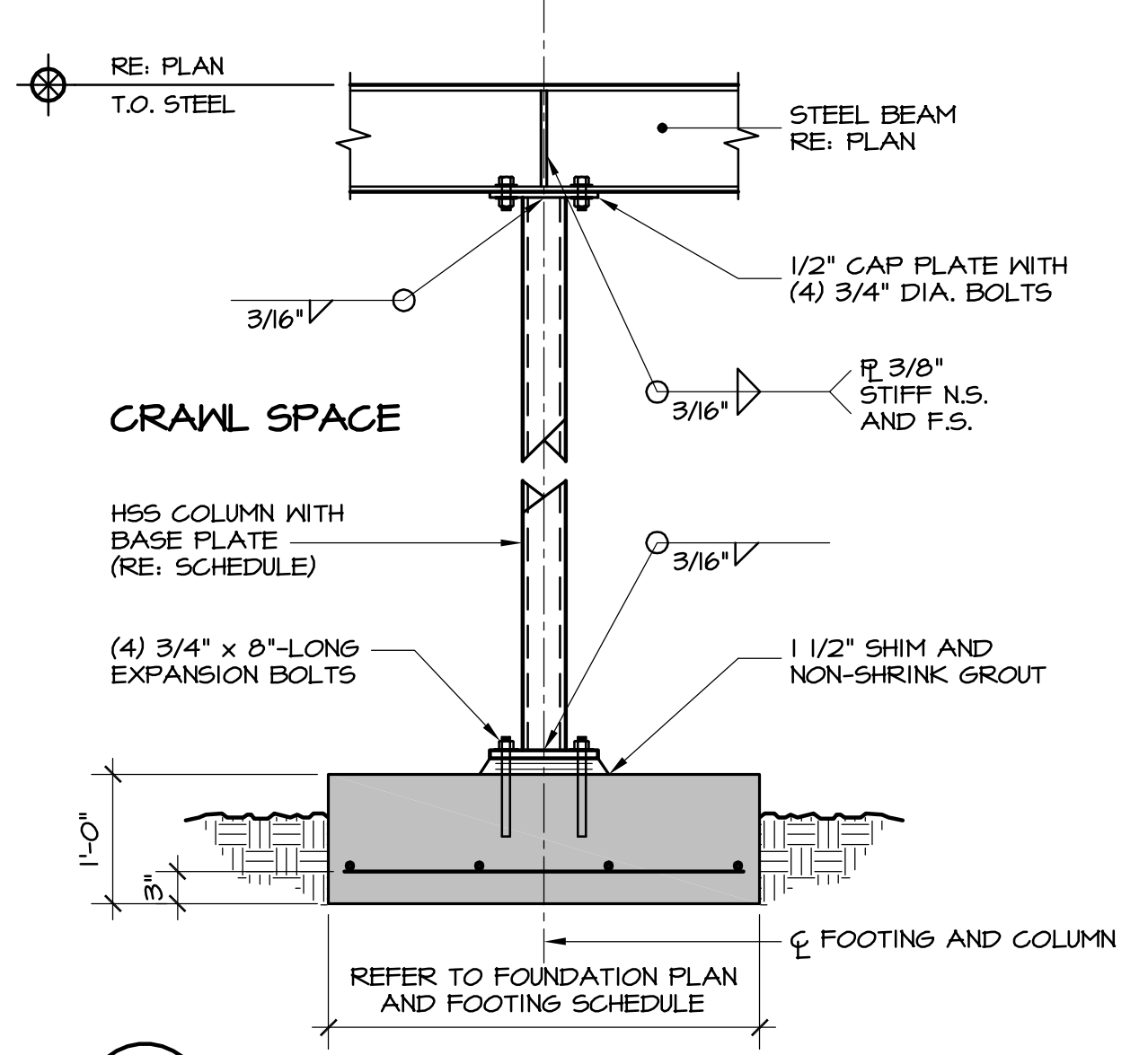


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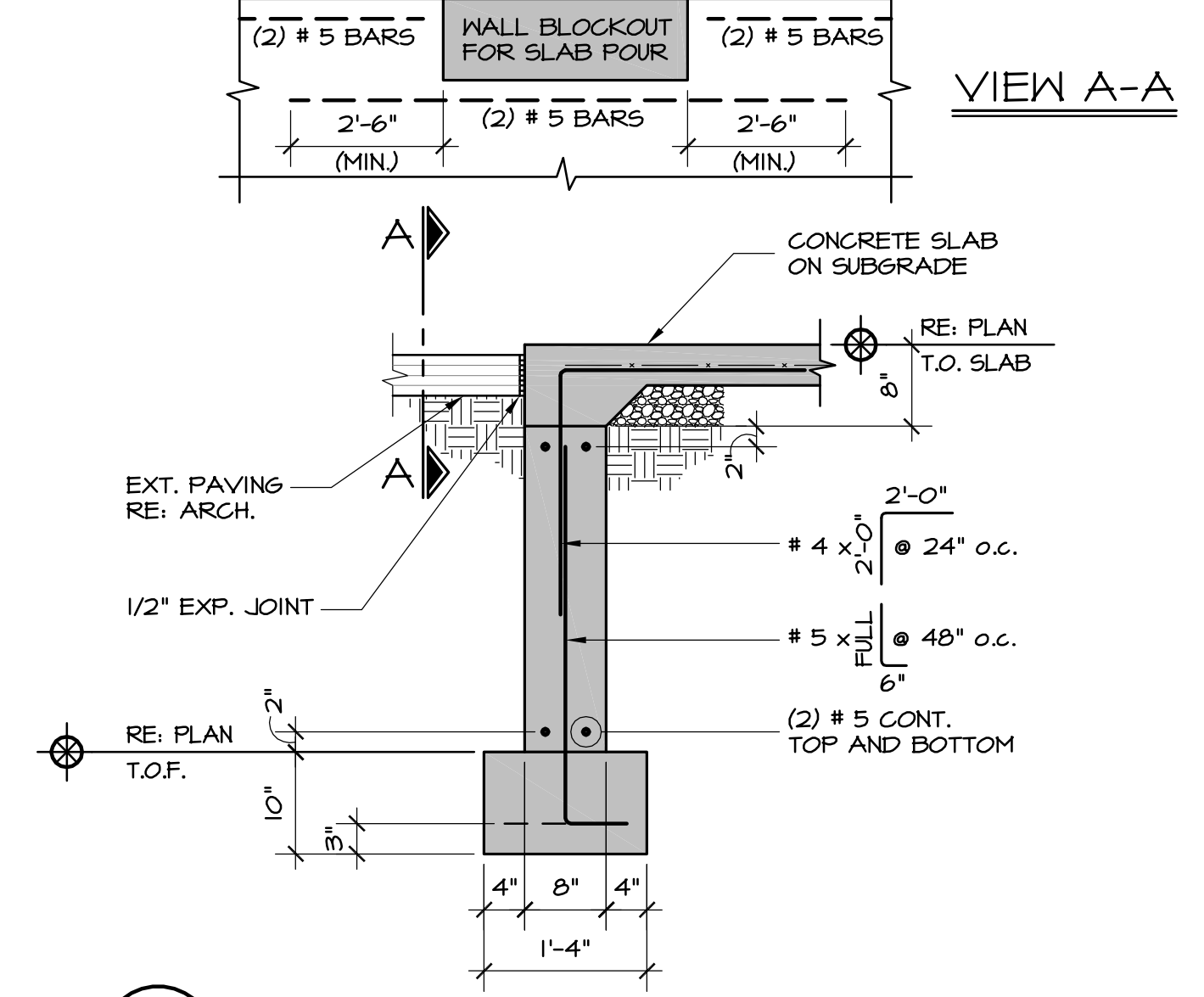
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BILELLO RESIDENCE

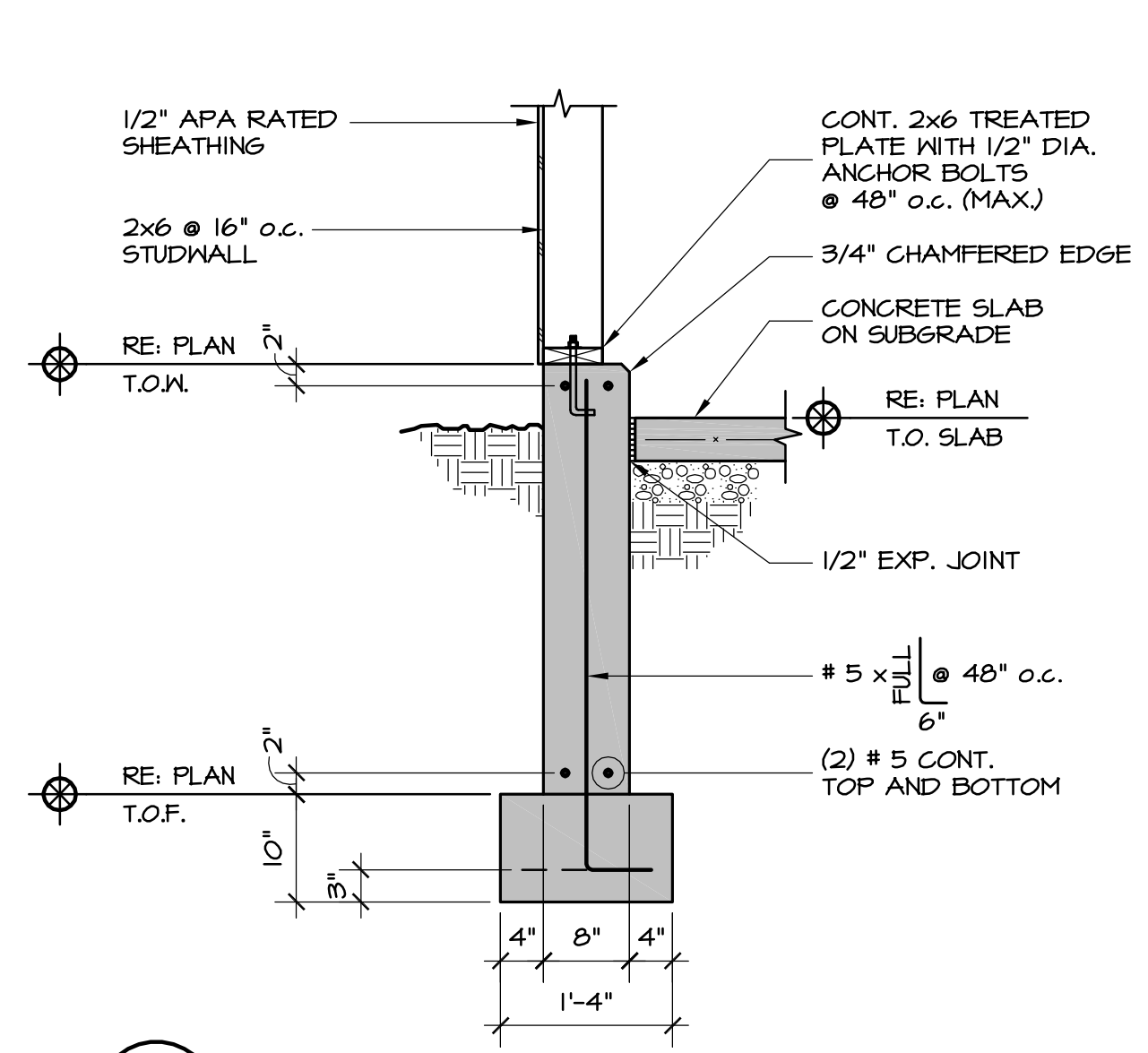
701 Boulder Street
Minturn, Colorado



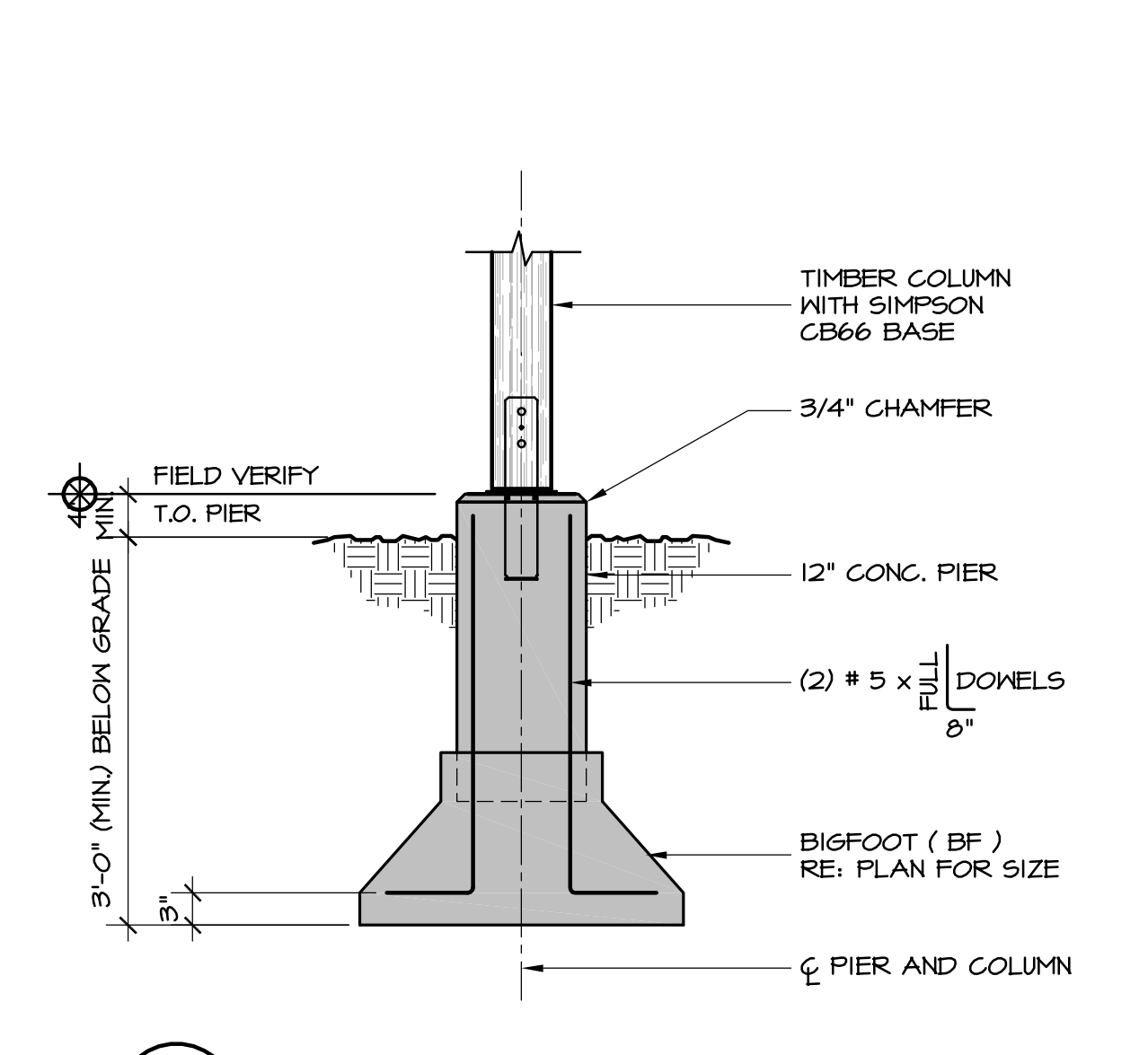
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S3.1 3/4"=1'-0"



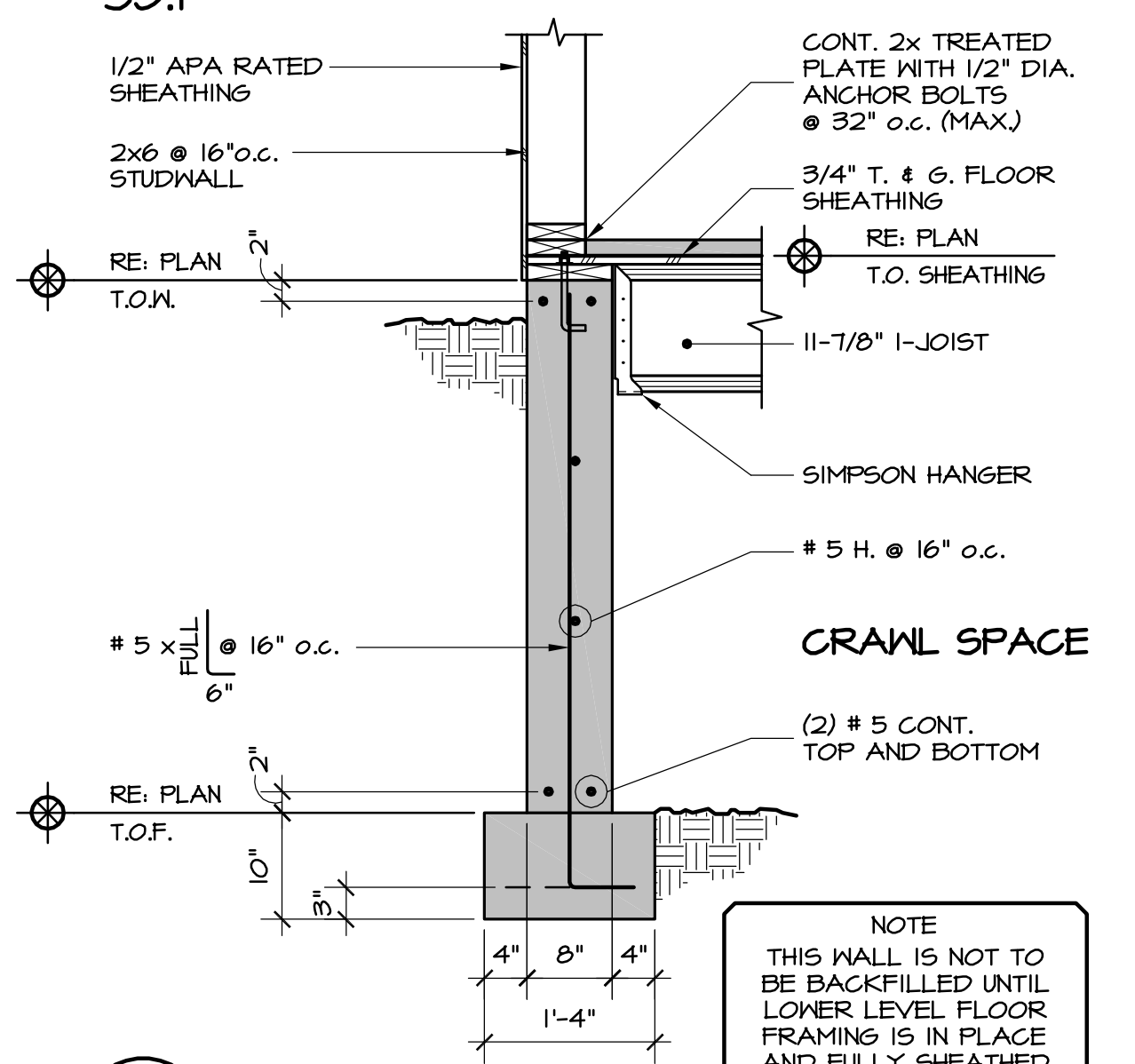
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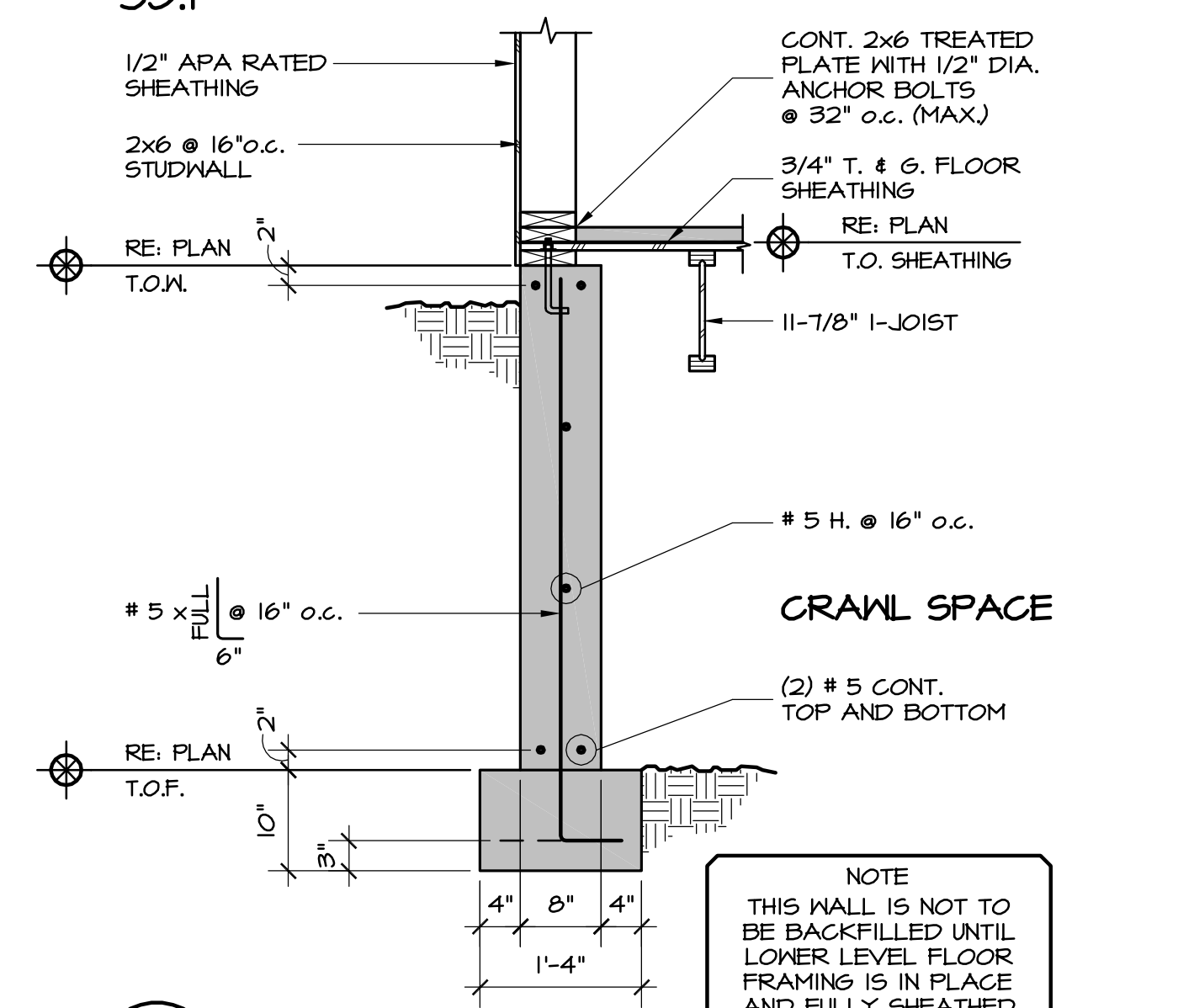
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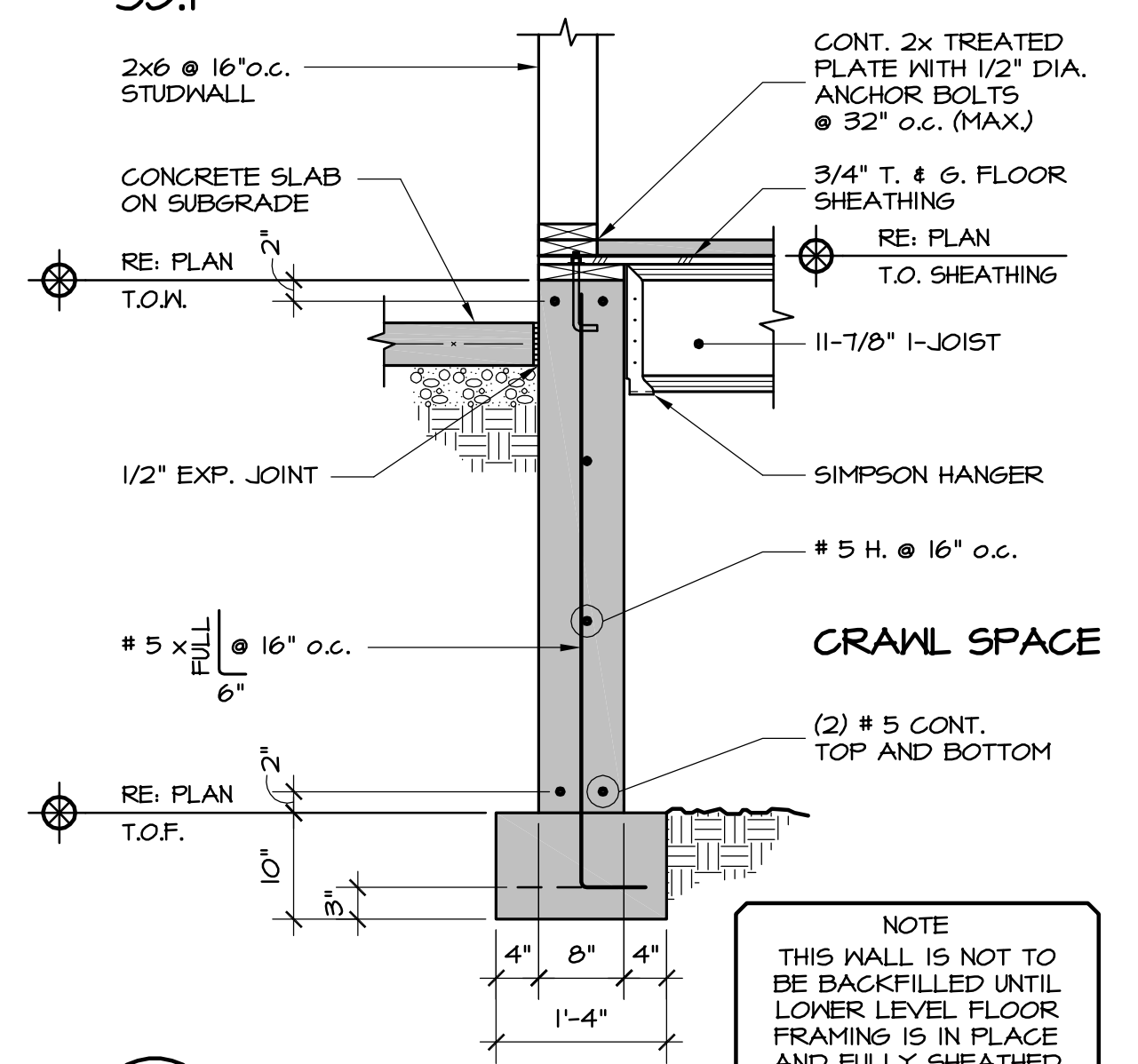
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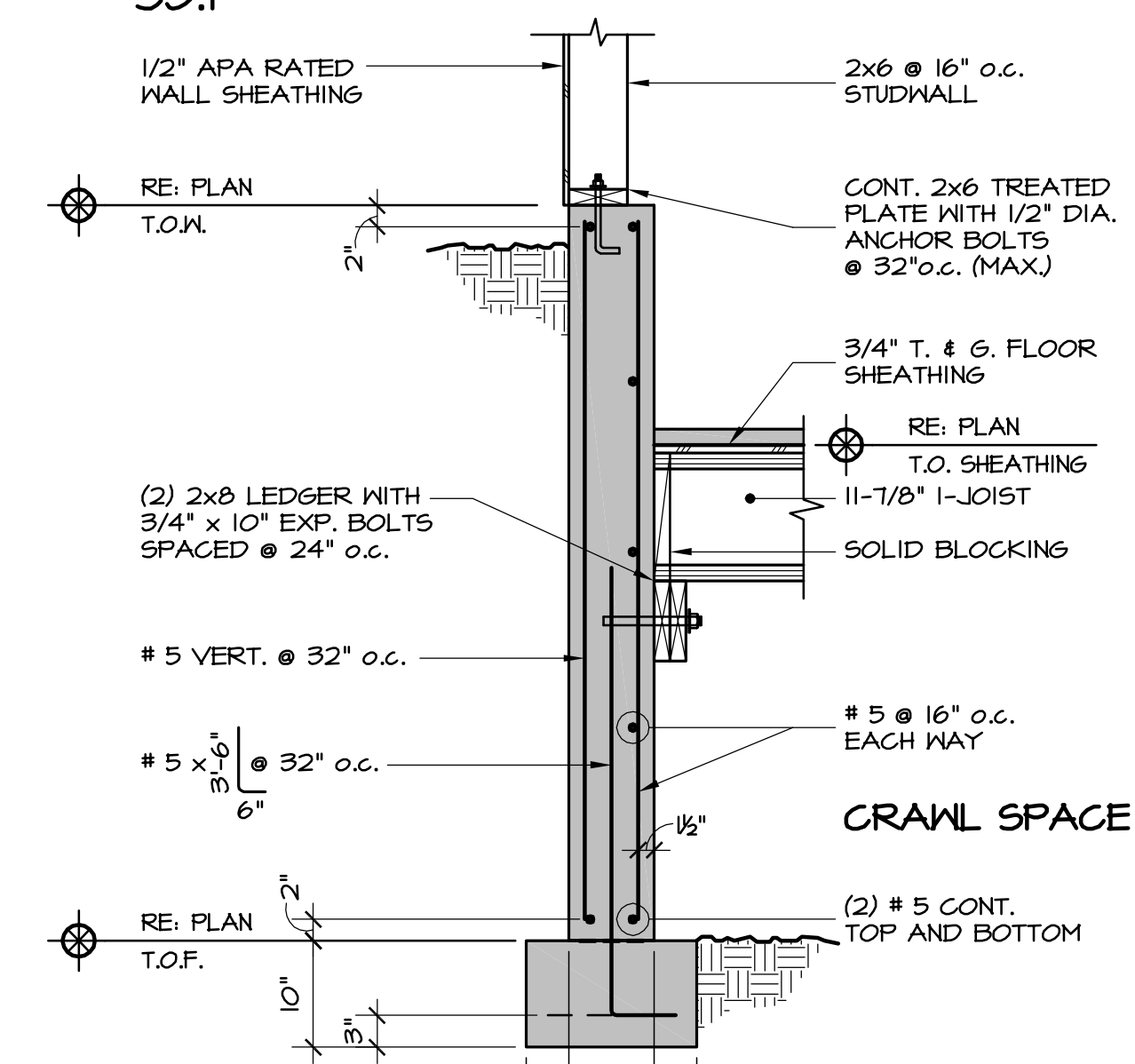
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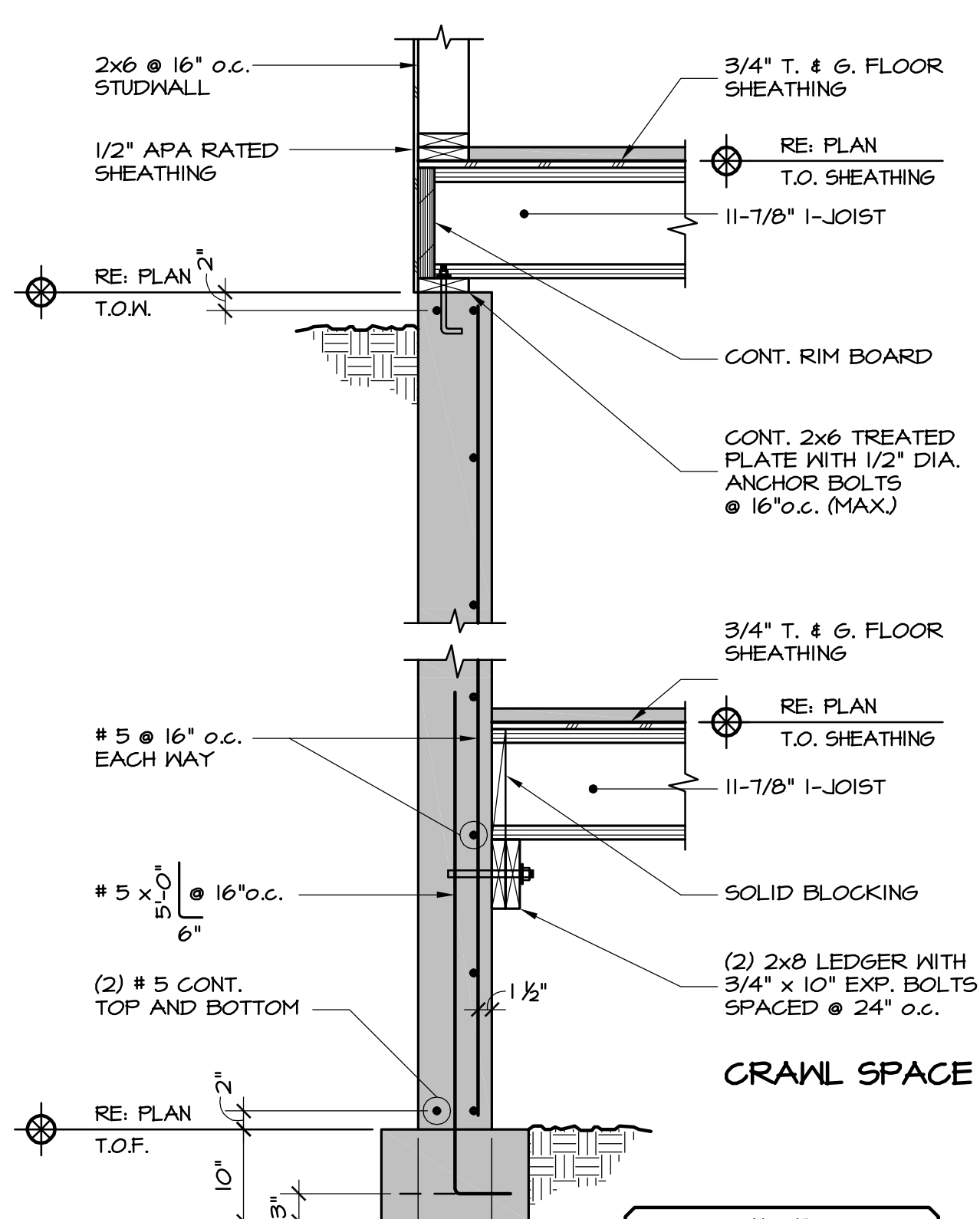
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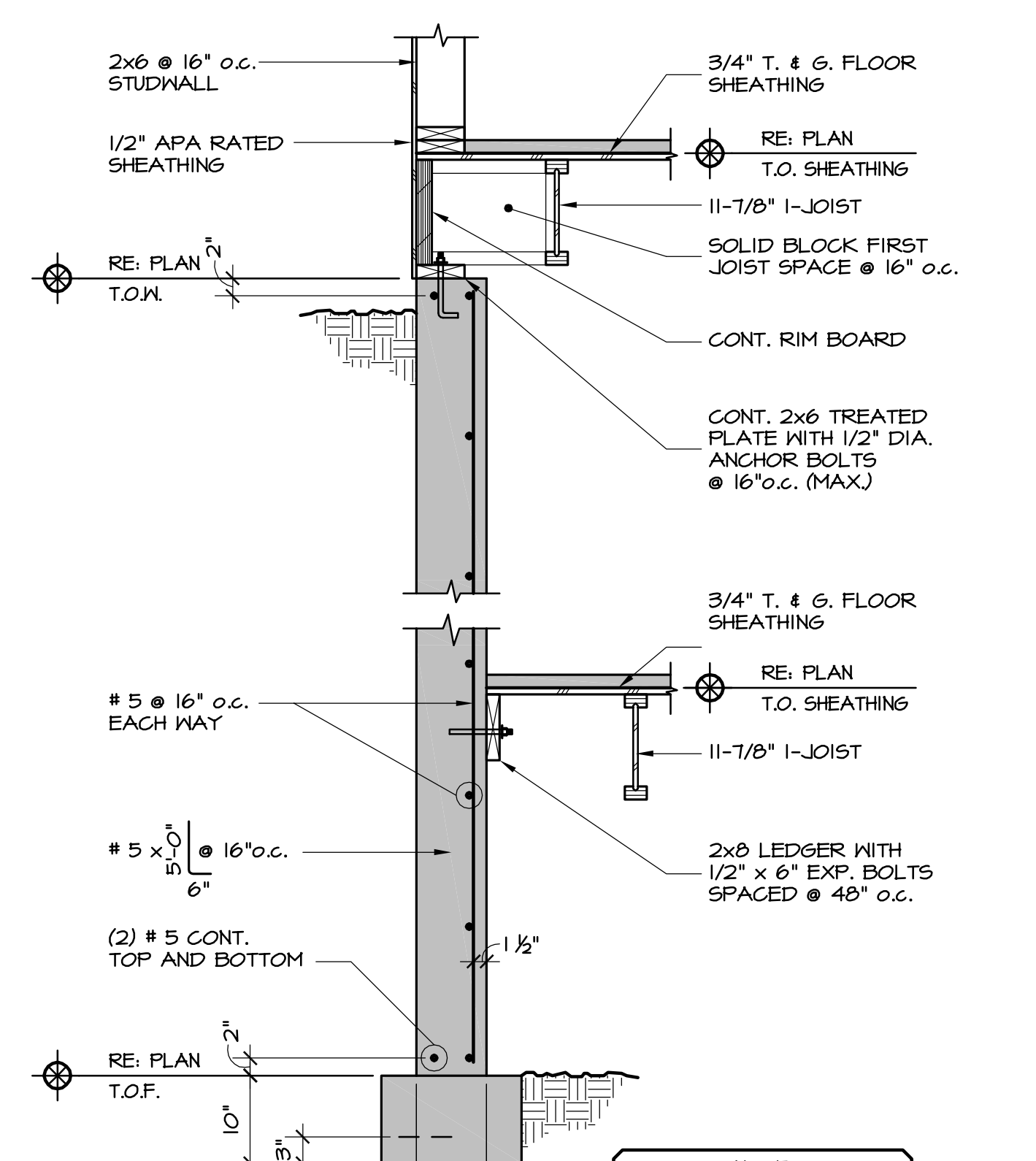
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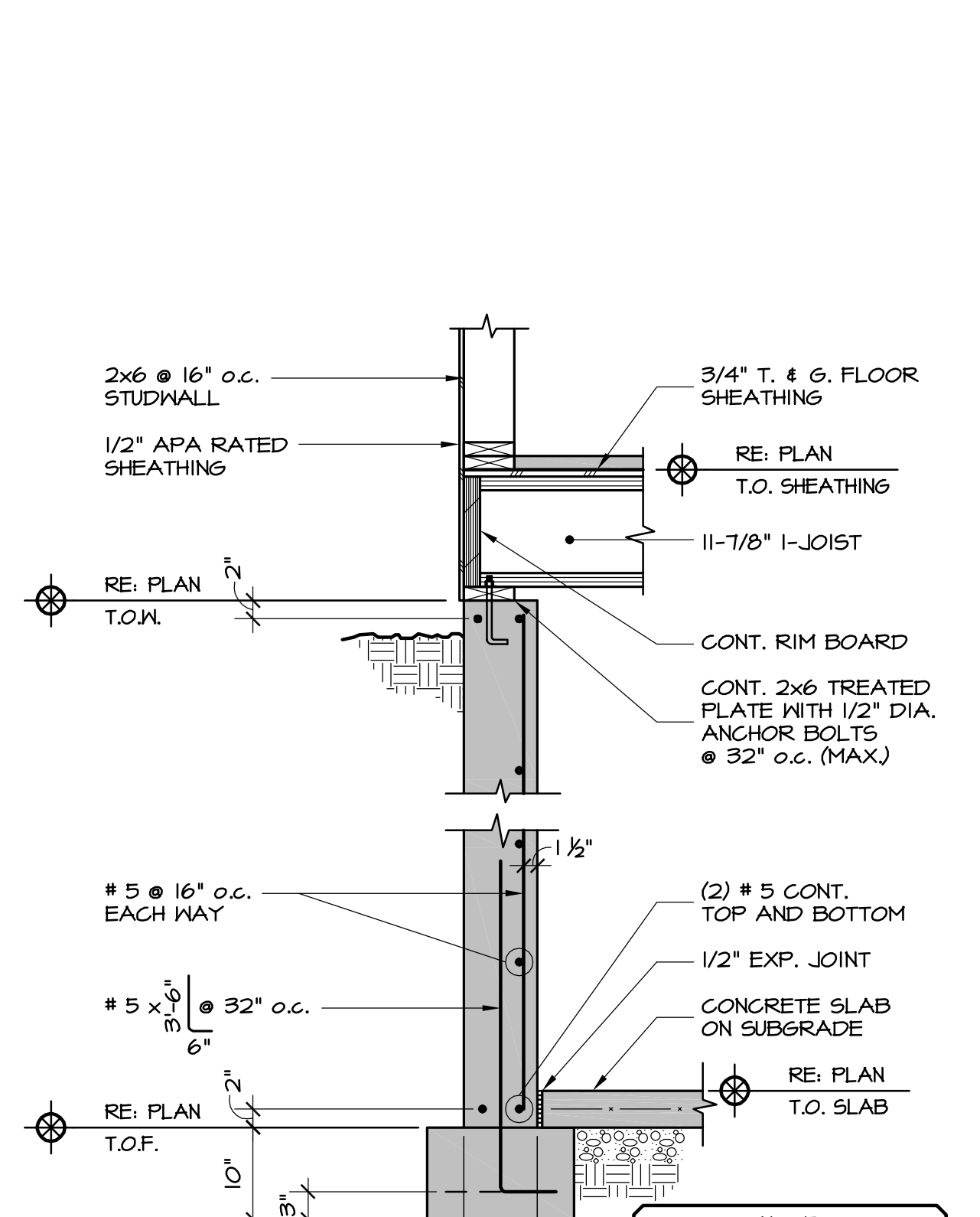
8 Foundation Detail
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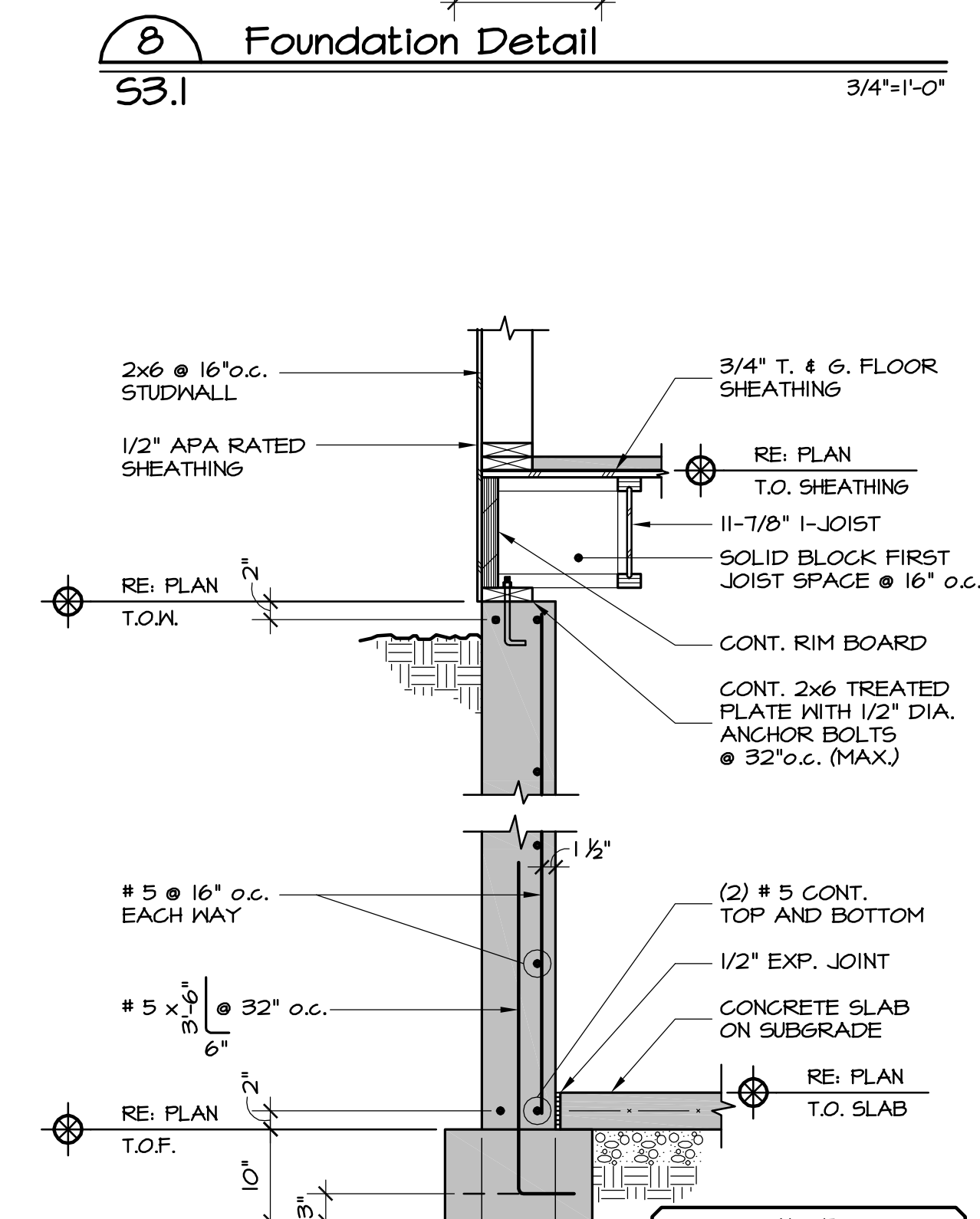
9 Foundation Detail
S3.1 3/4"=1'-0"



10 Foundation Detail
S3.1 3/4"=1'-0"



11 Foundation Detail
S3.1 3/4"=1'-0"



12 Foundation Detail
S3.1 3/4"=1'-0"

Date	• 04/20/2021
SDG Project No.	• 20-059
Drawn By	• SDG
Checked By	• JDS

Date	• Issue
04/15/21	• Review Set
04/20/21	• Construction
•	
•	

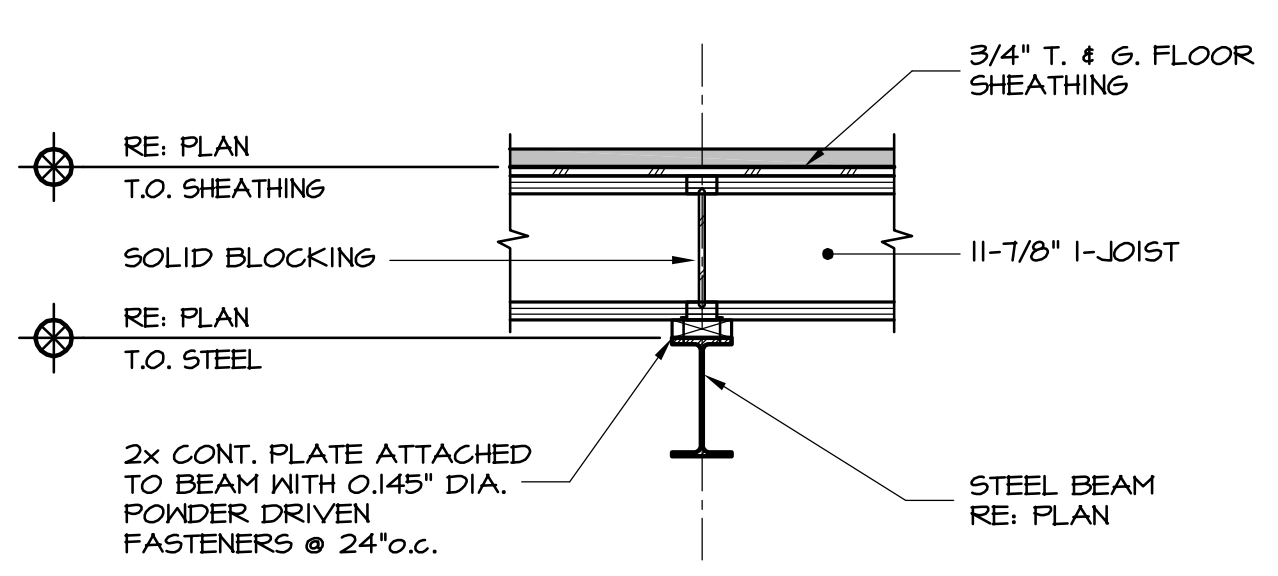
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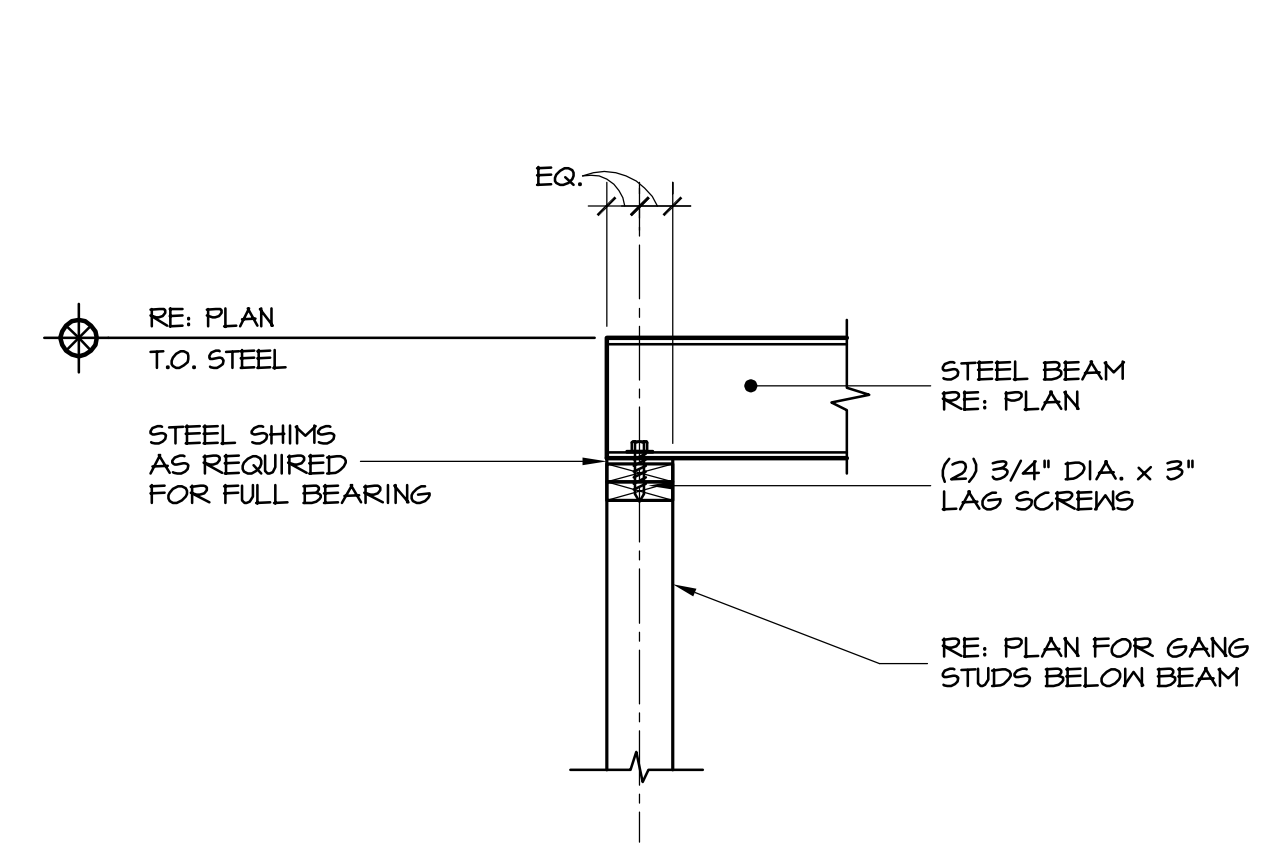
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Minturn, Colorado

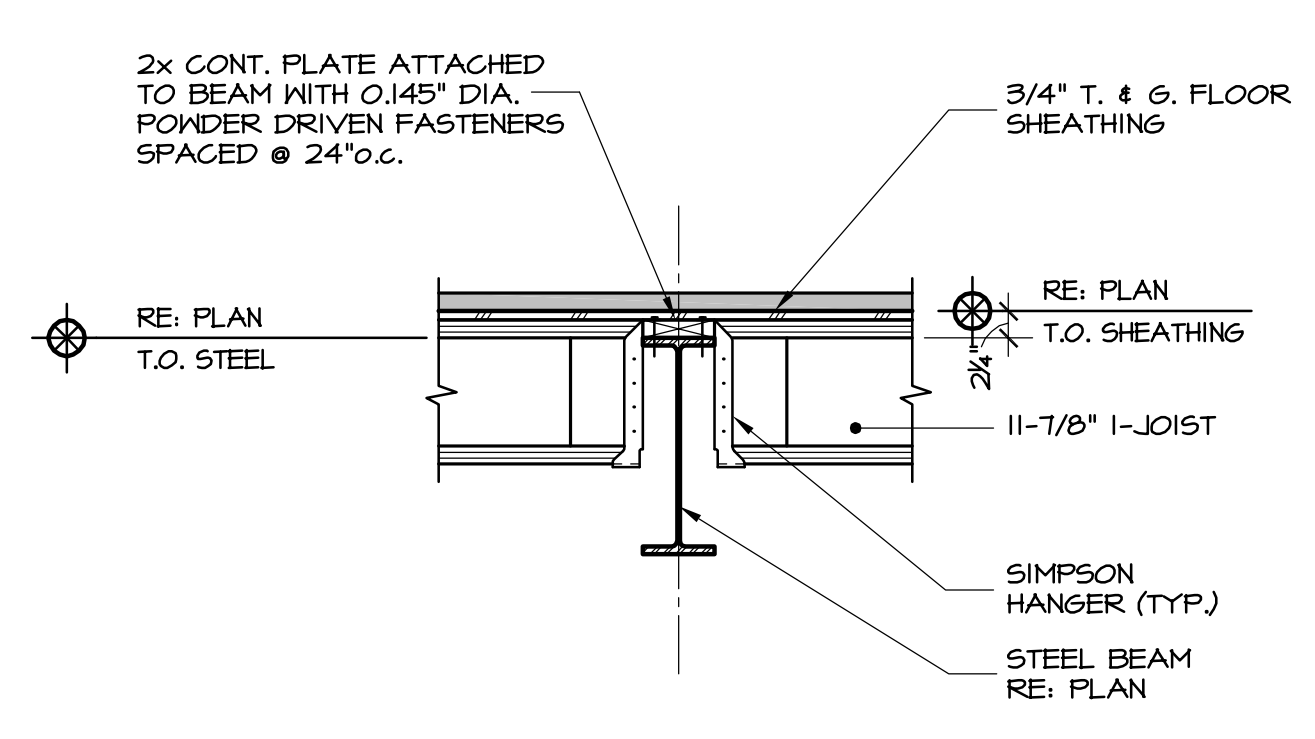
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SDG Project No.	• 20-059
Drawn By	• SDG
Checked By	• JDS
Date	• Issue
04/15/21	• Review Set
04/20/21	• Construction
	•
	•
	•
	•
Title	• Framing Details



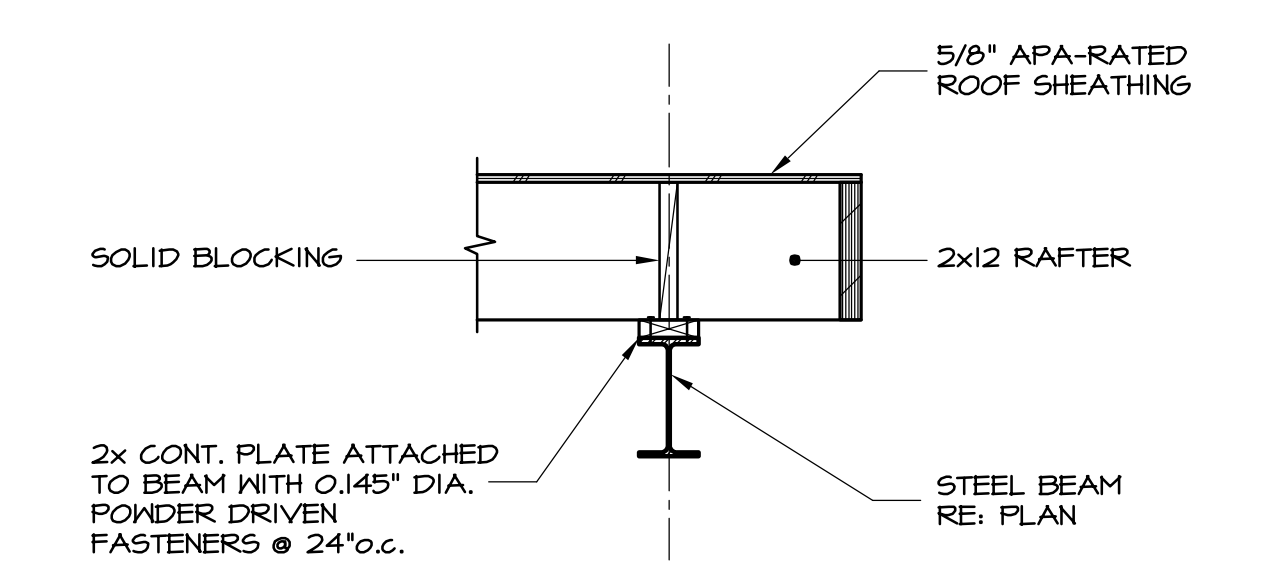
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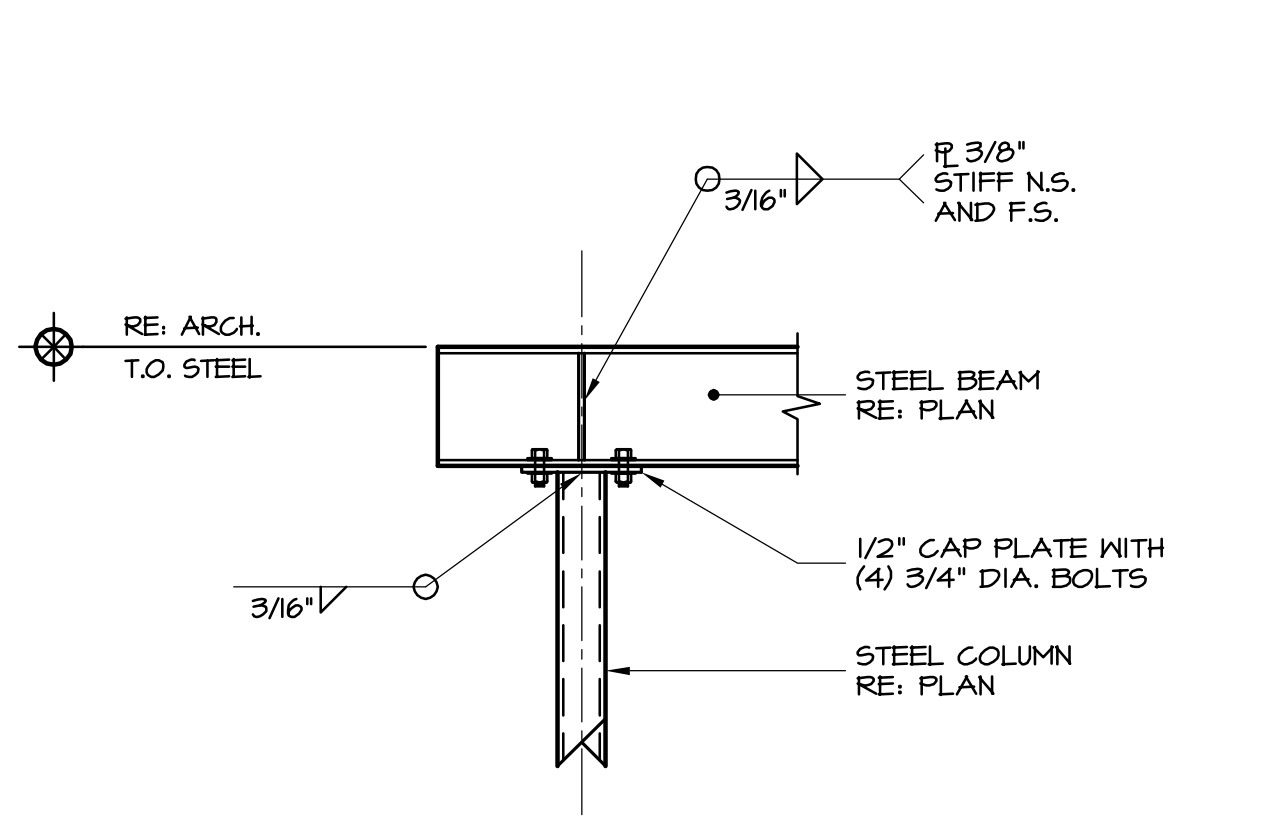
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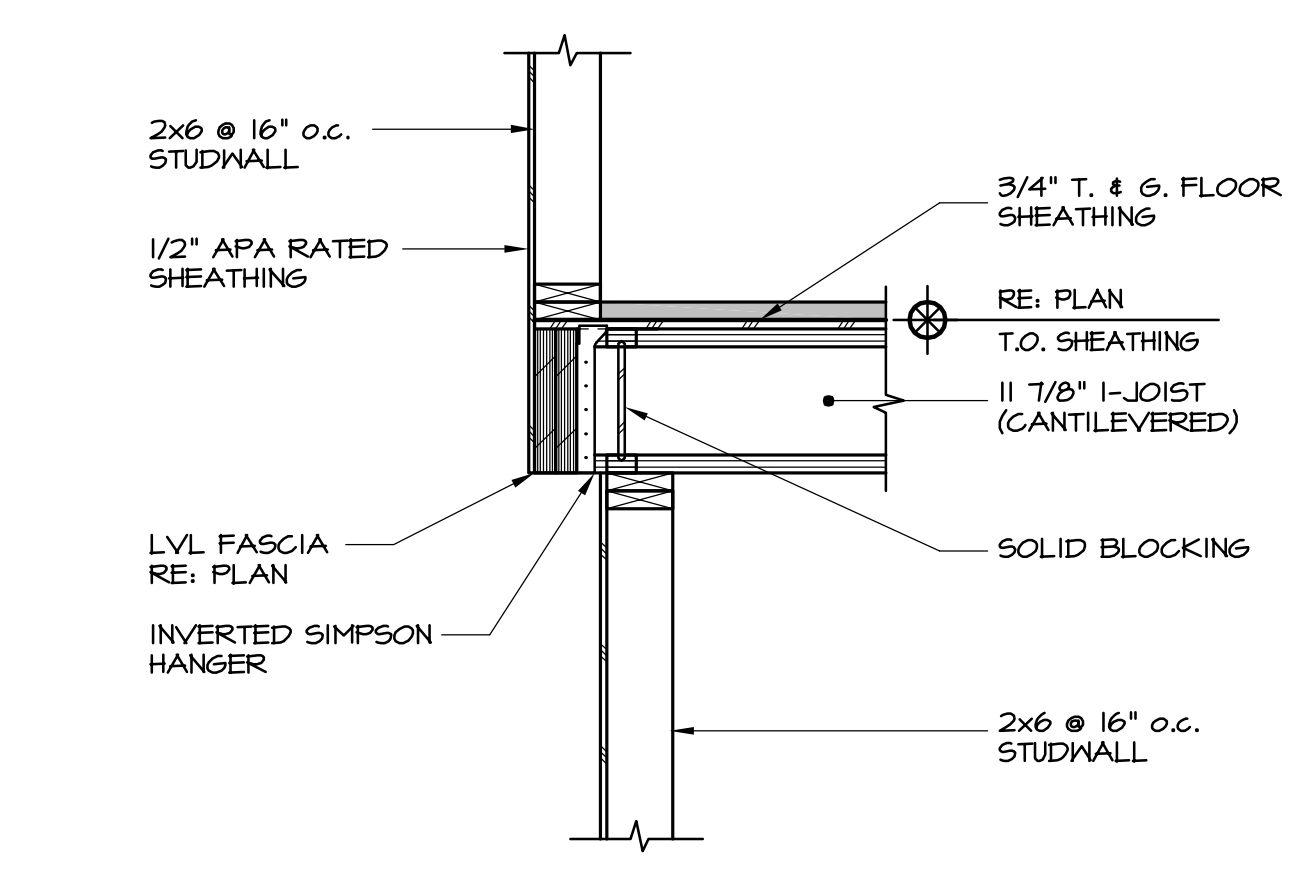
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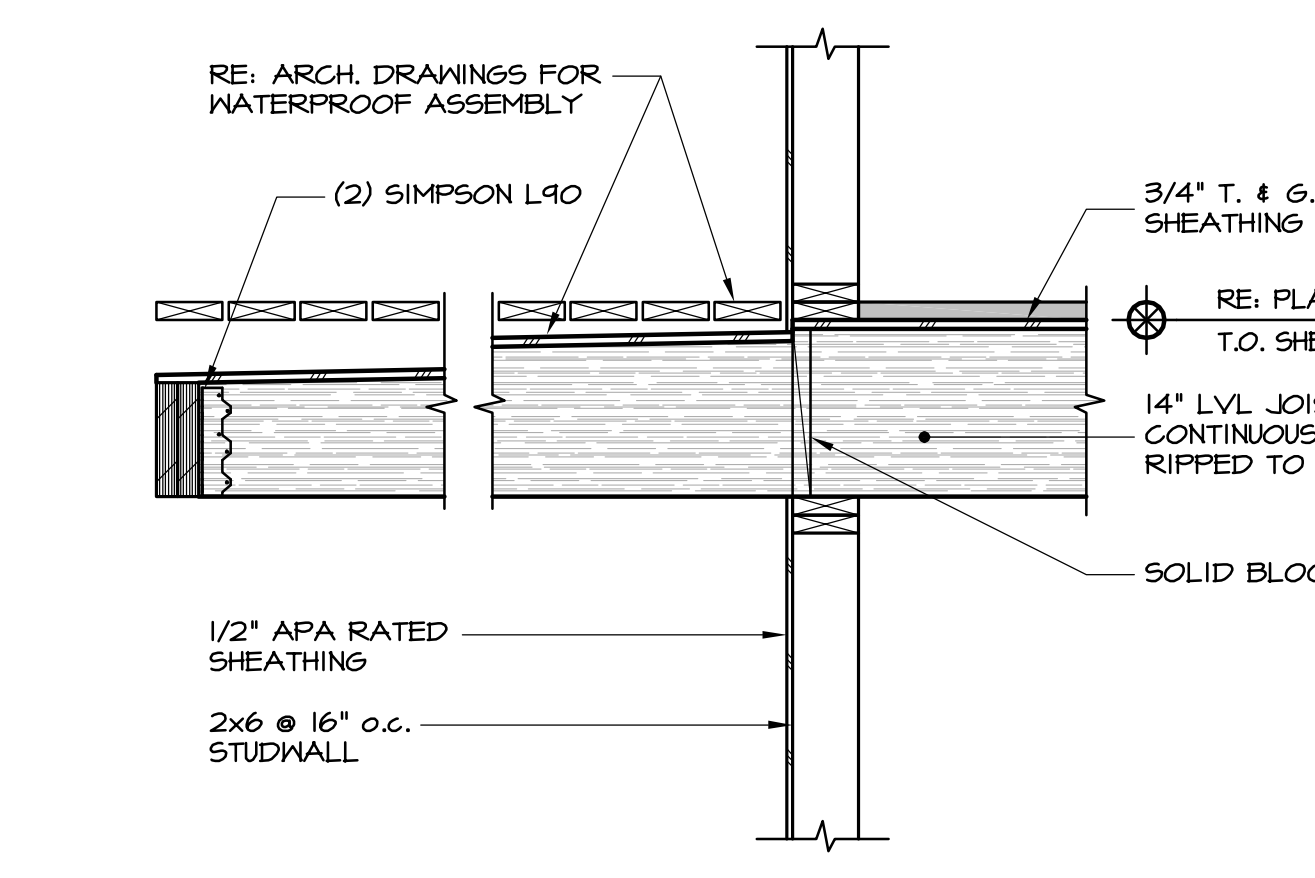
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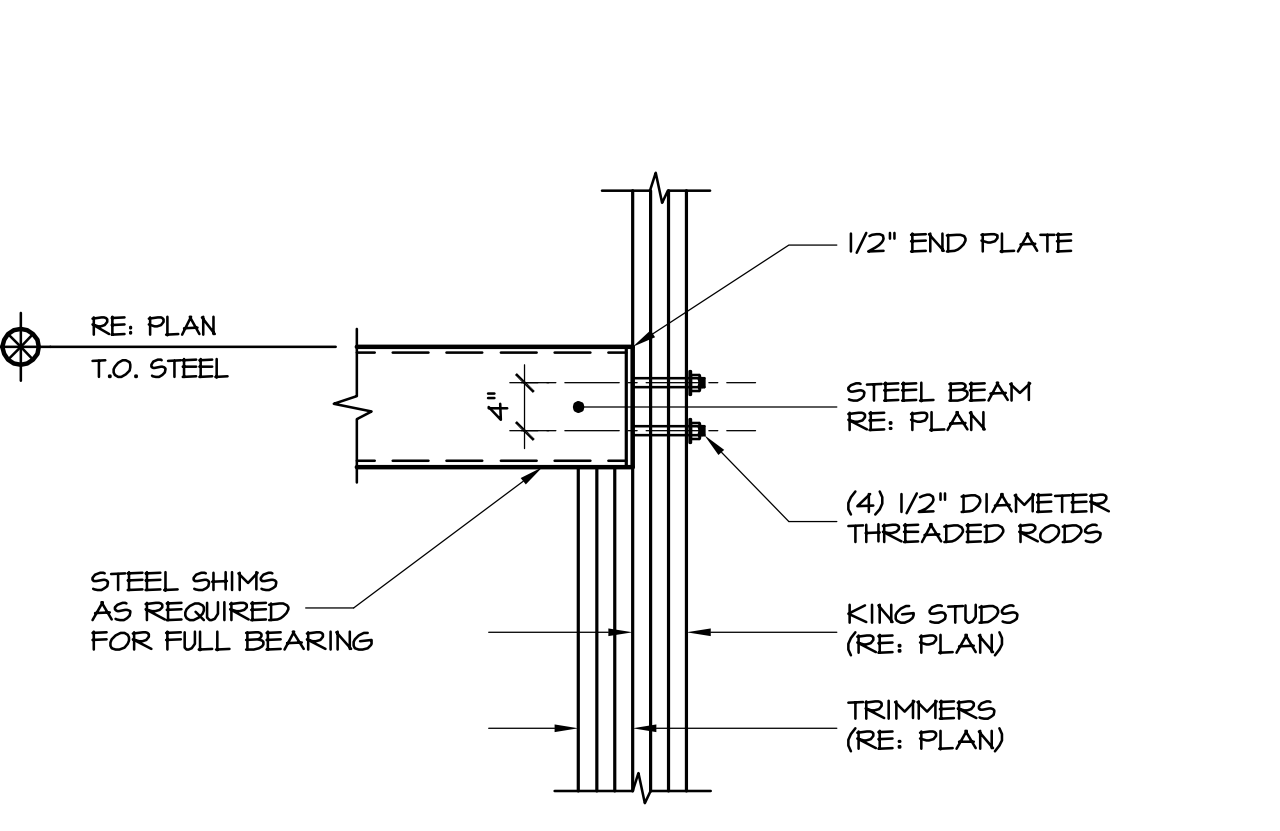
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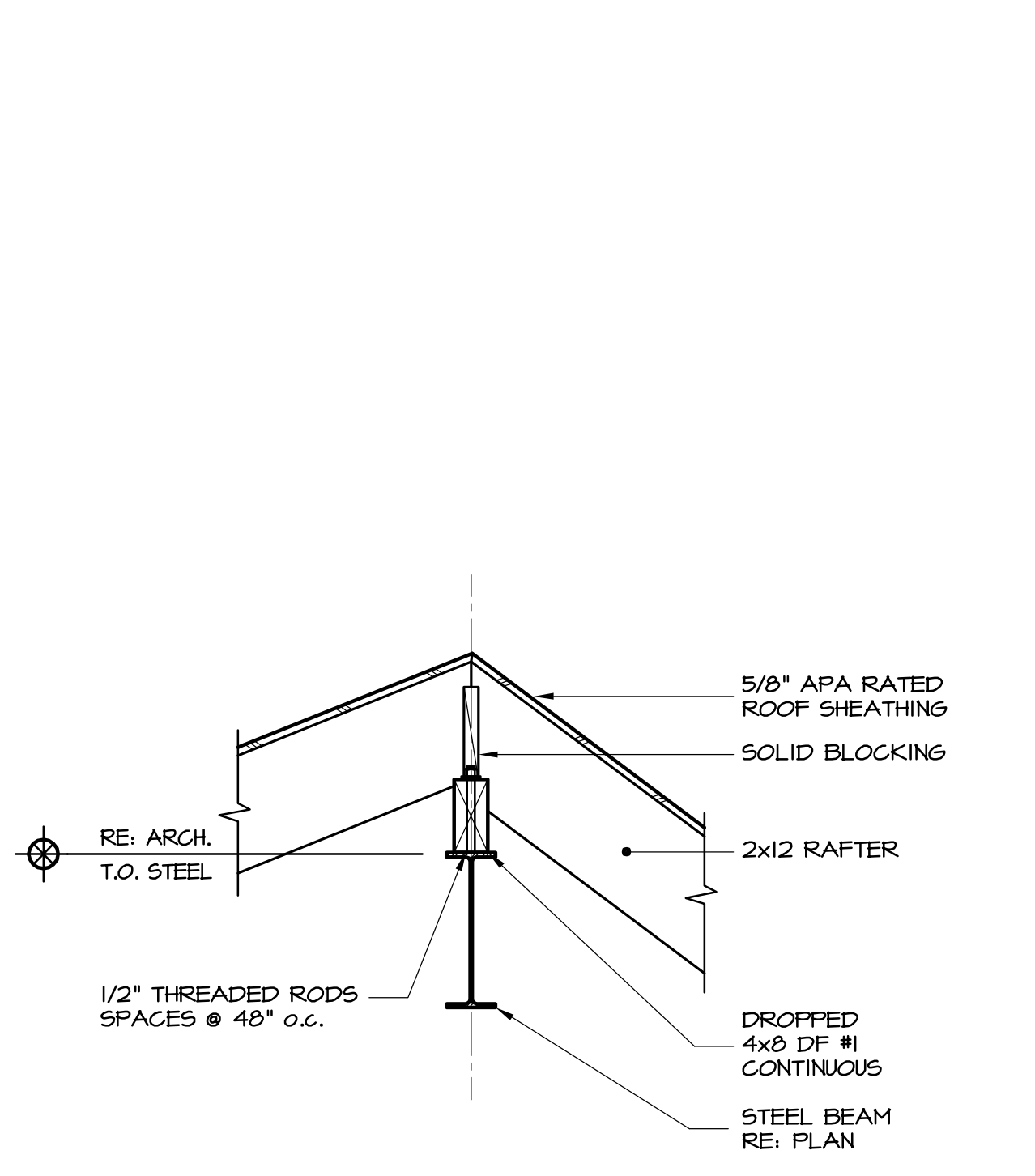
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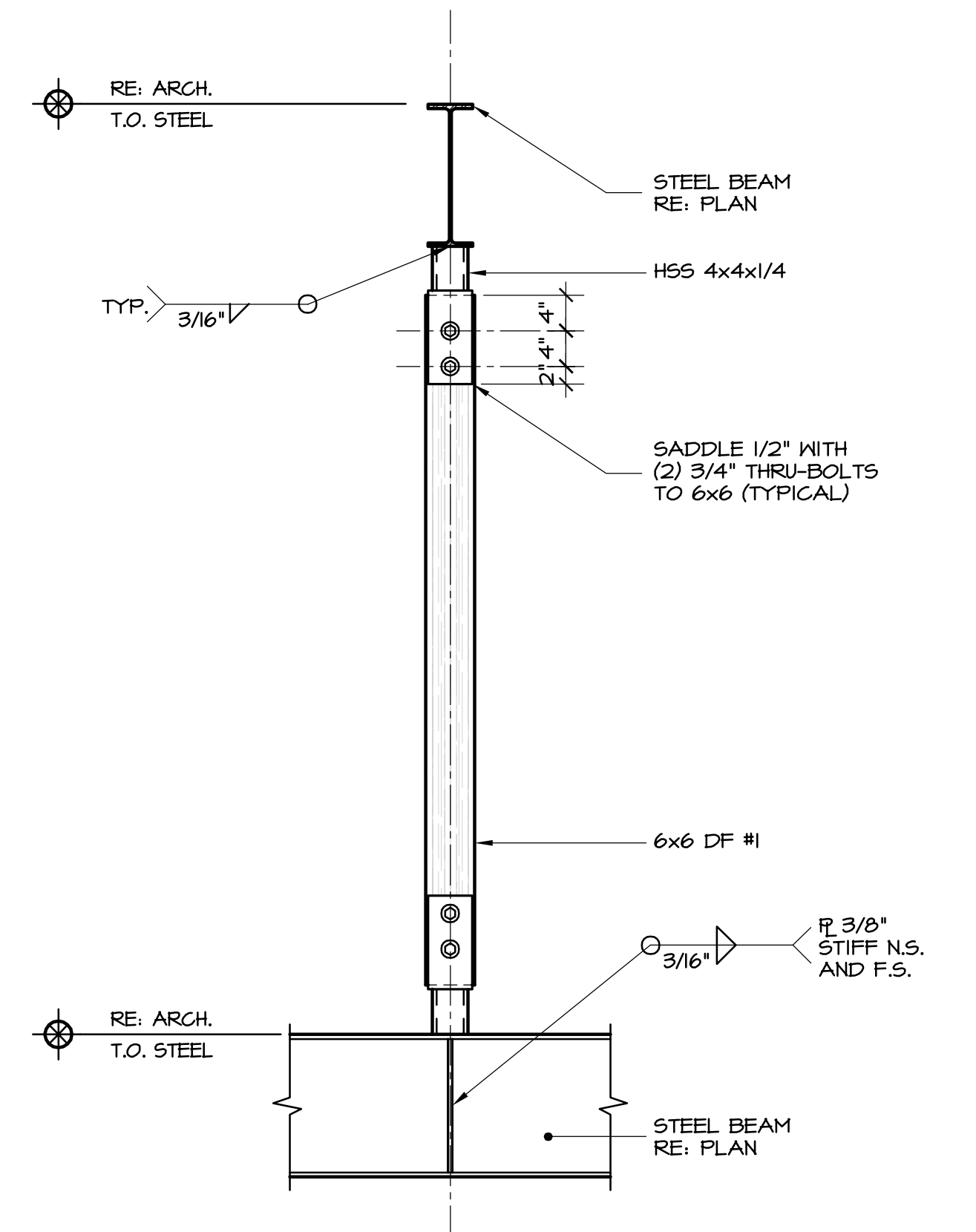
7 Framing Detail
S3.2 3/4"=1'-0"



8 Framing Detail
S3.2 3/4"=1'-0"



9 Framing Detail
S3.2 3/4"=1'-0"



10 Framing Detail
S3.2 3/4"=1'-0"

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Elliot Hovey
Tom Priest
Chris Manning
Jena Skinner

To: Planning Commission
From: Scot Hunn, Planning Director
Madison Harris, Planner I
Date: May 7, 2021
Re: 482 Eagle River Street – Hutton New Residence Modification to Approved Plans

Emily and Steve Hutton, owners of 482 Eagle River Street, received approval from the DRB on March 10, 2021 for a new single family residence located on their property.

The project is currently going through the building permit process and the Applicant has determined that the plans, as approved, require minor modifications to certain aspects of window mullions, sizing, and grouping; an added fence at the side of the property; the front porch was raised and material changed; and the building height increased.

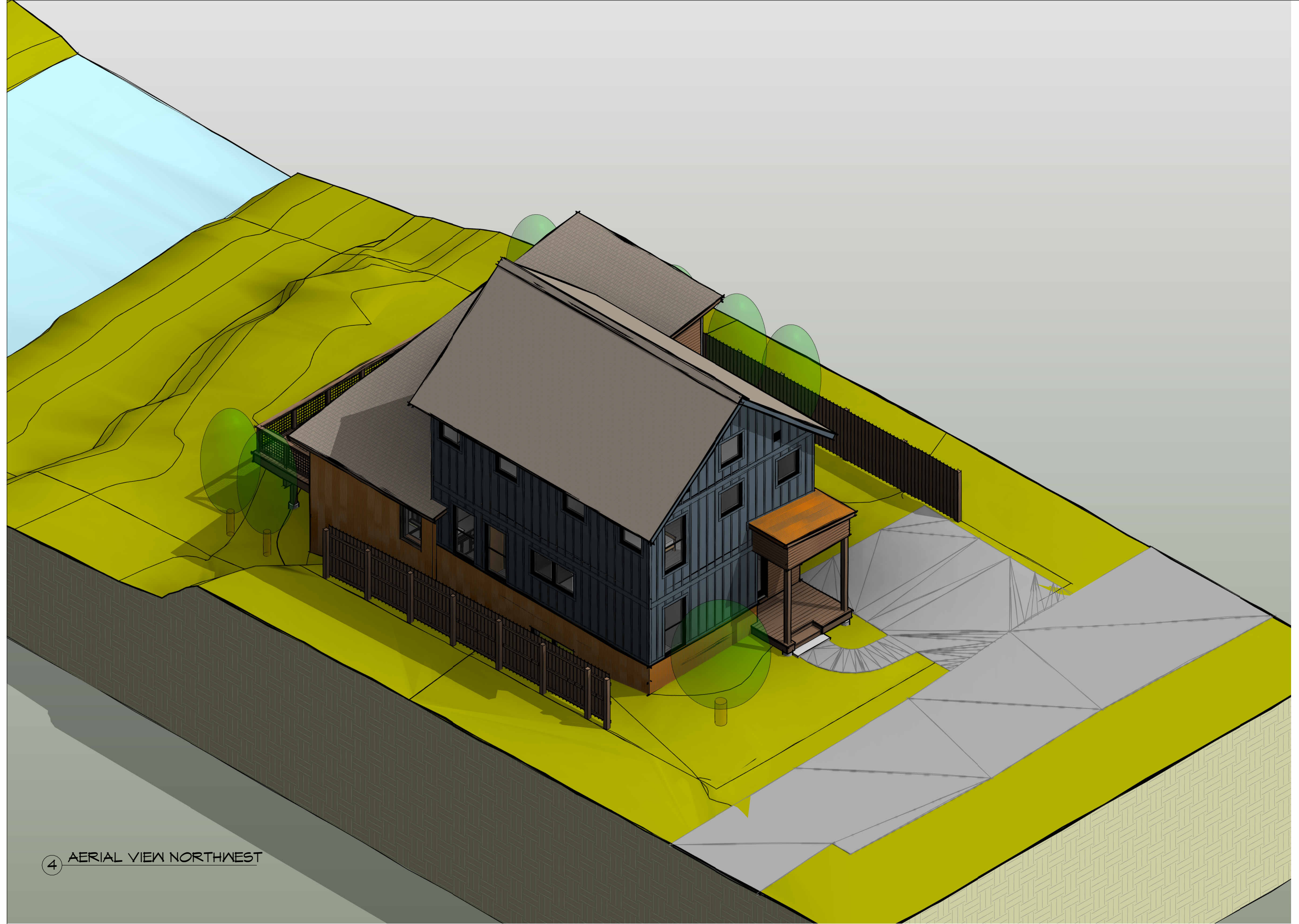
The Applicant has provided plans showing the modifications and staff has confirmed that the proposed increase in building height will result in a maximum height (measured from the adjacent existing grade to the mid-point of the roof element) of 27 feet and 1.44 inches. Allowable height in the Old Town Mixed Use Zone District is 28 feet. Per an email from the Applicant to staff on April 28, 2021 the following is a description of the changes:

- The trees between this property, Lot 14, and Lot 15 to the north have been removed. (Sheet AS1)
 - It was our initial intention to keep the trees as much as possible, as was indicated on the design review application drawings. However, as we started to discuss actual construction practices, it became clear the trees were too close to the foundation to survive excavation of the foundation.
 - The owner, Steve Hutton, discussed the situation with the neighbor of Lot 15. They have a written agreement between them that the trees would be taken down. The owner of Lot 15 requested the trees be taken down as soon as possible, because he didn't want to see them taken down when there was foliage on them.
- 6' wood fences have been added to the north and south property lines (Sheets 01, 02, AS1)
 - The existing wood fence on Lot 13 to the south currently encroaches on this lot. Steve Hutton and the owner of Lot 13 have a verbal agreement that the existing fence will be taken down, and a new fence will be constructed during construction of the new house.
 - The fence complies with planning code as shown on the building permit application drawings.

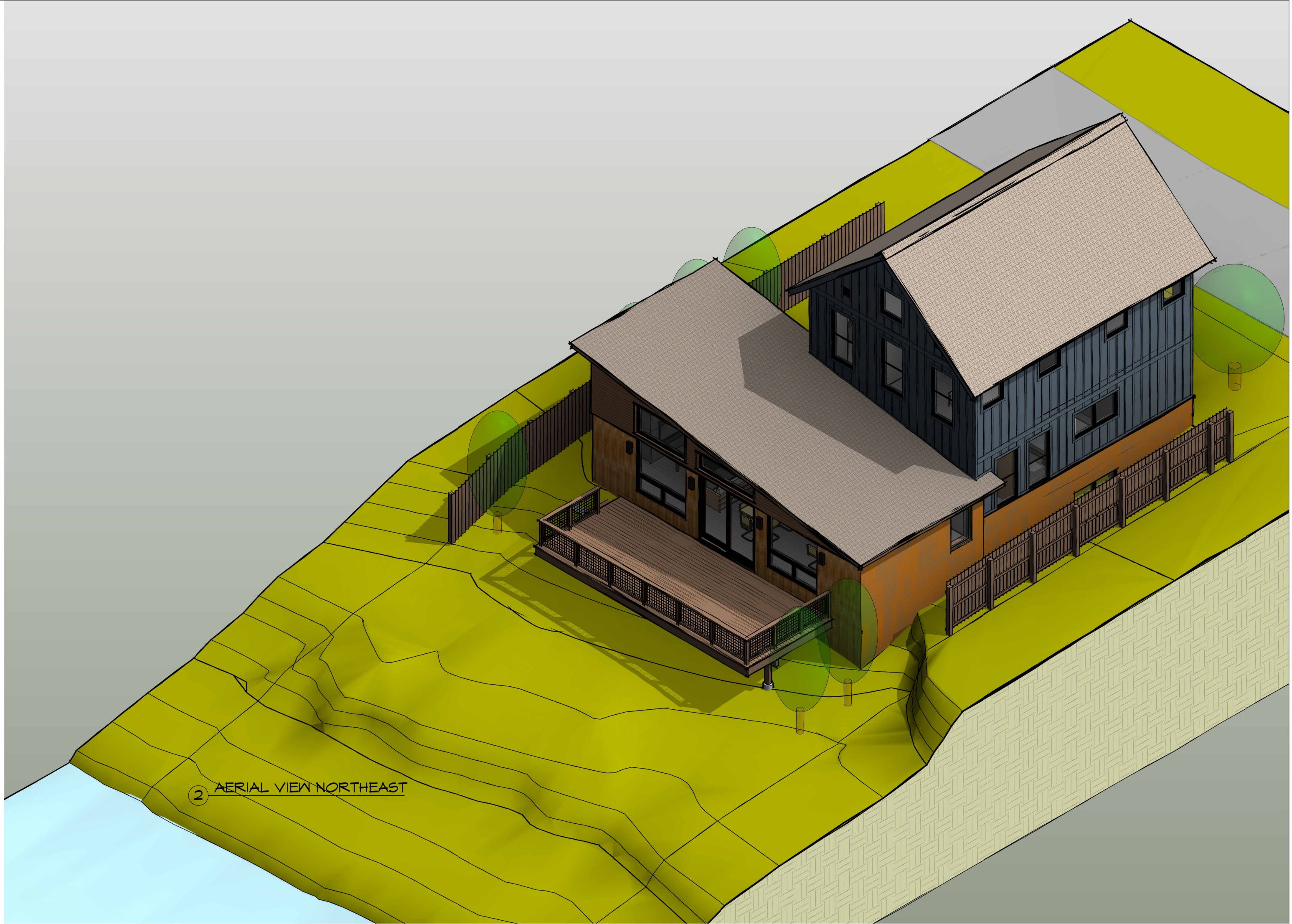
- The windows on the north wall of the upper level at the bedrooms have been revised from casement windows to awning windows. (Sheet A202)
 - Egress windows on the east and west sides are still provided and remain unchanged.
- Gable end vents on the east and west sides have been added to provide ventilation for the attic truss bays (Sheets A201, A202)
- A ridge vent has been added to the main ridge. (Sheets A105, A201, A202)
- The windows on the east wall of the great room have been revised in size to reflect the manufacturer's actual catalogue sizes, and the configuration remains unchanged. (Sheet A202)

Staff believes that the proposed modifications are minor in nature and will not change the project's conformance with the applicable standards of Chapter 16 – *Zoning*, or Appendix 'B' – *Design Standards and Guidelines* of the Minturn Municipal Code.

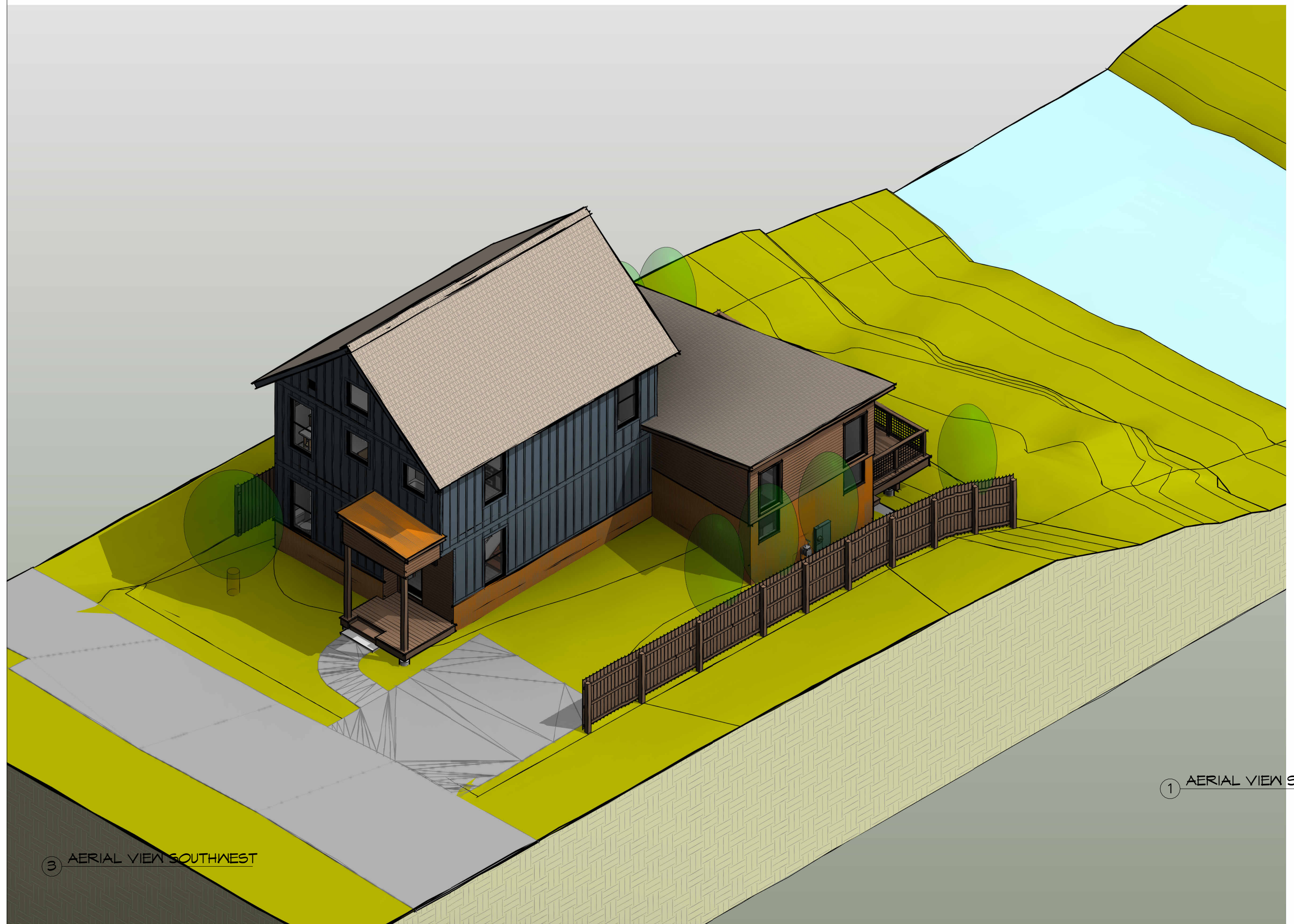
Staff is recommending approval without conditions.



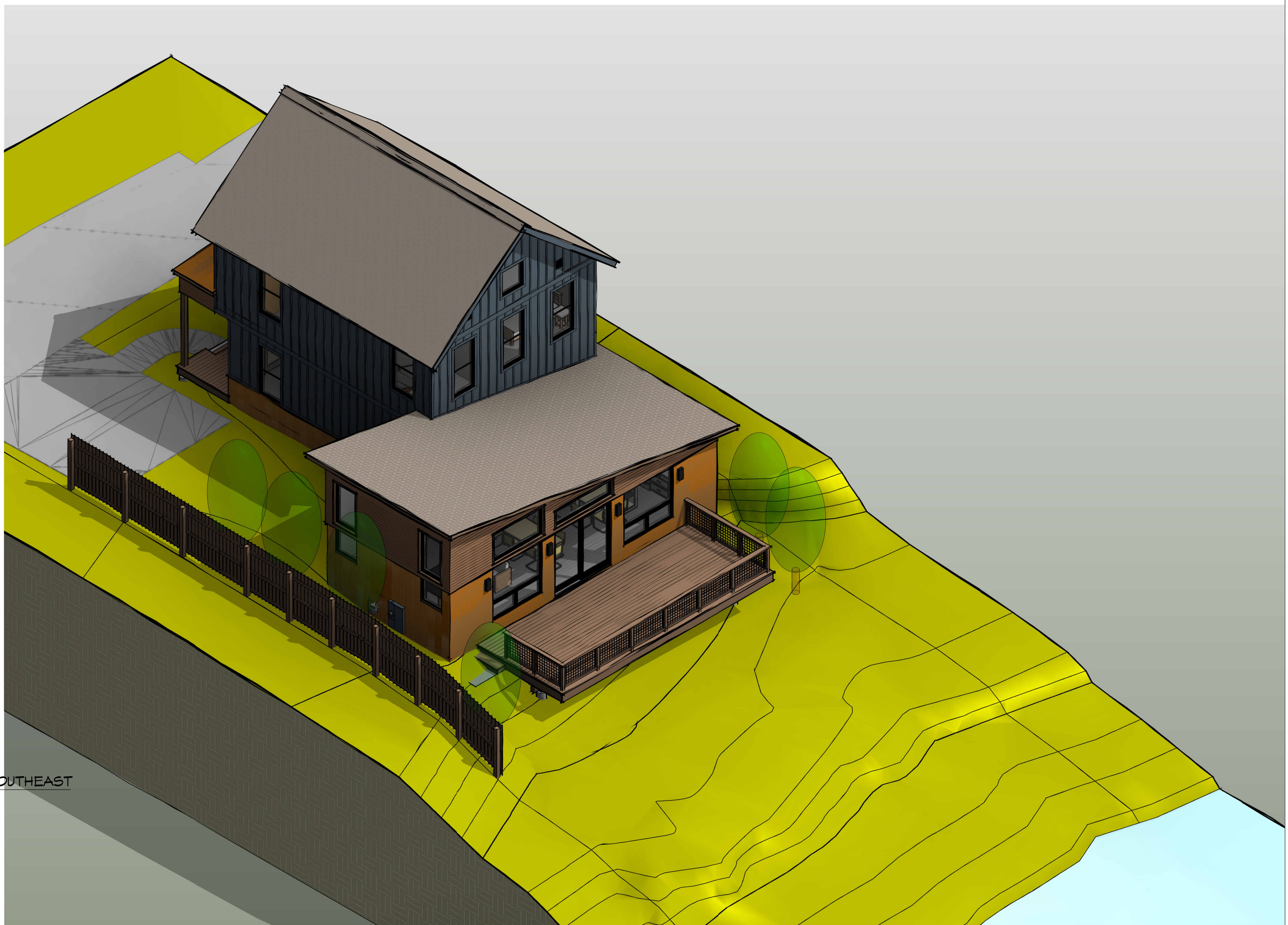
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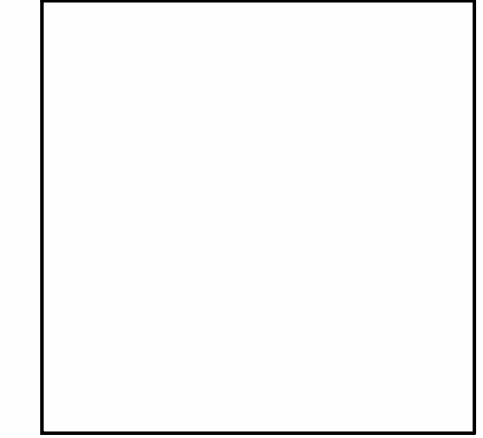
② AERIAL VIEW NORTHEAST



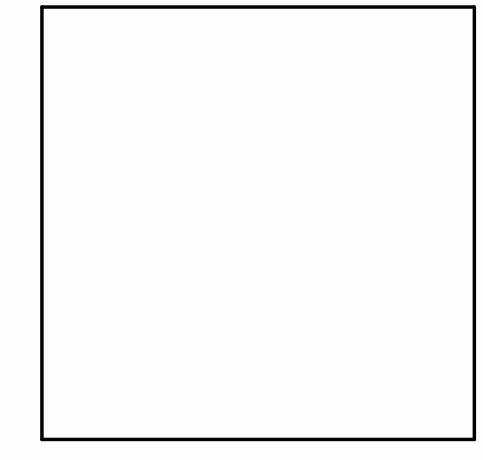
③ AERIAL VIEW SOUTHWEST



① AERIAL VIEW SOUTHEAST



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 (970) 390-4931
 michael@mppdesignshop.com



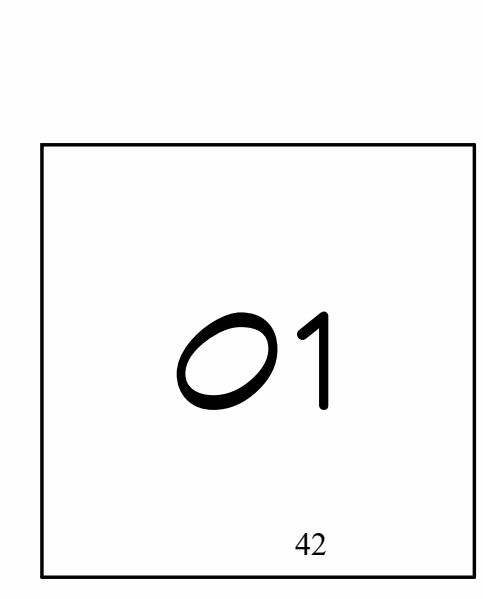
Hutton Residence
 Lot 14, Block 2, Booco's 2nd Addition to Mintum
 Parcel Number: 2103-263-02-025
 482 Eagle River Street
 Mintum, CO 81645

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#	Description	Date
1	DRB Submission	03/01/21
2	Building Permit	04/15/21
3	Design Revisions	05/06/21

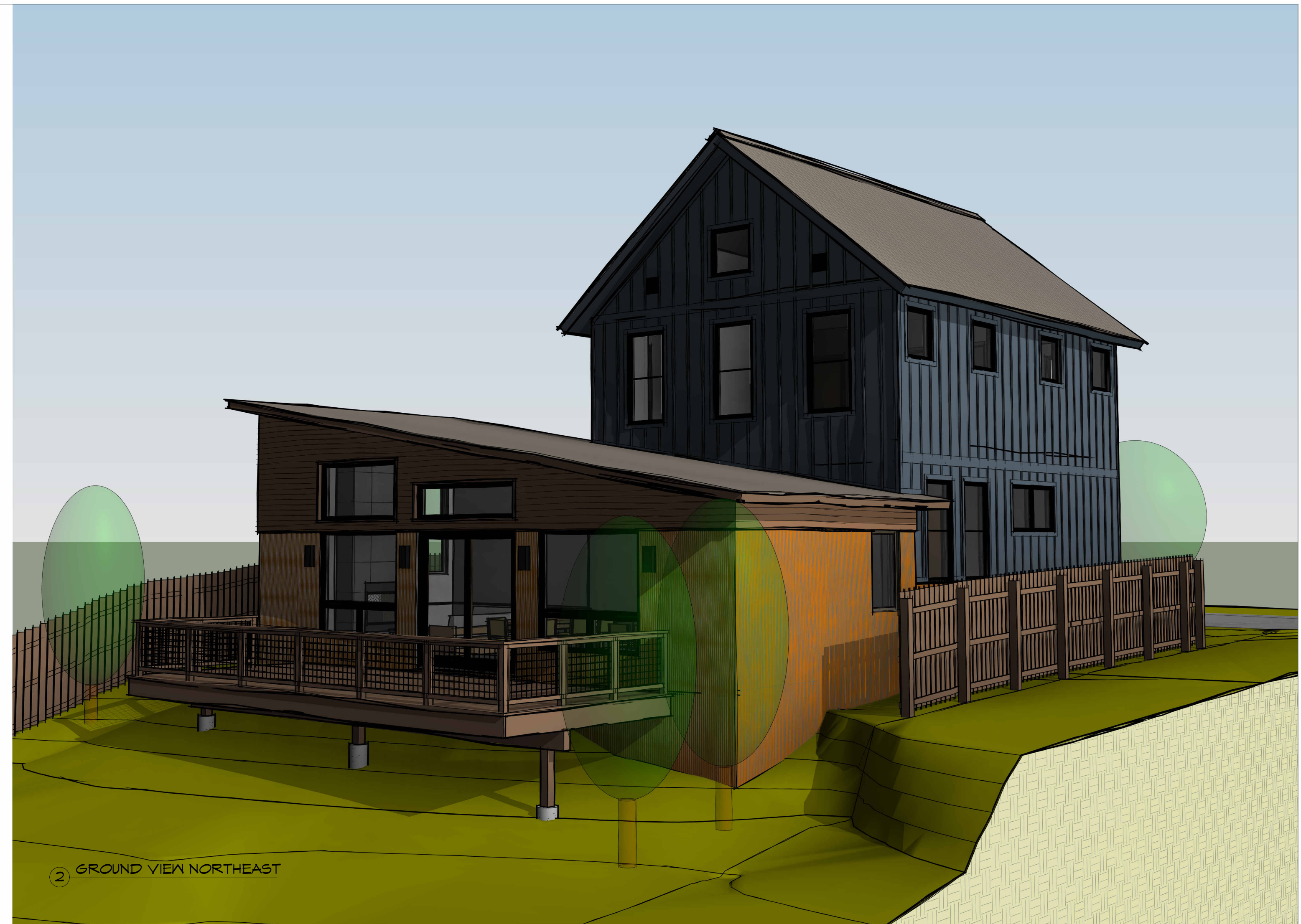
Project Number: 1908
 Designed by: mpp
 Drawn by: mpp
 Checked by: mpp

AERIAL VIEWS





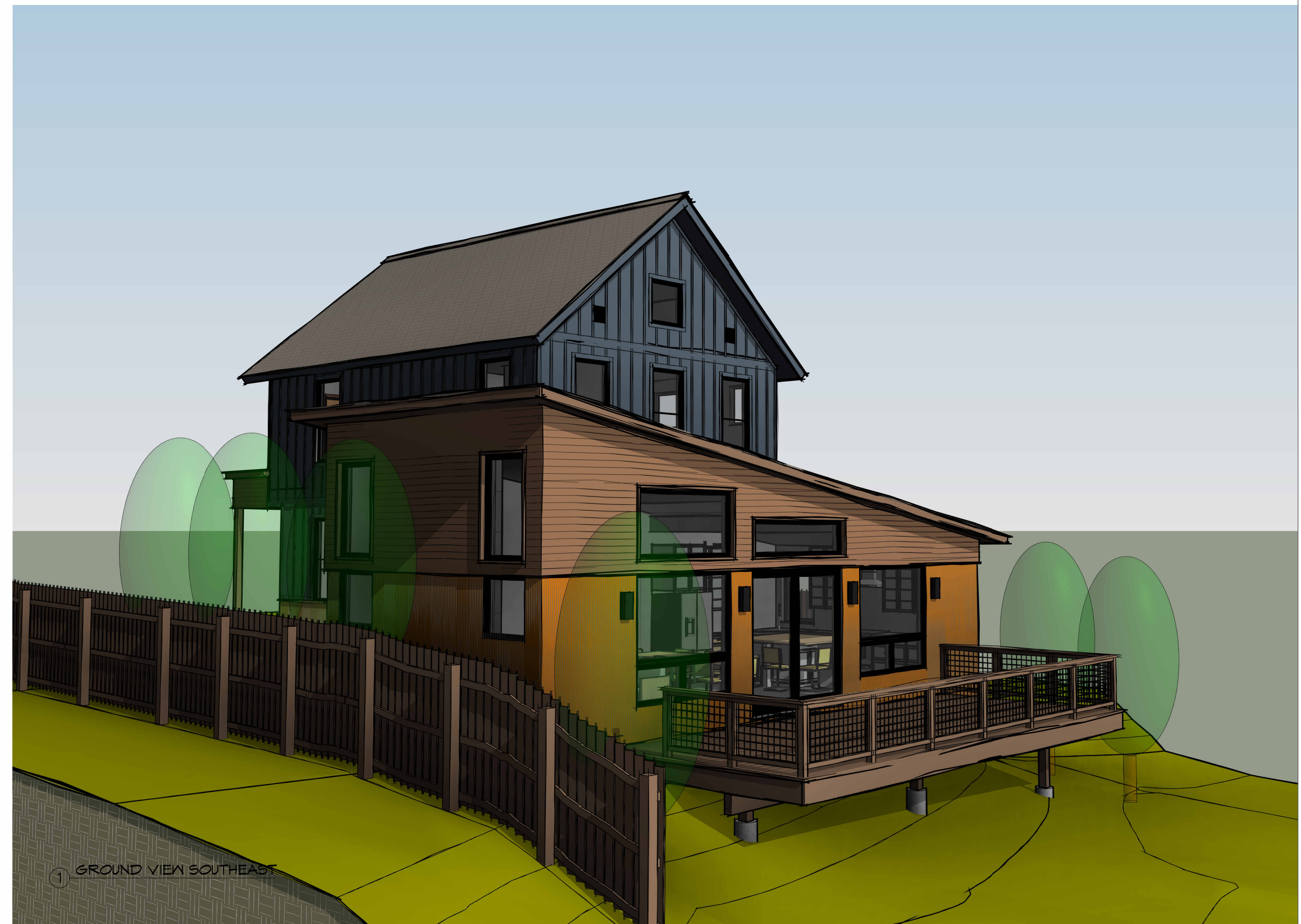
4 GROUND VIEW NORTHWEST



2 GROUND VIEW NORTHEAST



3 GROUND VIEW SOUTHWEST



1 GROUND VIEW SOUTHEAST

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Gypsum, CO 81637
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Hutton Residence

Lot 14, Block 2, Booco's 2nd Addition to Minturn
Parcel Number: 2103-263-02-025
482 Eagle River Street
Minturn, CO 81645

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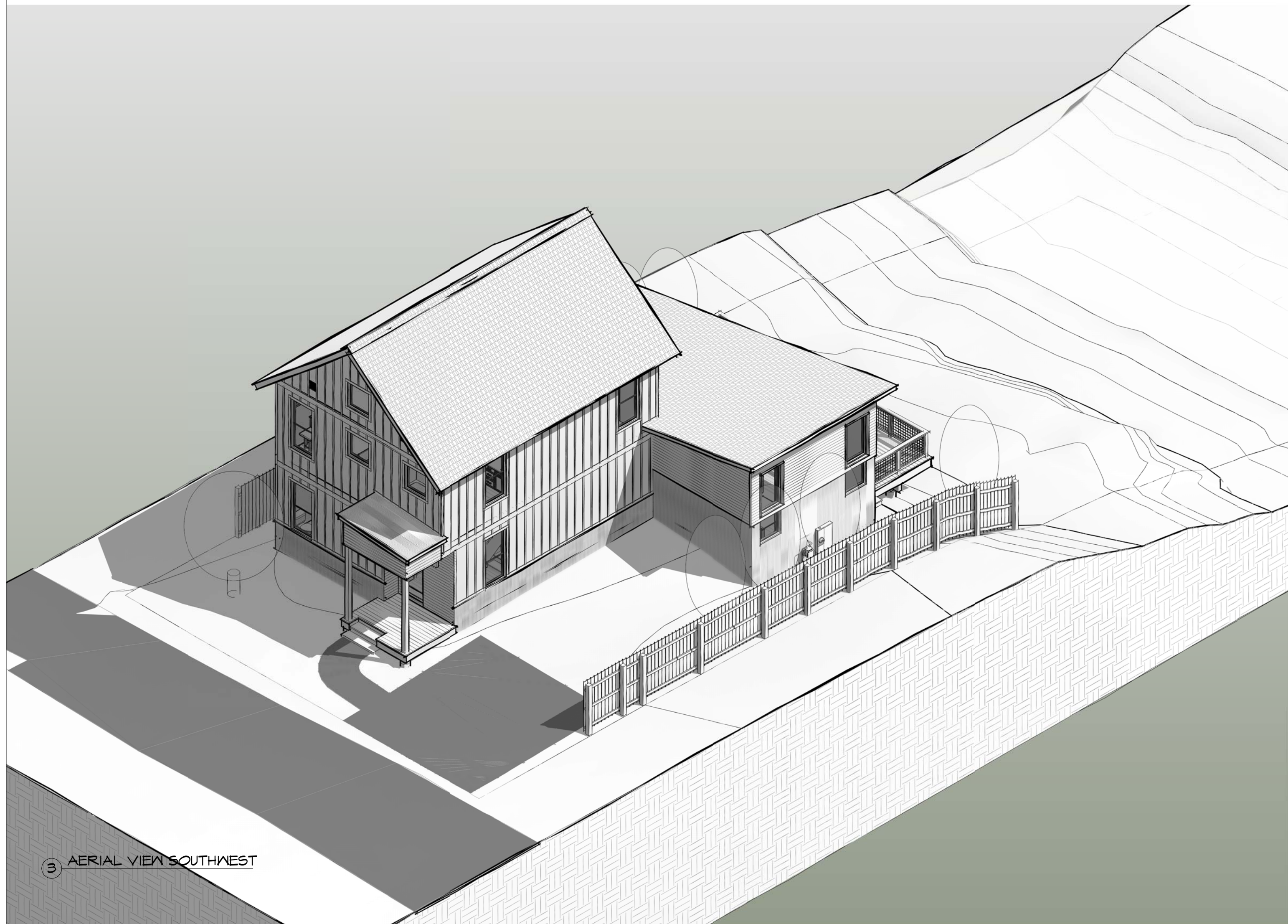
GROUND VIEWS



4 AERIAL VIEW NORTHWEST



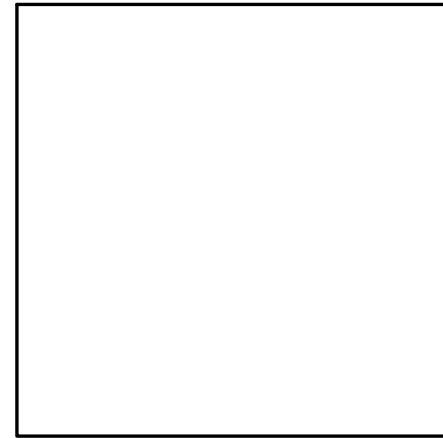
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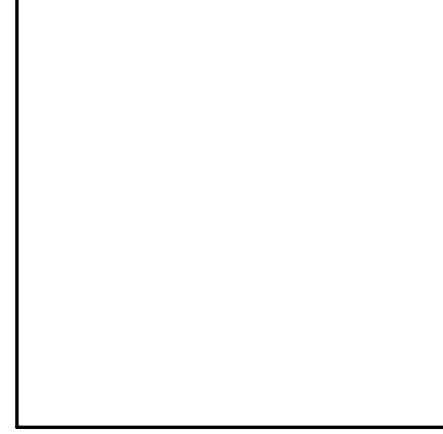
3 AERIAL VIEW SOUTHWEST



1 AERIAL VIEW SOUTHEAST



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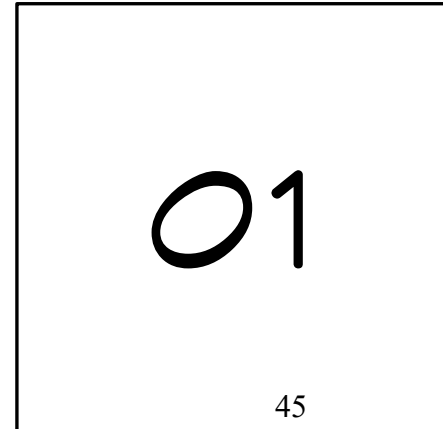
Hutton Residence
 Lot 14, Block 2, Booco's 2nd Addition to Minturn
 Parcel Number: 2103-263-02-025
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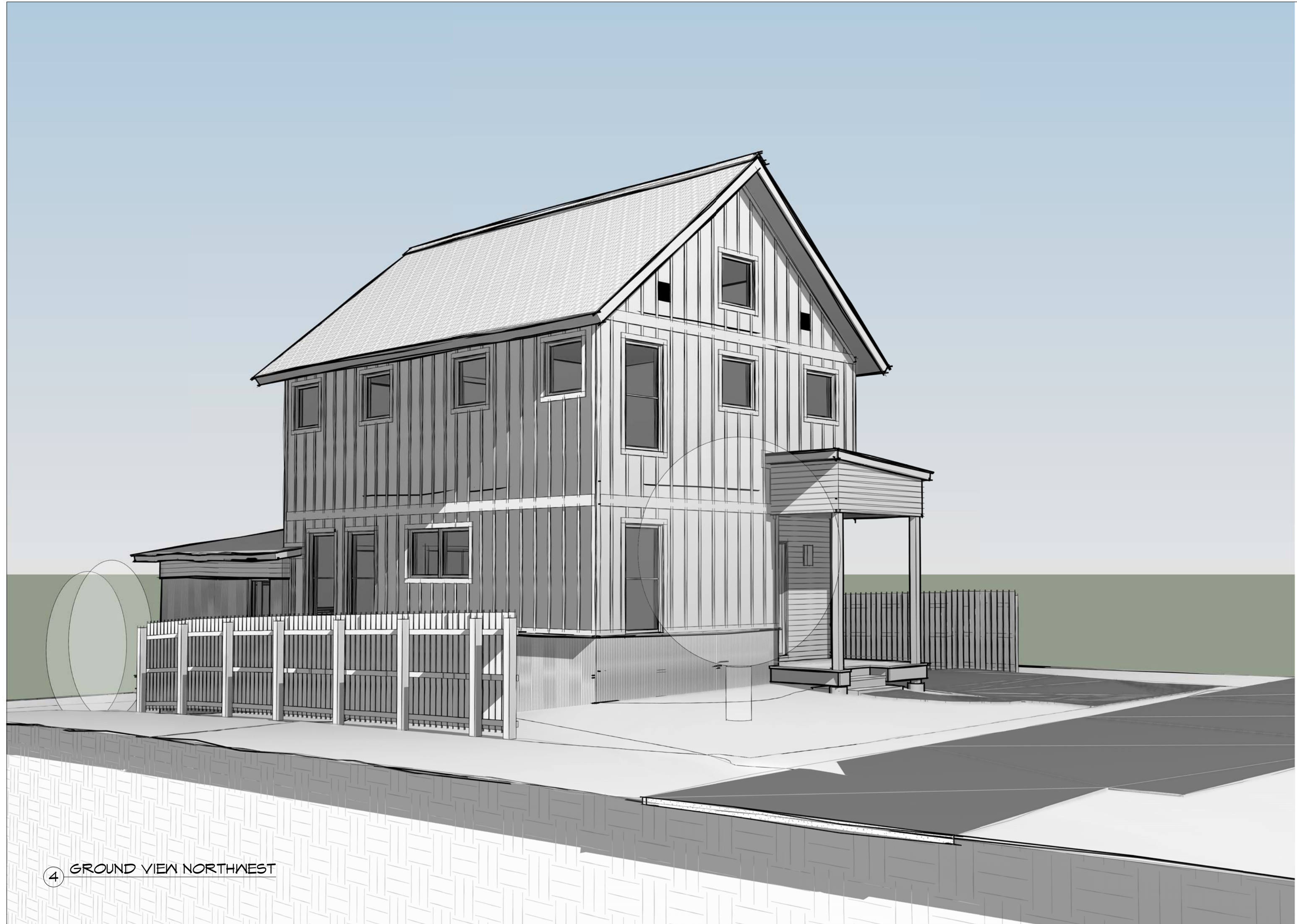
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2	Building Permit	04/15/21

Project Number: 1908
 Designed by: mpp
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AERIAL VIEWS





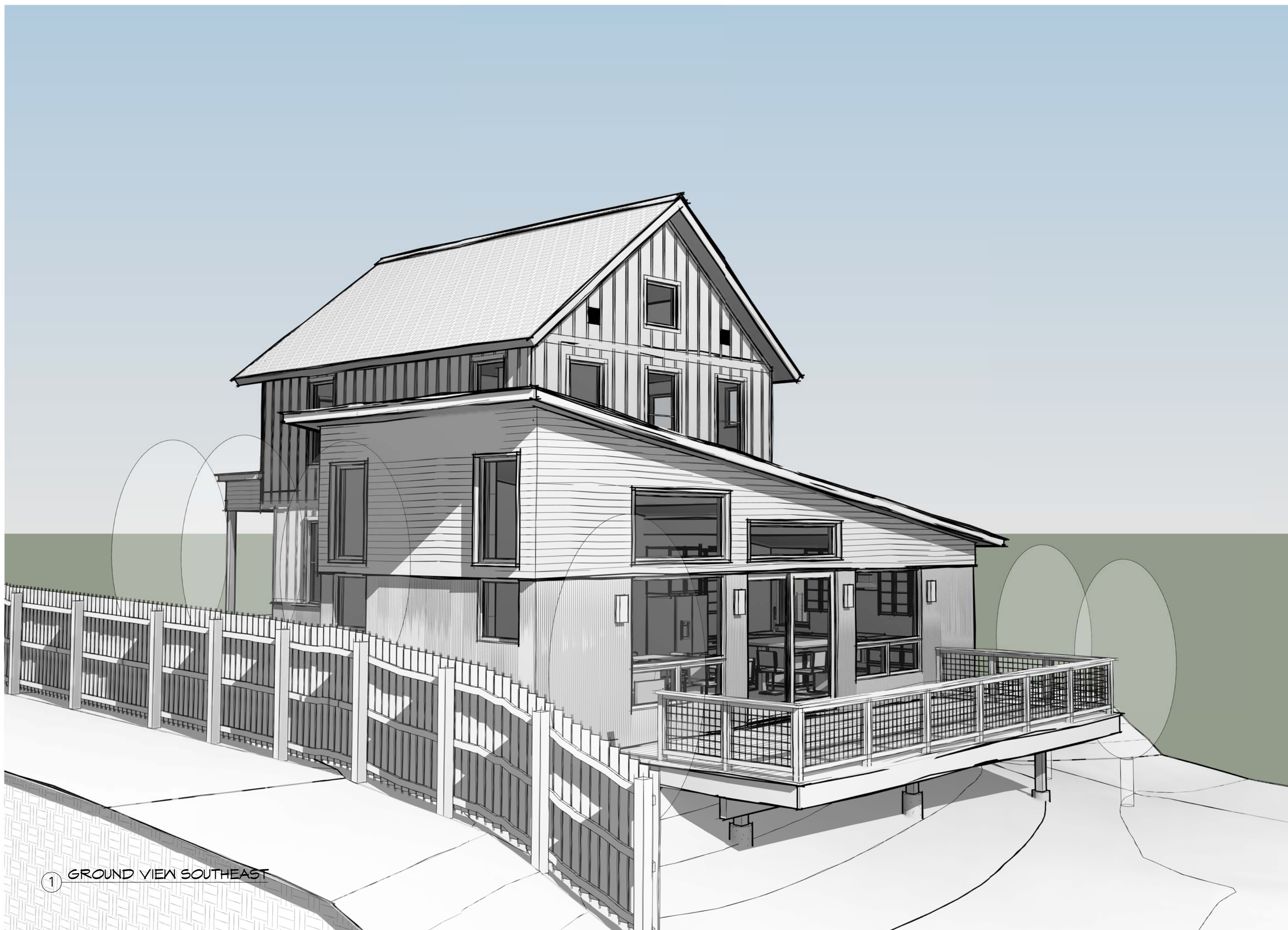
4 GROUND VIEW NORTHWEST



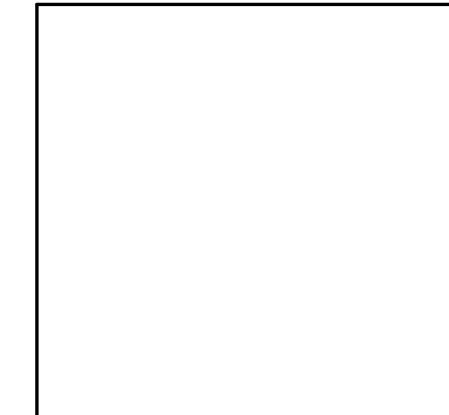
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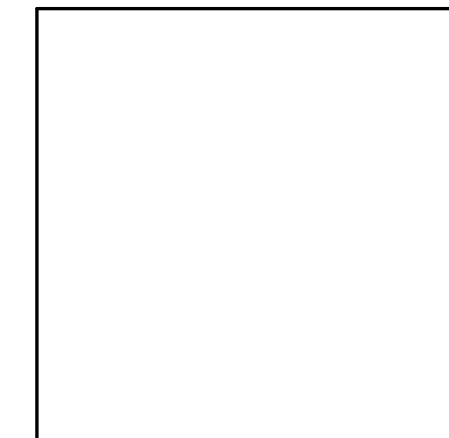
3 GROUND VIEW SOUTHWEST



1 GROUND VIEW SOUTHEAST



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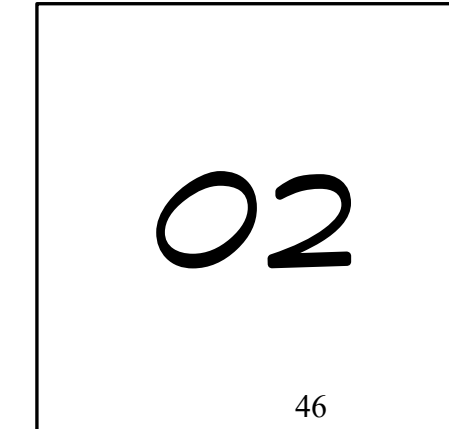
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#	Description	Date
1	DRB Submission	09/01/21
2	Building Permit	04/18/21

Project Number: 1908
 Designed by: mpp
 Drawn by: mpp
 Checked by: mpp

GROUND VIEWS



TOPOGRAPHIC SURVEY

LOT 14, BLOCK 2, BOOCO'S 2ND ADDITION TO MINTURN

TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO

LEGAL DESCRIPTION

PARCEL A:
 LOT 14, BLOCK 2, QUARTER SW SECTION 26 TOWNSHIP 5 RANGE 81 PARCEL IN
 SUBDIVISION BOOCO 2ND, COUNTY OF EAGLE, STATE OF COLORADO.

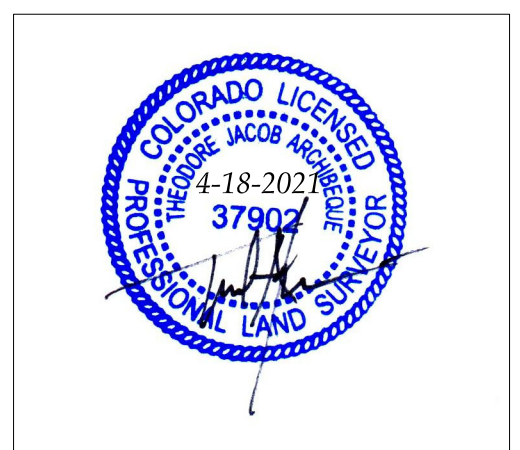
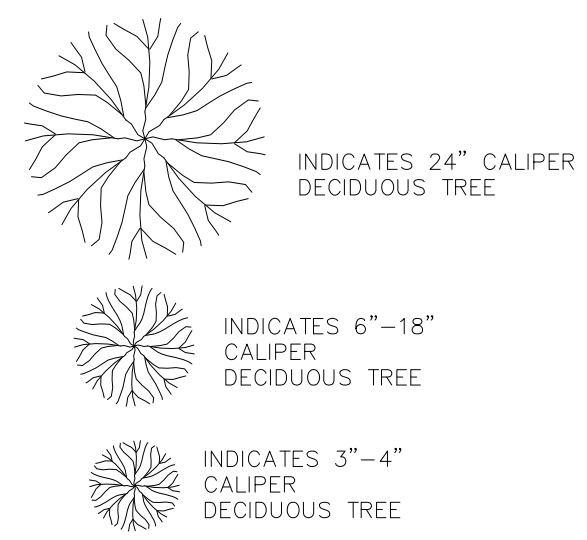
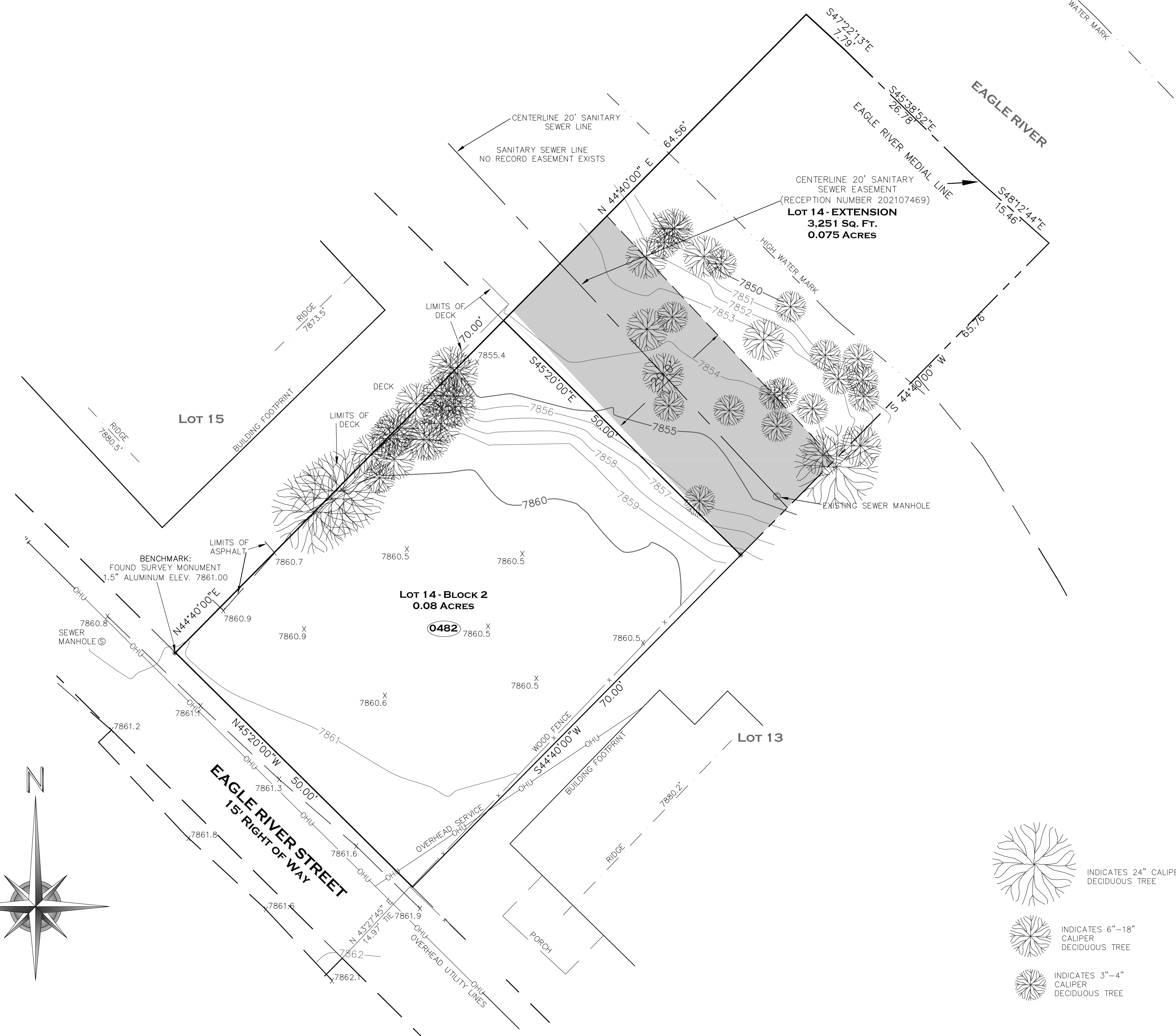
PARCEL B:
 A PARCEL OF LAND SITUATE IN SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, OF THE
 SIXTH PRINCIPLE MERIDIAN, TOWN OF MINTURN, BEING AN EXTENSION OF LOT 14,
 BLOCK 2, BOOCO'S 2ND ADDITION TO MINTURN, ACCORDING TO THE PLAT THEREOF
 AS RECORDED IN THE OFFICE OF THE EAGLE COUNTY CLERK AND RECORDER, COUNTY
 OF EAGLE, STATE OF COLORADO, AND LYING SOUTH AND WEST OF THE MEDIAL LINE OF
 THE EAGLE RIVER, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AT NORTHERLY CORNER OF SAID LOT 14; THENCE N. 44°40'00"E, 64.56 FEET
 TO THE MEDIAL LINE OF SAID EAGLE RIVER; THENCE UPON SAID MEDIAL LINE THE
 FOLLOWING 3 COURSES: 1) S. 47°22'13"E, 7.79 FEET; THENCE S. 45°38'52"E, 26.78 FEET; THENCE
 S. 48°12'44"E, 15.46 FEET; THENCE DEPARTING SAID MEDIAL LINE S. 44°40'00"W, 65.76 FEET
 TO THE EASTERLY CORNER OF SAID LOT 14; THENCE UPON THE NORTHEASTERLY LINE
 OF SAID LOT 14 N. 45°20'00"W, 50.00 FEET TO THE POINT OF BEGINNING. COUNTY OF
 EAGLE, STATE OF COLORADO

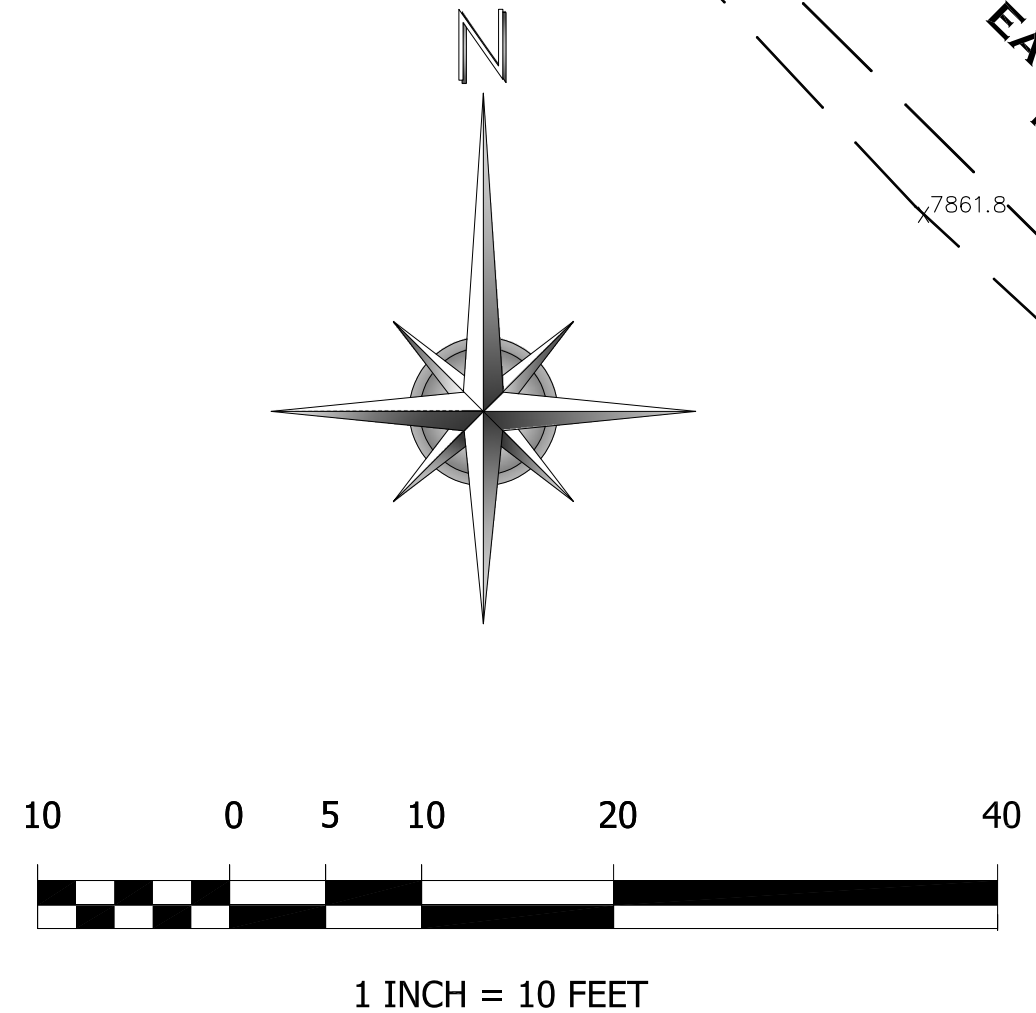
NOTES:

- 1) Survey Date: April 2020
- 2) Location of Improvements, Lot lines, and Easements are based upon the Plat of Booco's Addition to the Town of Minturn & Title Commitment No V50061309 provided by Land Title, and Survey Monuments found, as shown hereon.
- 3) Street Address: 0482 EAGLE RIVER STREET
- 4) Elevation Datum: 7861.00' on the southwest property corner, this NAVD 88 Elevation was interpolated from public data sets.
- 5) Contour Interval: 1 foot.
- 6) Utilities are shown approximately and should be field verified prior to excavation.
- 7) Surveyor does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 8) This Topographic Survey was prepared for the exclusive use of Steve Hutton, and is valid only if print has original seal and signature of surveyor.
- 9) Lineal Units of the U.S. Survey Foot were used herein.

I, Theodore J. Archibeque, a Professional Land Surveyor in the State of Colorado, hereby certify that this Topographic Map was based upon my knowledge, information and belief, and was prepared by me or under my responsible charge, and that it was performed in accordance with standard care and practice used in the area at the time of the survey. This certification is not a guaranty or warranty, either expressed or implied and the Notes hereon are a part of this certification.



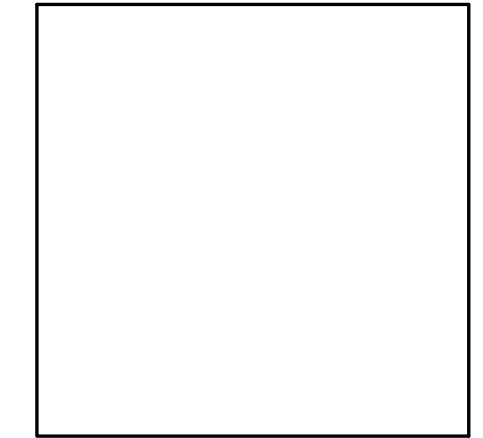
Theodore J. Archibeque PLS 37902
 Colorado Professional Land Surveyor



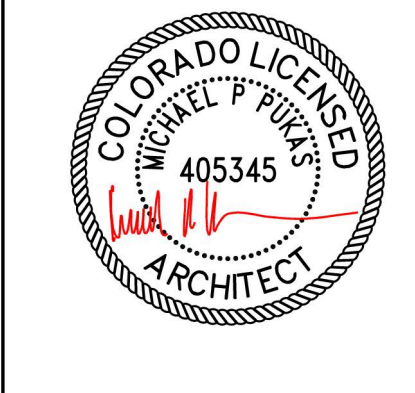
Archibeque Land Consulting, Ltd
 ~ Professional Land Surveying & Mapping ~
 105 Capitol Street, Suite 5 - P.O. Box 3893
 Eagle, Colorado 81631
 970.328.6020 Office 970.328.6021 Fax

TOPOGRAPHIC SURVEY			
LOT 14, BLOCK 2, BOOCO'S 2ND ADDITION TO MINTURN			
TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO			
DRAWN BY:	KMD	DRAWING NAME:	05152_TOP 482 EAGLE RIVER ST.dwg
SHEET 1 OF 1	DATE: 4-18-2021	CHECKED BY:	TJA

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon. Additionally, this document is prepared for the sole purpose of use by the parties stated herein. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Archibeque Land Consulting, Ltd., its owner(s) and employee(s) will not be liable for more than the cost of this document, and then only to the parties specifically shown hereon. Acceptance and/or use of this document for any purpose constitutes acknowledgement and agreement to all terms stated herein.



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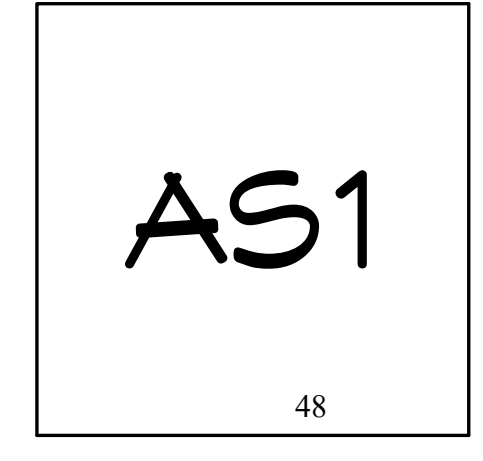
Hutton Residence
 Lot 14, Block 2, Booco's 2nd Addition to Minturn
 Parcel Number: 2103-263-02-025
 482 Eagle River Street
 Minturn, CO 81645

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#	Description	Date
1	DRB Submission	09/01/21
2	Building Permit	04/15/21

Project Number: 1908
 Designed by: mpp
 Drawn by: mpp
 Checked by: mpp

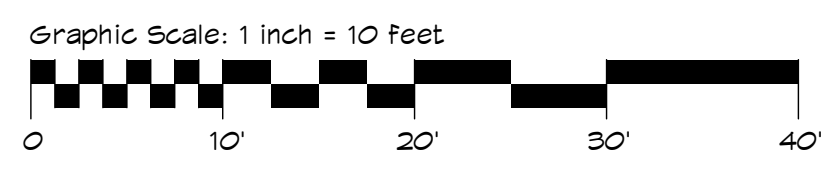
SITE & LANDSCAPE PLANS



Type Mark	Count	Type
1	1	Chokecherry/Prunus virginiana
2	6	Quaking aspen/Populus tremuloides
Grand total: 7		

2 LANDSCAPE PLAN
 1" = 10'-0"

1 SITE PLAN
 1" = 10'-0"



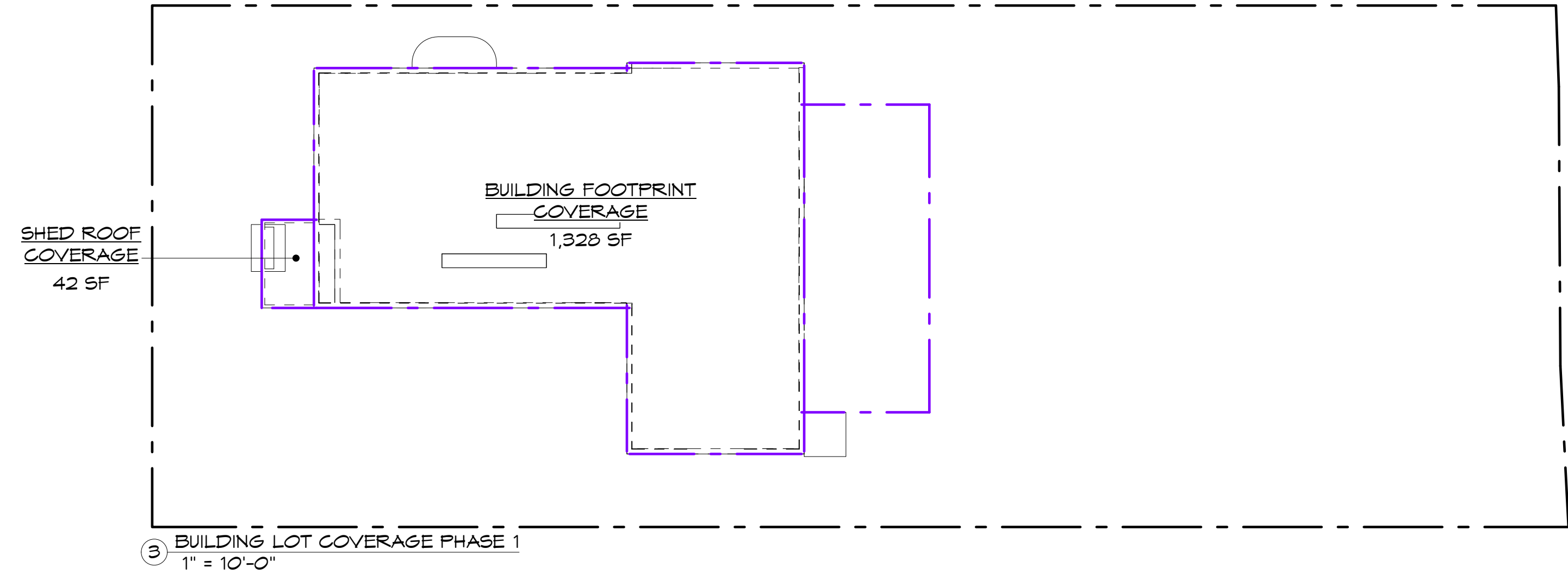
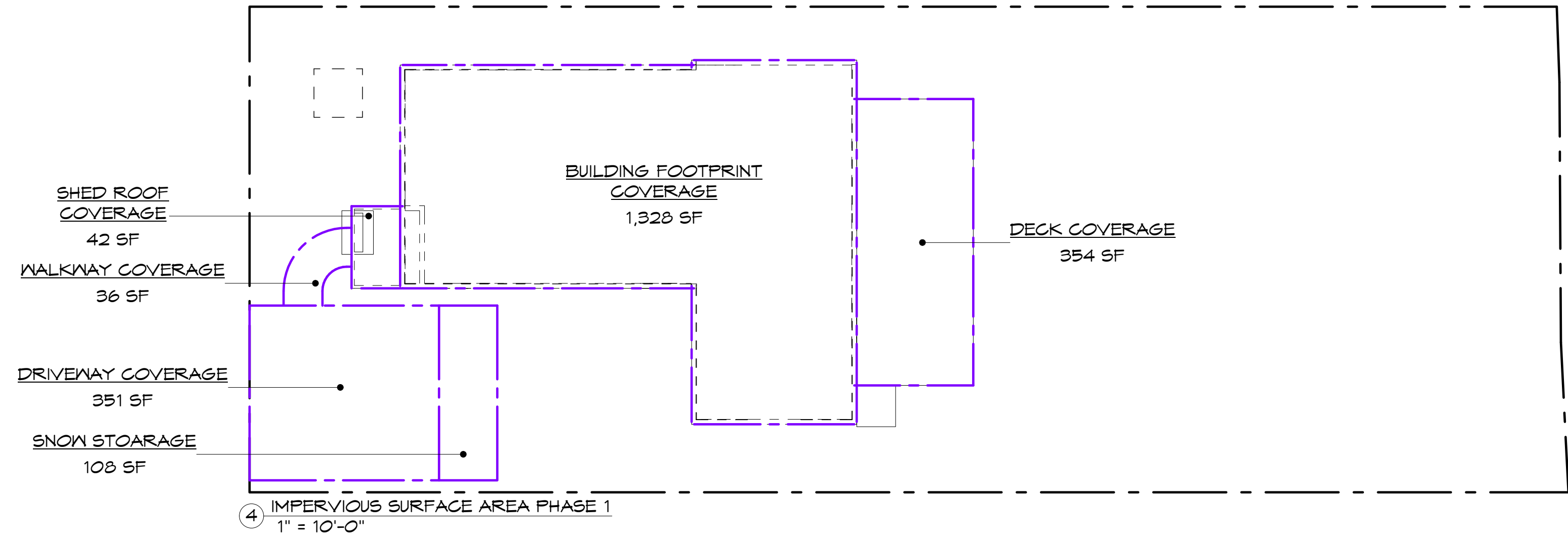
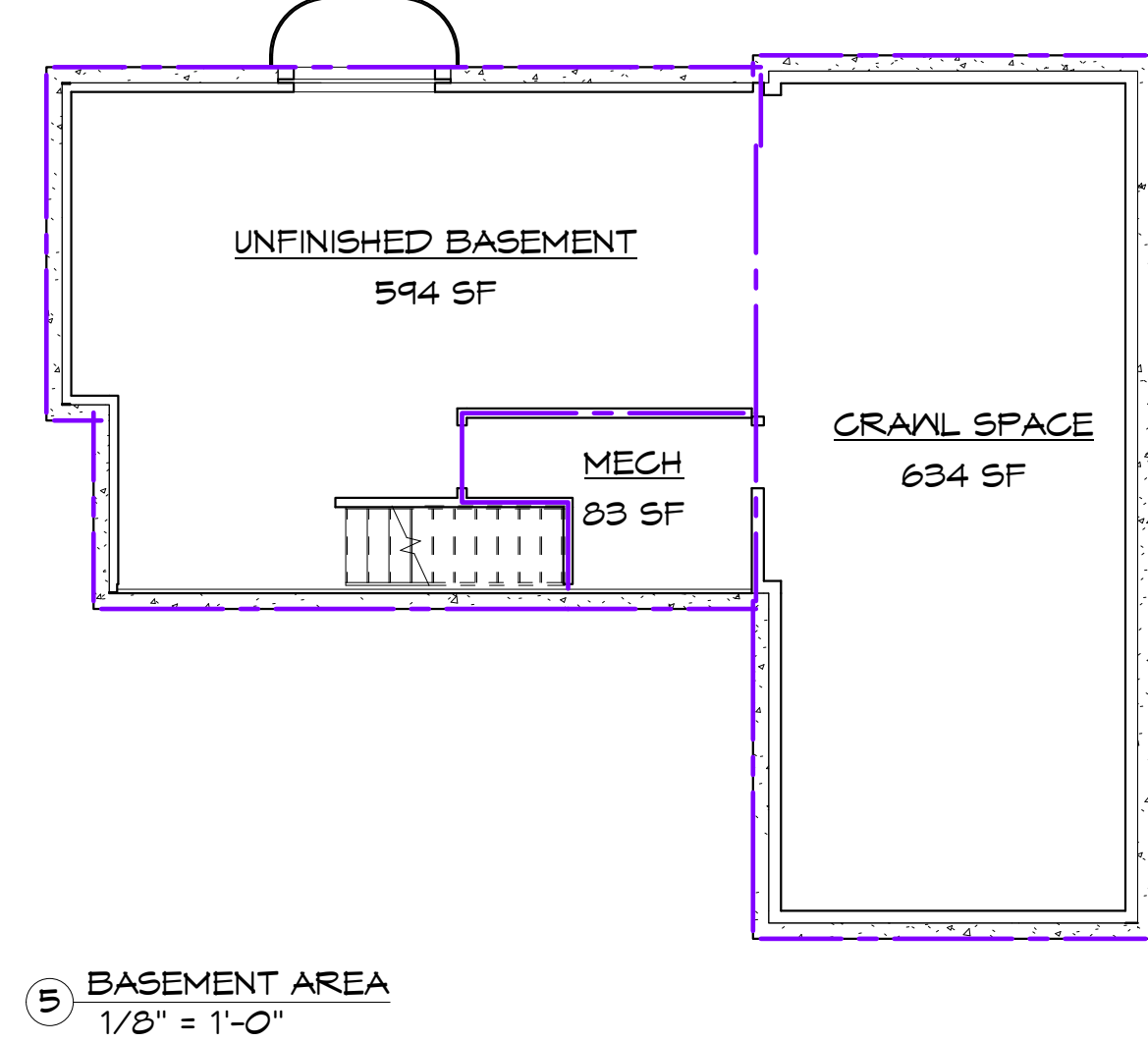
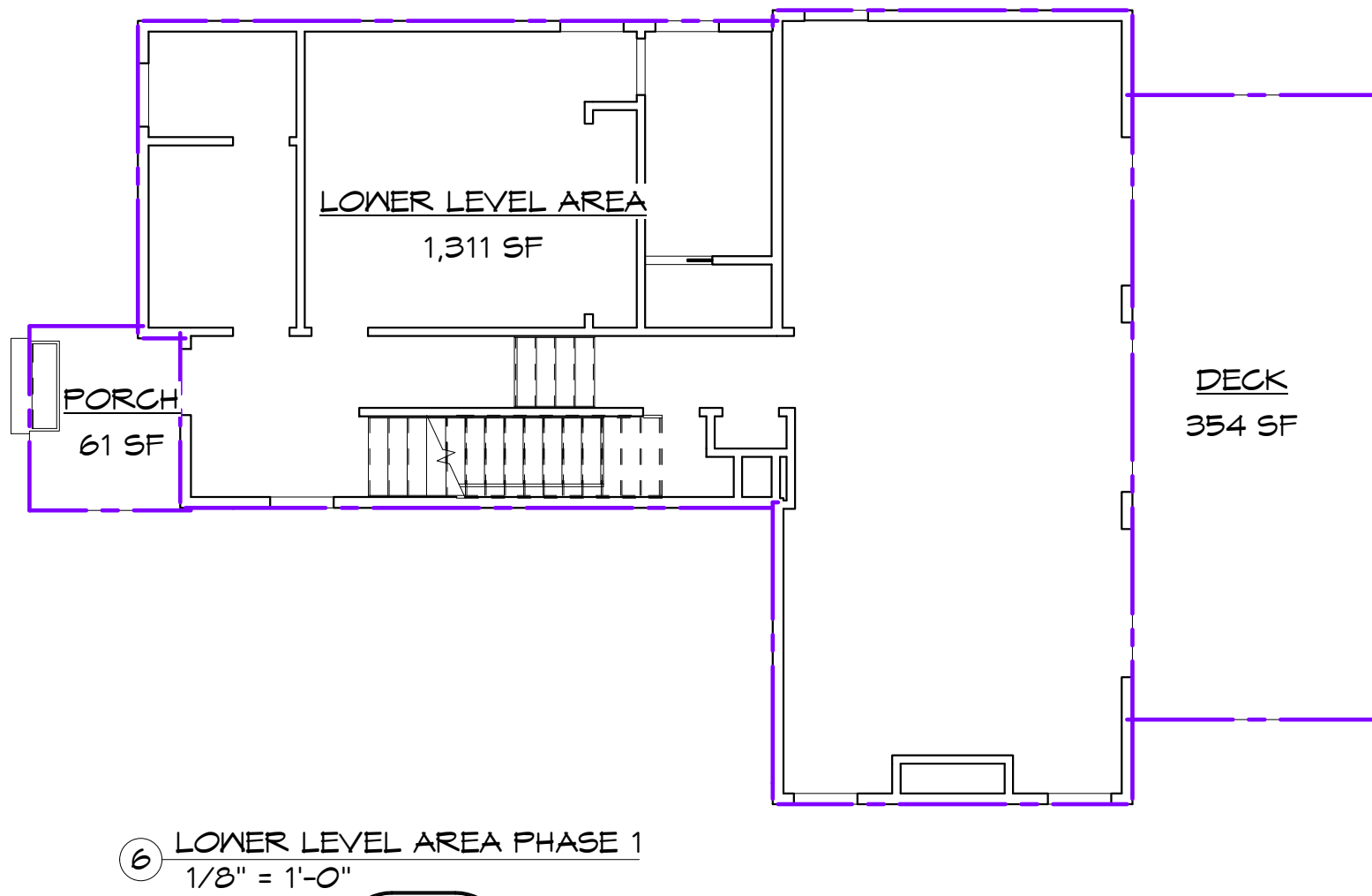
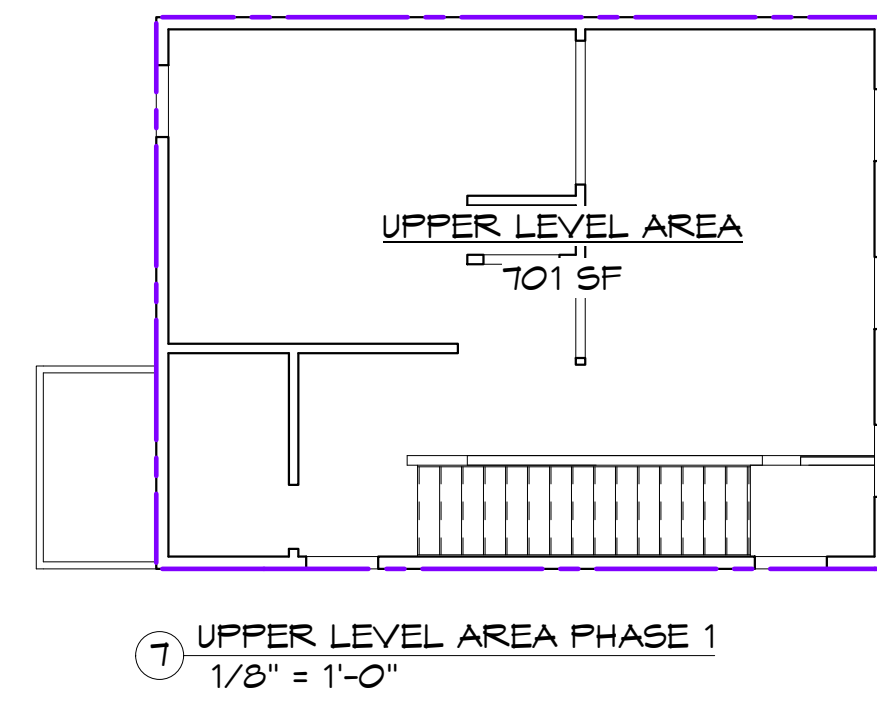
EFFECTIVE LOT AREA & ALLOWABLE COVERAGES		
EFFECTIVE LOT AREA	BUILDING LOT COVERAGE	IMPERVIOUS SURFACE AREA - 50%
5,270 SF	- 40%	2,635 SF
	2,108 SF	

BUILDING LOT COVERAGE PHASE 1	
BUILDING FOOTPRINT COVERAGE	1,328 SF
SHED ROOF COVERAGE	42 SF
	1,370 SF

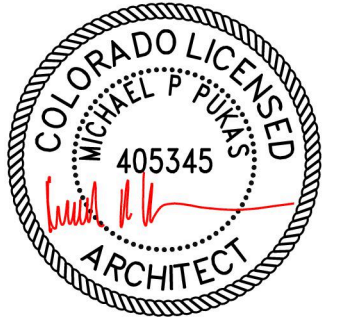
IMPERVIOUS SURFACE AREA PHASE 1	
BUILDING FOOTPRINT COVERAGE	1,328 SF
DECK COVERAGE	354 SF
SHED ROOF COVERAGE	42 SF
DRIVENWAY COVERAGE	351 SF
WALKWAY COVERAGE	36 SF
	2,111 SF

LIVEABLE FLOOR AREA PHASE 1	
LOWER LEVEL AREA	1,311 SF
UPPER LEVEL AREA	701 SF
	2,012 SF

TOTAL BUILDING AREA PHASE 1	
UNFINISHED BASEMENT	594 SF
MECH	83 SF
LOWER LEVEL AREA	1,311 SF
UPPER LEVEL AREA	701 SF
	2,689 SF



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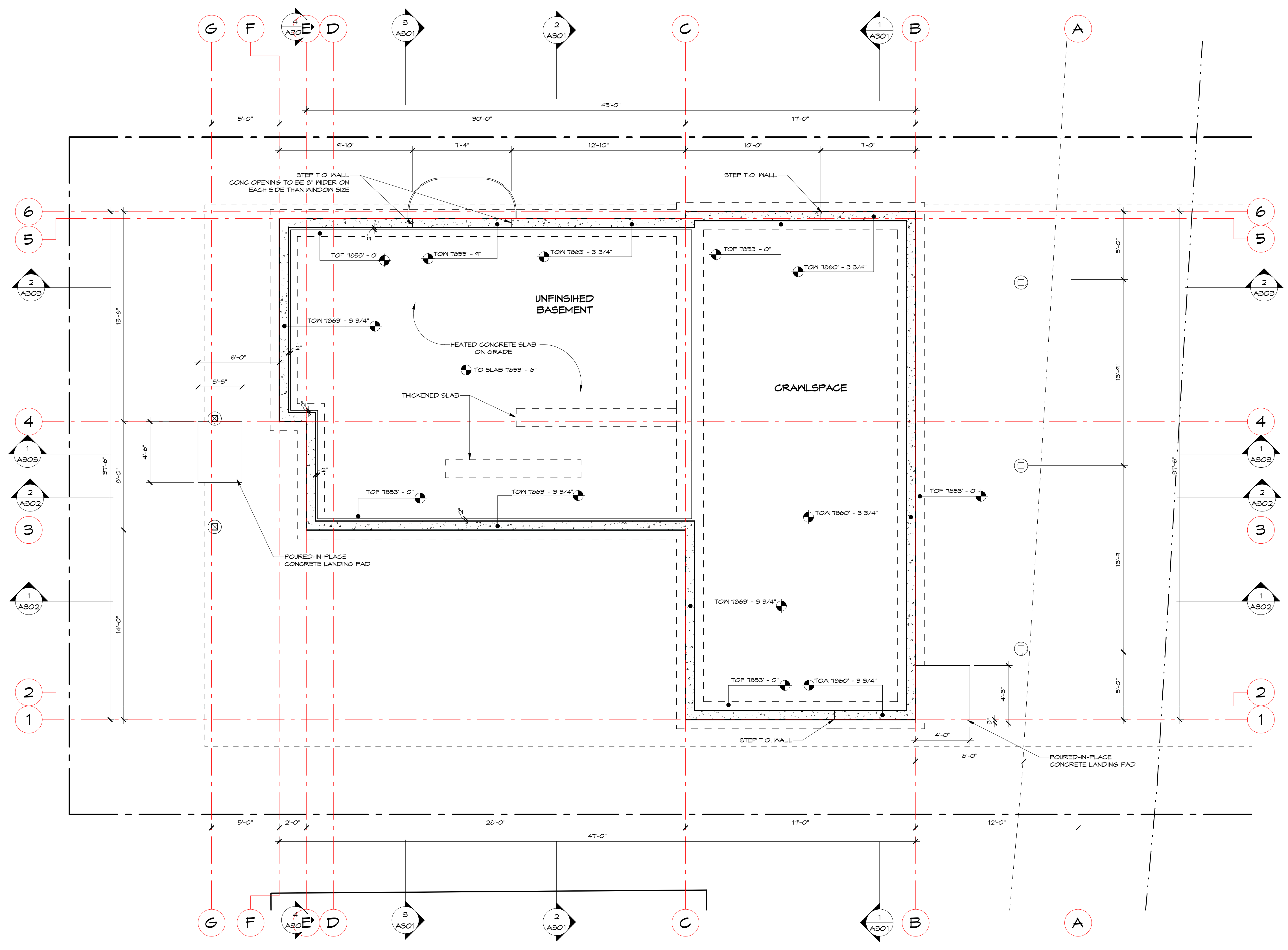
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1	DRB Submission	03/01/21
2	Building Permit	04/15/21

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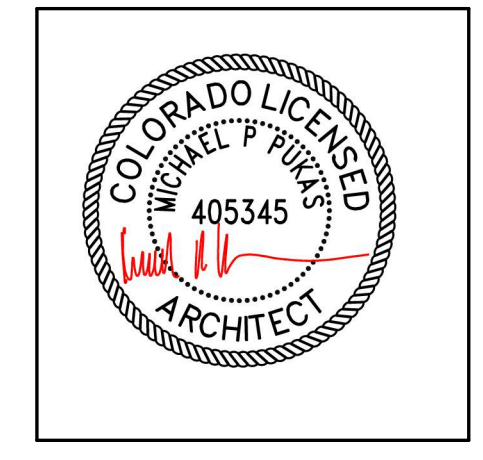
LOT & BUILDING ANALYSIS

A001



1 FOUNDATION PLAN
1/4" = 1'-0"

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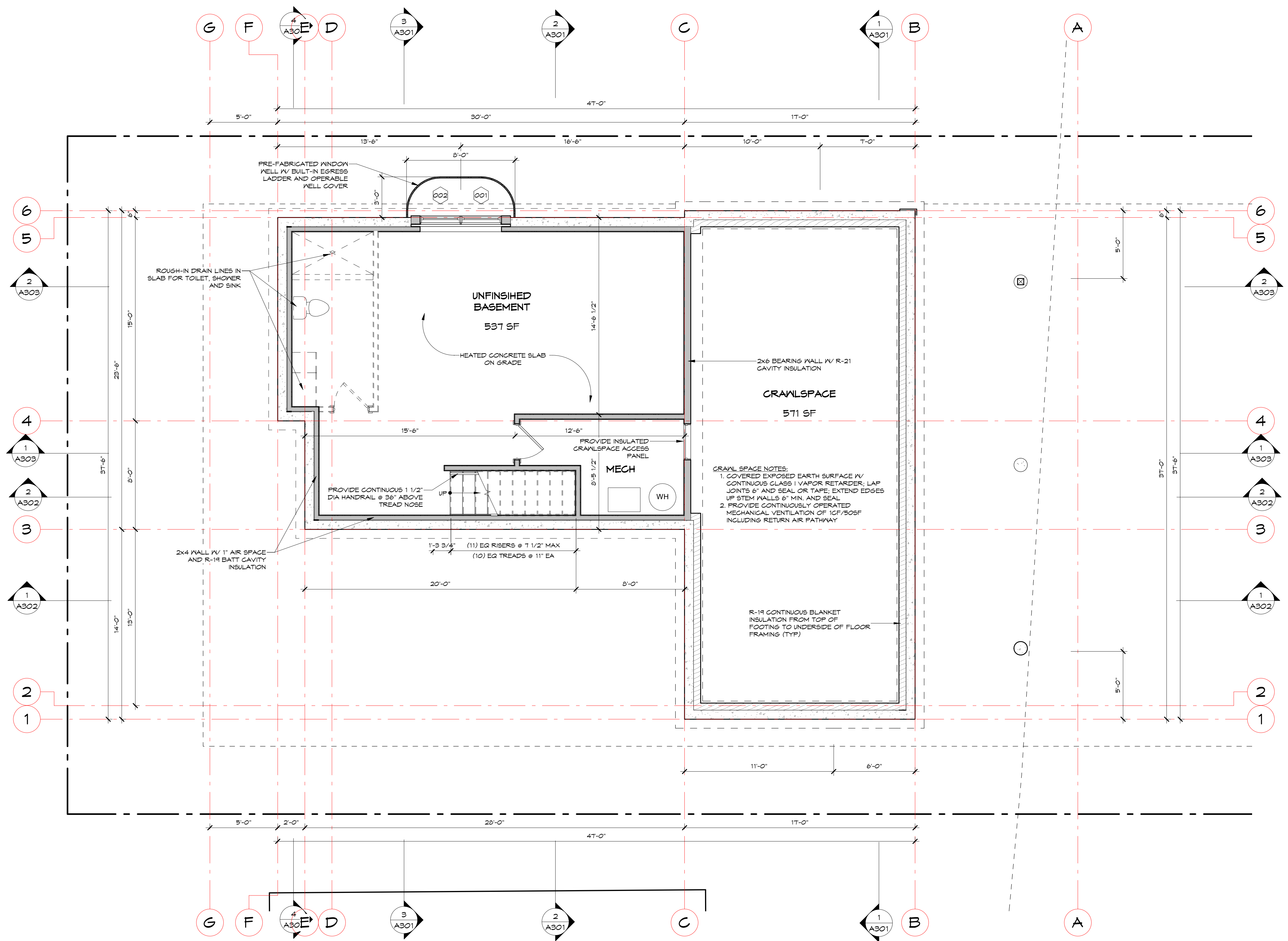
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#	Description	Date
2	Building Permit	04/15/21

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Designed by: mpp
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Checked by: mpp

FOUNDATION PLAN

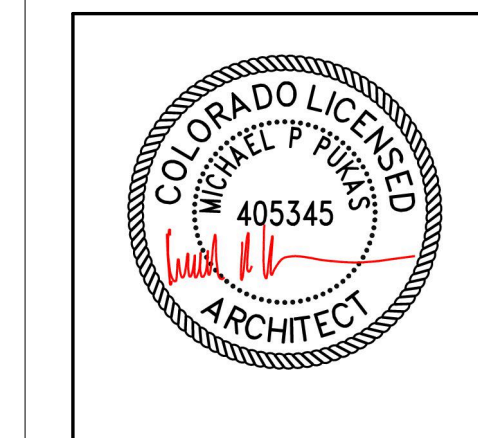
A101
50



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

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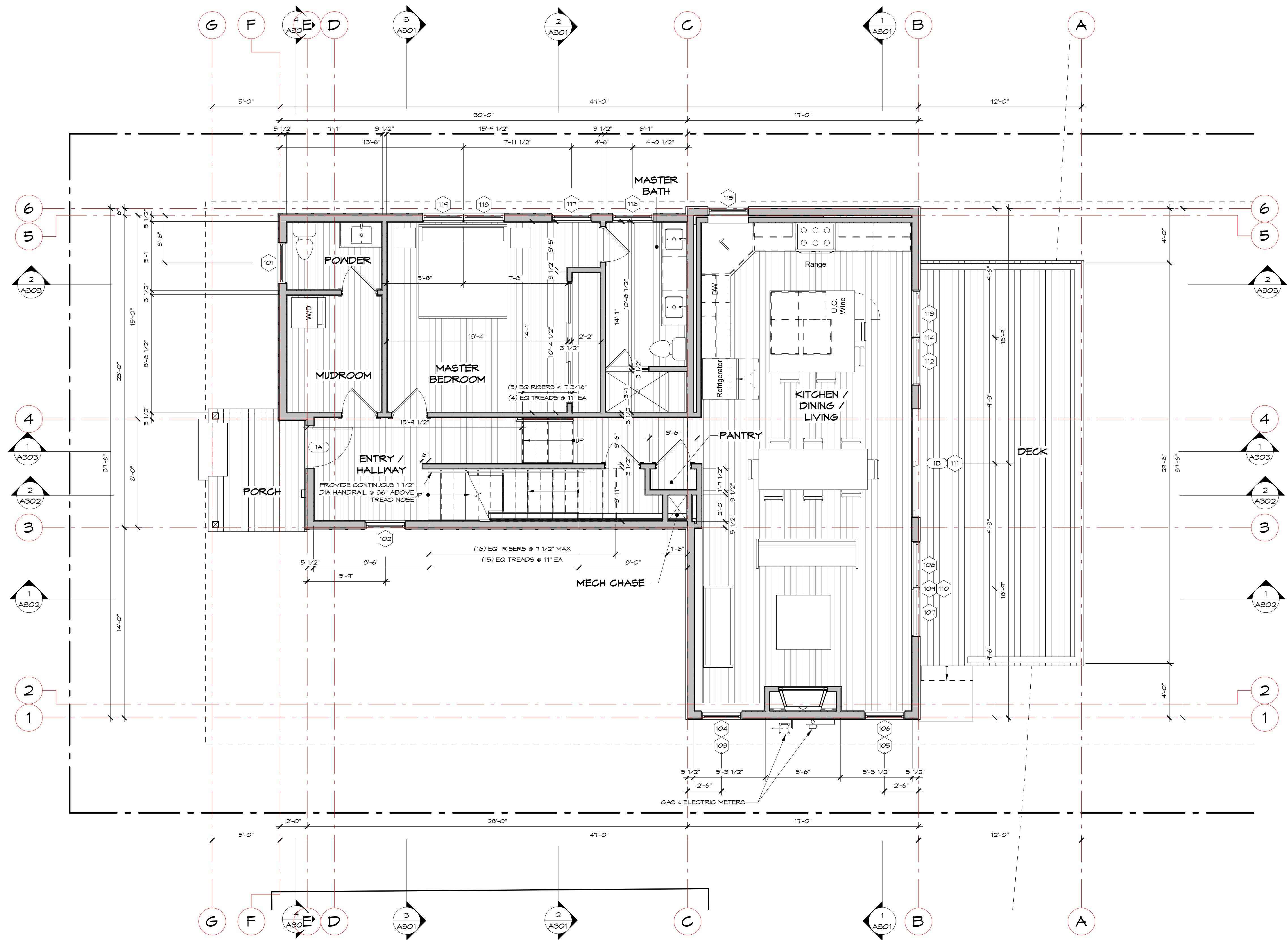
#	Description	Date
1	DRB Submission	03/01/21
2	Building Permit	04/15/21

Project Number:	1908
Designed by:	mpp
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BASEMENT FLOOR PLAN

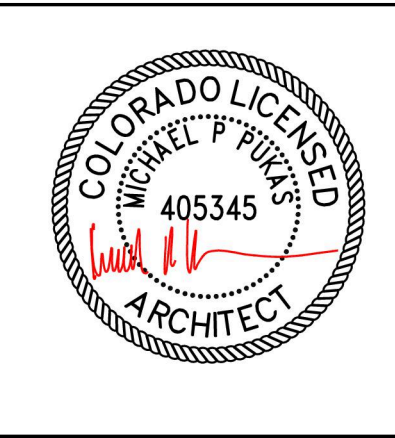
A102

51



① LOWER LEVEL FLOOR PLAN
 1/4" = 1'-0"

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 Gypsum, CO 81637
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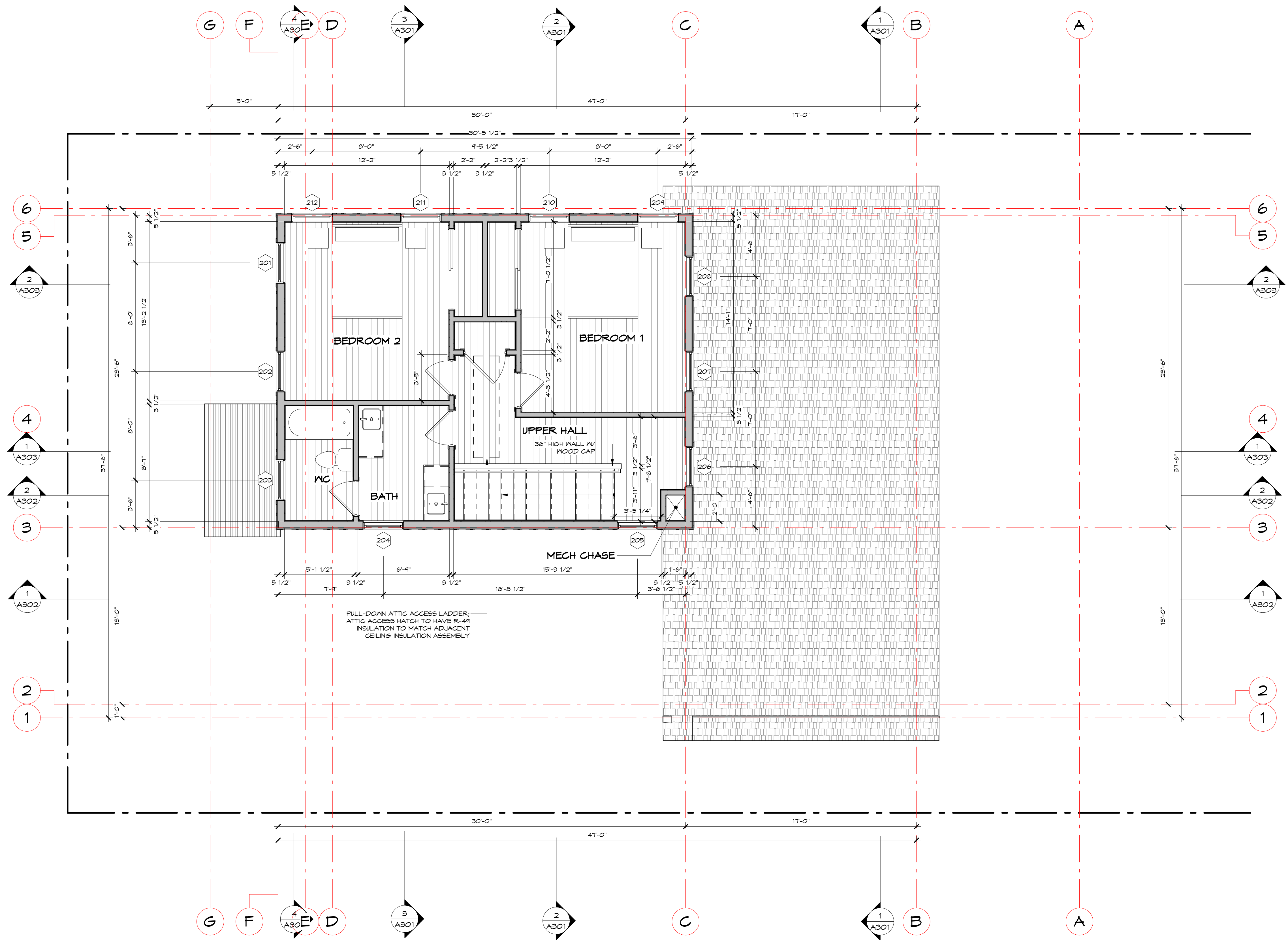
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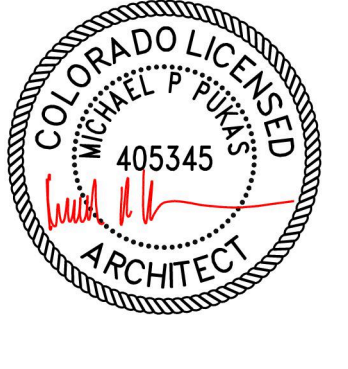
LOWER LEVEL
 FLOOR PLAN

A103



1 UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"

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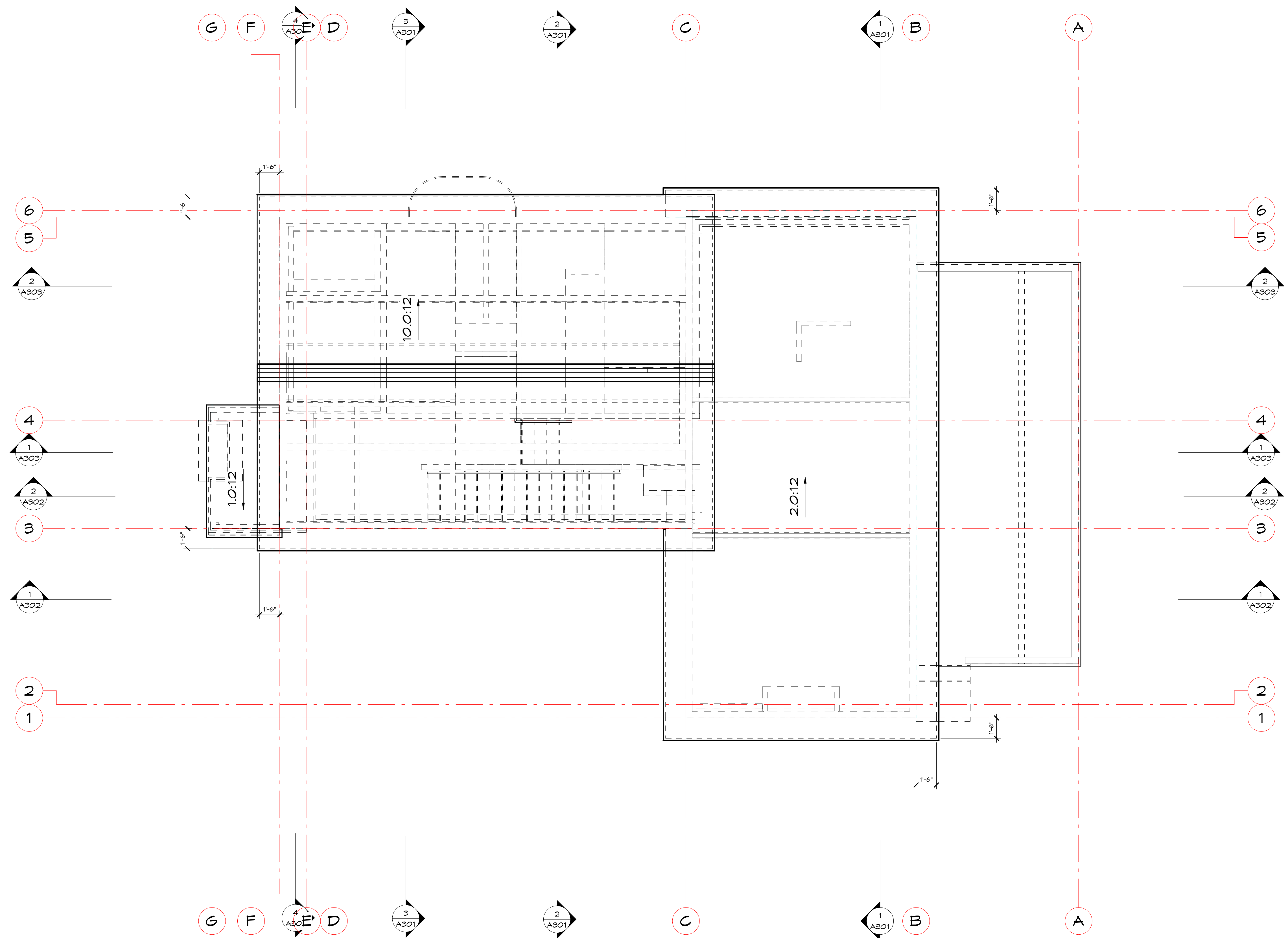
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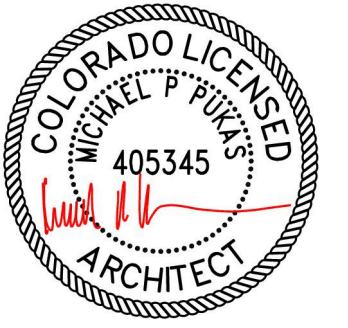
UPPER LEVEL
FLOOR PLAN

A104



1 ROOF PLAN
1/4" = 1'-0"

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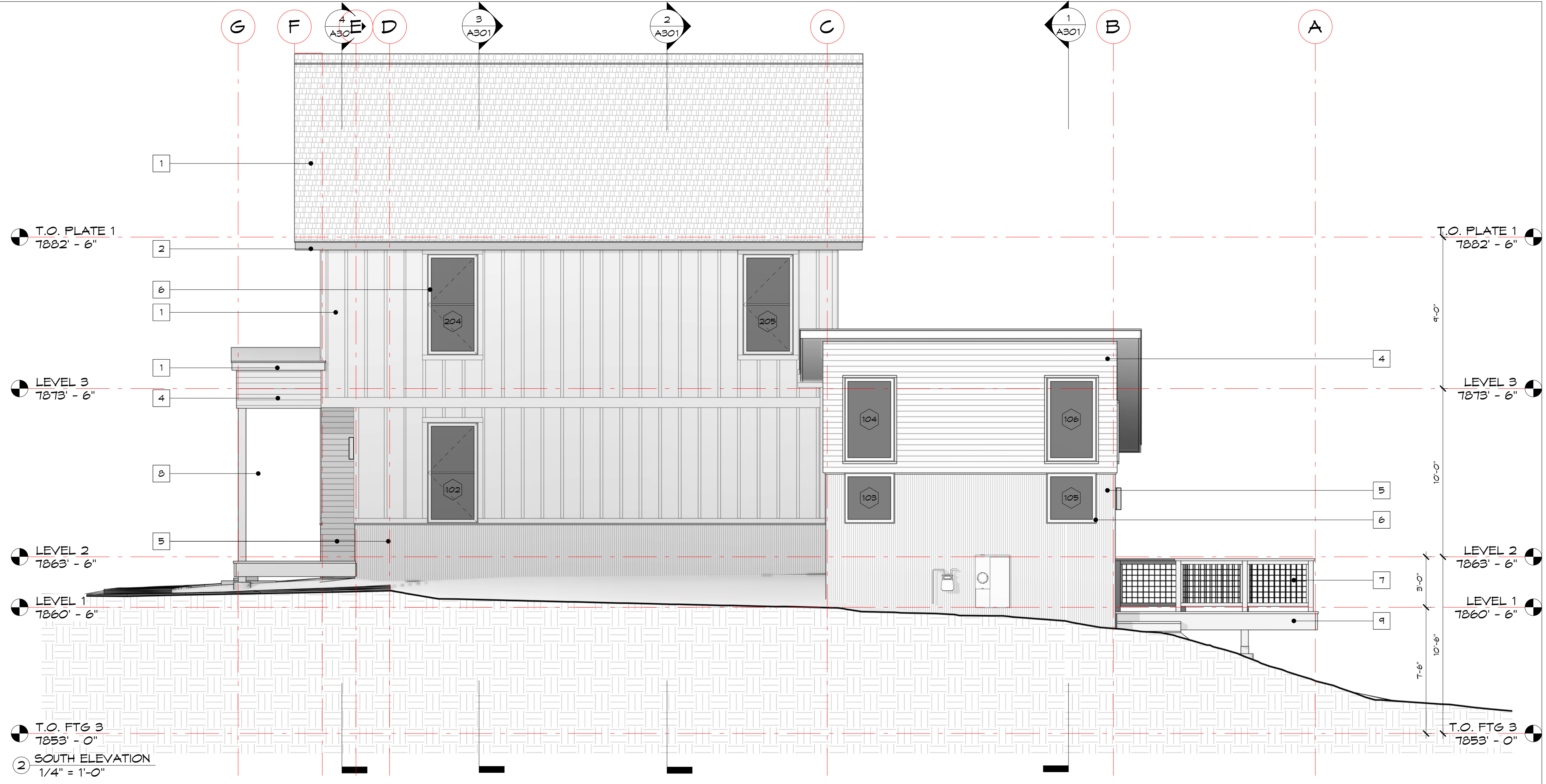
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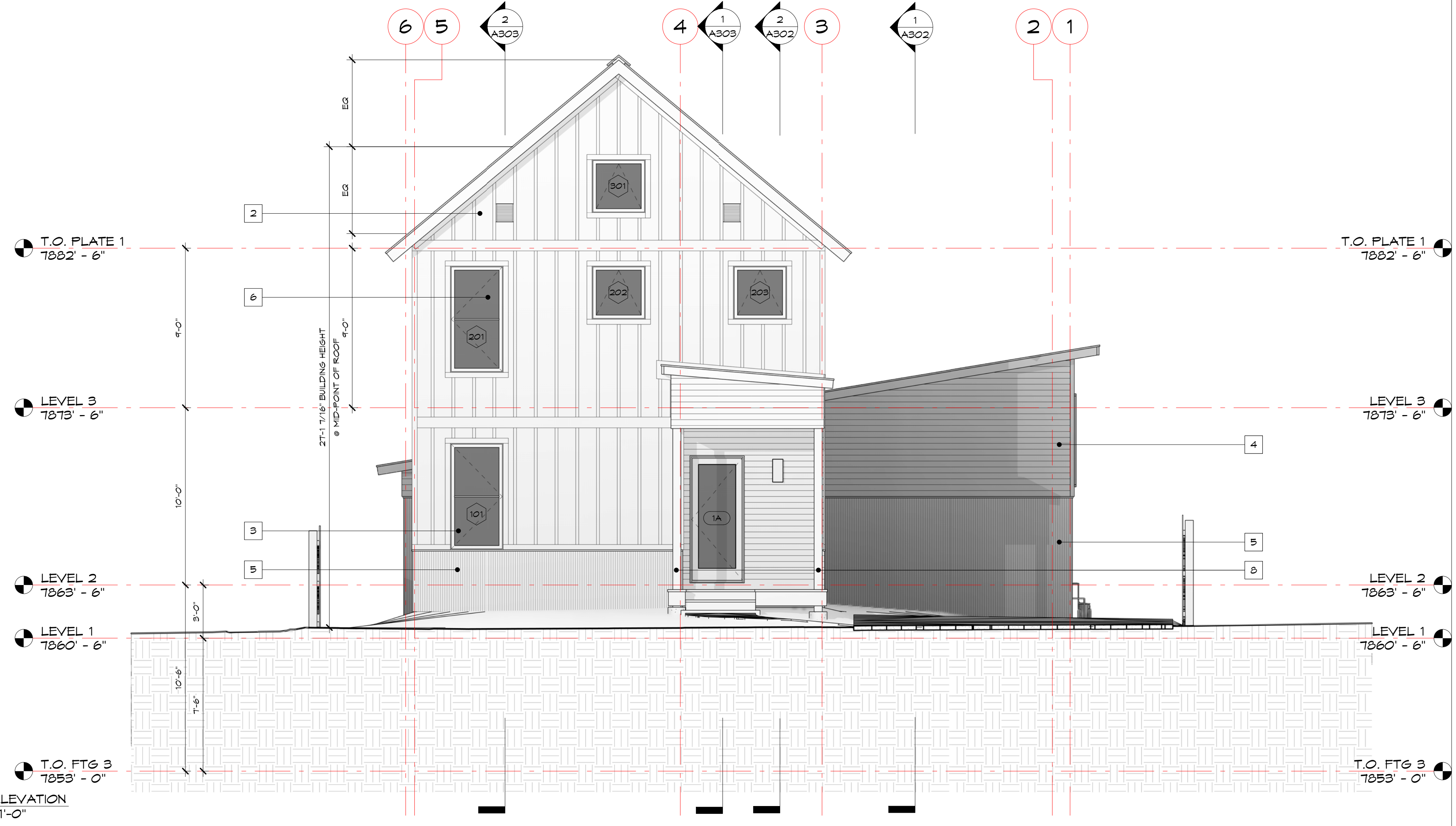
ROOF PLAN

A105

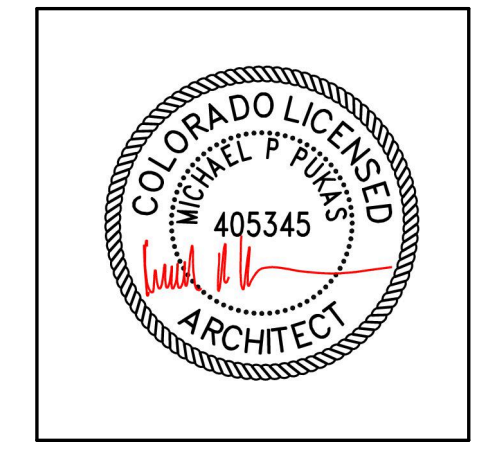
WINDOW SCHEDULE							
Mark	Type #	Description	Width	Height	U-Factor	Glass Type	Type Comments
103		4848 FIXED	3'-0"	3'-0"	<0.3	IG Low E II with Argon	
105		4848 FIXED	3'-0"	3'-0"	<0.3	IG Low E II with Argon	
2							
001	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
002	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
101	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
102	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
116	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
117	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
201	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
204	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
205	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
206	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH
207	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
208	1	CASEMENT	3'-0"	6'-0"	<0.3	AIR-FILLED, LOW-E	2-LITE HIGH EGRESS
12							
115	2	CASEMENT	3'-0"	4'-6"	<0.3	AIR-FILLED, LOW-E	
110	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
114	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
202	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
203	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
204	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
210	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
211	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
212	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
301	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	EGRESS
302	3	AWNING	3'-0"	3'-0"	<0.3	AIR-FILLED, LOW-E	
10							
107	4	AWNING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
108	4	AWNING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
112	4	AWNING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
113	4	AWNING	3'-6"	2'-0"	<0.3	AIR-FILLED, LOW-E	
4							
104	5	FIXED	3'-0"	5'-0"	<0.3	AIR-FILLED, LOW-E	
106	5	FIXED	3'-0"	5'-0"	<0.3	AIR-FILLED, LOW-E	
2							
109	6	FIXED	7'-0"	4'-6"	<0.3	AIR-FILLED, LOW-E	
114	6	FIXED	7'-0"	4'-6"	<0.3	AIR-FILLED, LOW-E	
2							
110	7	FIXED	7'-0"	3'-6"	<0.3	AIR-FILLED, LOW-E	
1							
111	8	FIXED	8'-0"	2'-0"	<0.3	AIR-FILLED, LOW-E	
1							
Grand total: 35							



EXTERIOR MATERIAL LEGEND						
Key	Material	Manufacturer	Model	Color	Finish	Notes
1	ASPHALT SHINGLES	GAF		WEATHERED WOOD		LIFE TIME WARRANTY; APPROVED FOR LOW SLOPE ROOF APPLICATIONS
2	2x6 FASCIA, WOOD			CHARCOAL GRAY	OPAQUE STAIN	
3	BOARD & BATTEN SIDING		CEMENT BOARD	CHARCOAL GRAY	PAINT, PRE-FINISHED	
4	HORIZONTAL COMPOSITE SIDING			MIXED BROWN		
5	CORRUGATED METAL SIDING	CORE-TEN		NATURAL RUST		SEALED TO PREVENT LEACHING OF RUST
6	WOOD FRAME ALUMINIUM GLAD WINDOWS			BROWN	PAINT	
7	WOOD & METAL RAILING			BROWN	OPAQUE STAIN	4"x4" WIRE MESH IV' 6X6 POSTS, 2X6 TOP RAIL
8	6x6 WOOD COLUMN			BROWN	OPAQUE STAIN	
9	2x12 RS DECK FASCIA			BROWN	OPAQUE STAIN	



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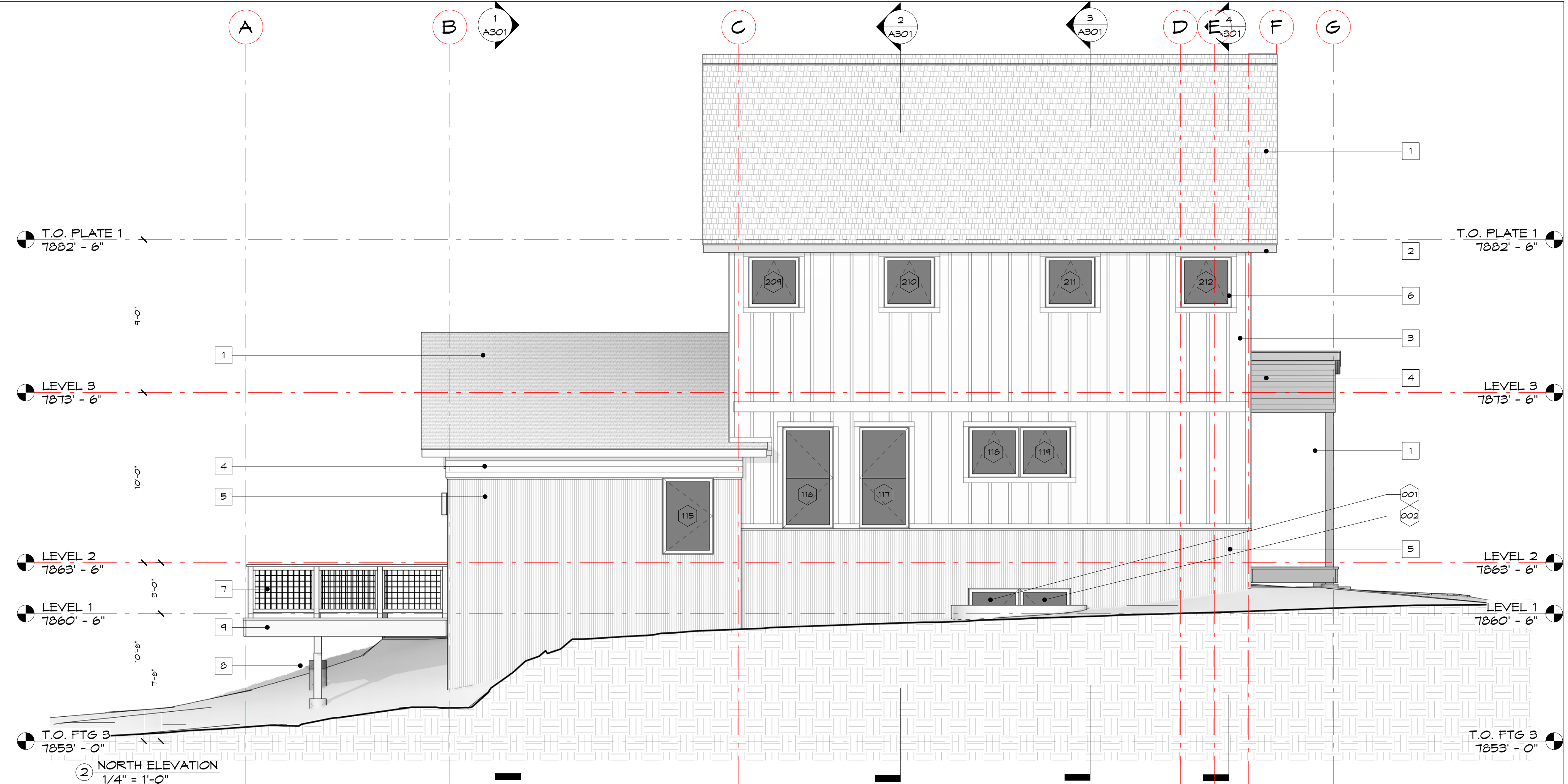
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ELEVATIONS

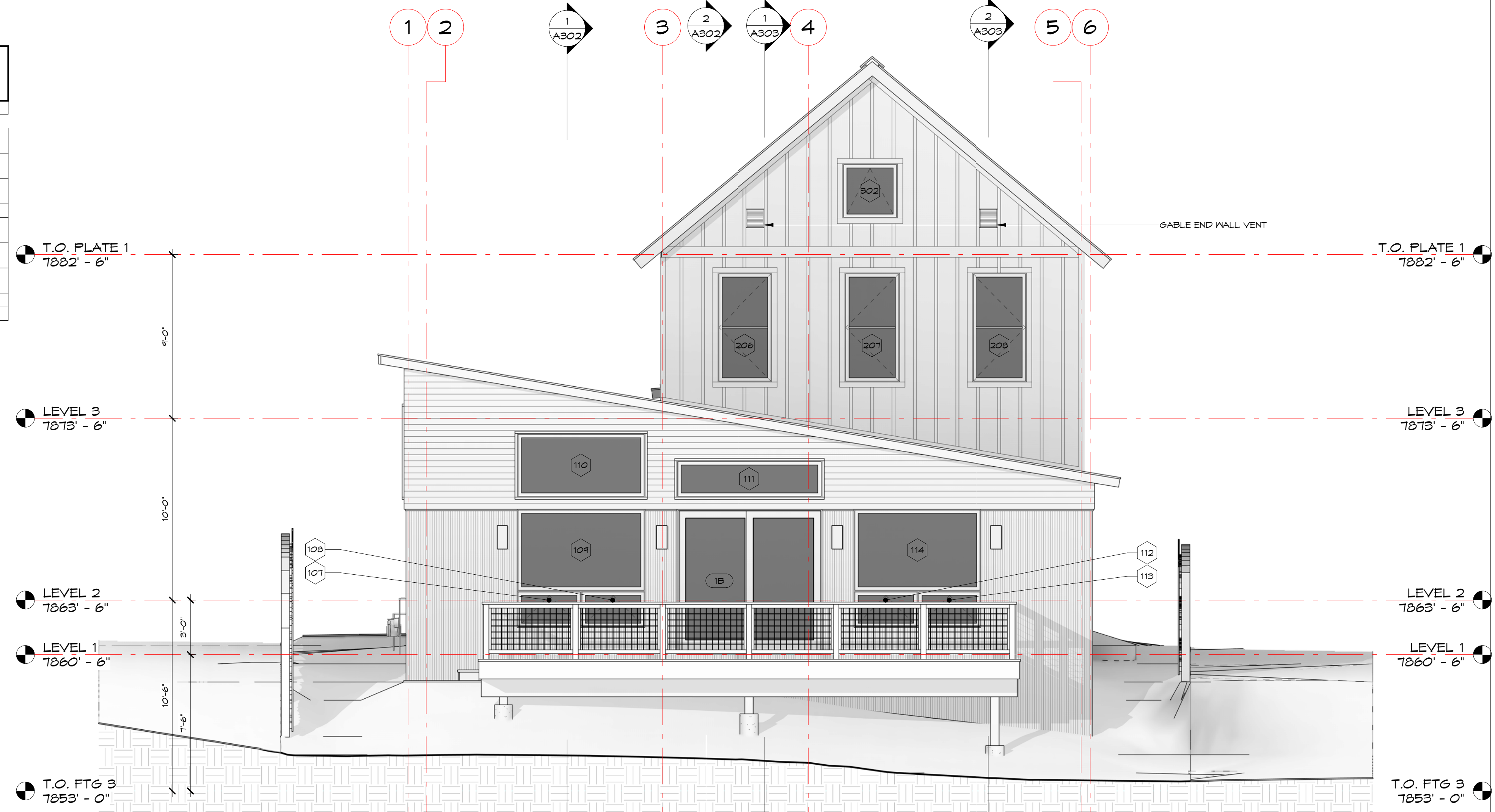
A201
 55



2 NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND

Key	Material	Manufacturer	Model	Color	Finish	Notes
1	ASPHALT SHINGLES	GAF		WEATHERED WOOD		LIFE TIME WARRANTY; APPROVED FOR LOW SLOPE ROOF APPLICATIONS
2	2x6 FASCIA, WOOD			CHARCOAL GRAY	OPAQUE STAIN	
3	BOARD & BATTEN SIDING		CEMENT BOARD	CHARCOAL GRAY	PAINT, PRE-FINISHED	
4	HORIZONTAL COMPOSITE SIDING			MIXED BROWN		
5	CORRUGATED METAL SIDING		CORE-TEN	NATURAL RUST		SEALED TO PREVENT LEACHING OF RUST
6	WOOD FRAME ALUMINUM GLAD WINDOWS			BROWN	PAINT	
7	WOOD & METAL RAILING			BROWN	OPAQUE STAIN	4"x4" WIRE MESH IV/ 6X6 POSTS, 2x6 TOP RAIL
8	6x6 WOOD COLUMN			BROWN	OPAQUE STAIN	
9	2x12 RS DECK FASCIA			BROWN	OPAQUE STAIN	



1 EAST ELEVATION
1/4" = 1'-0"

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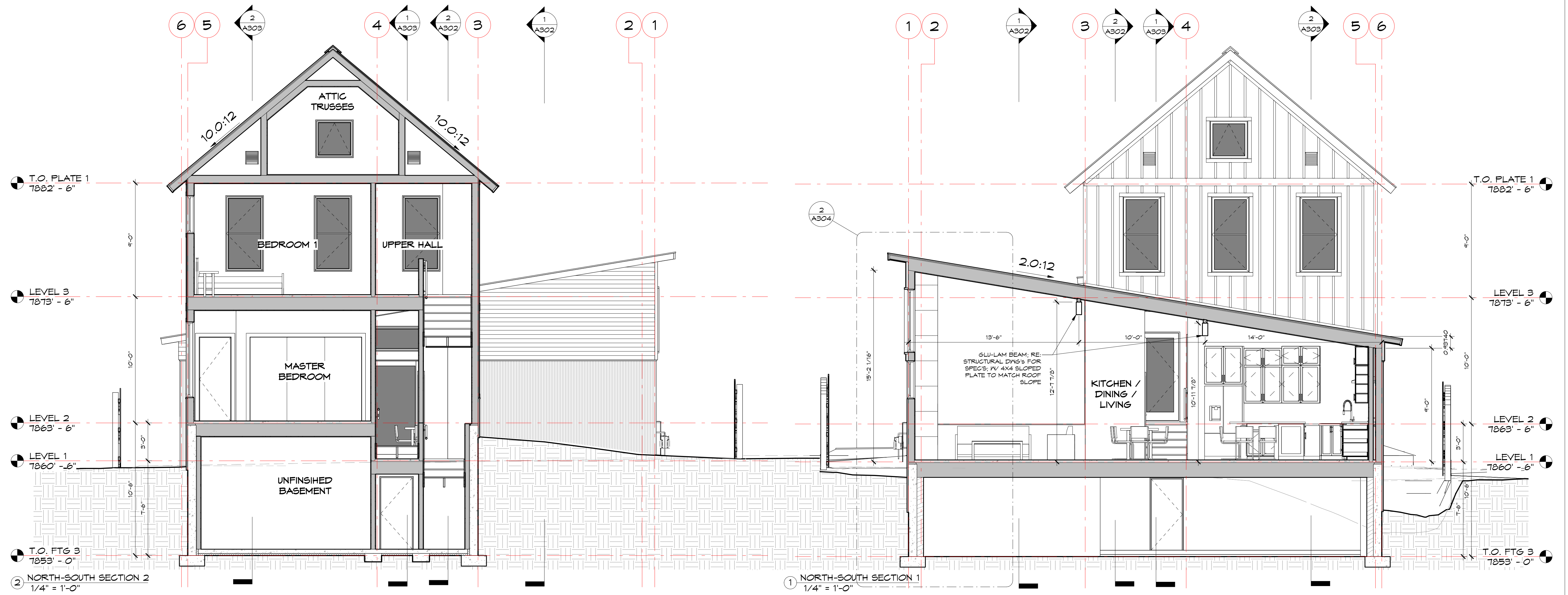
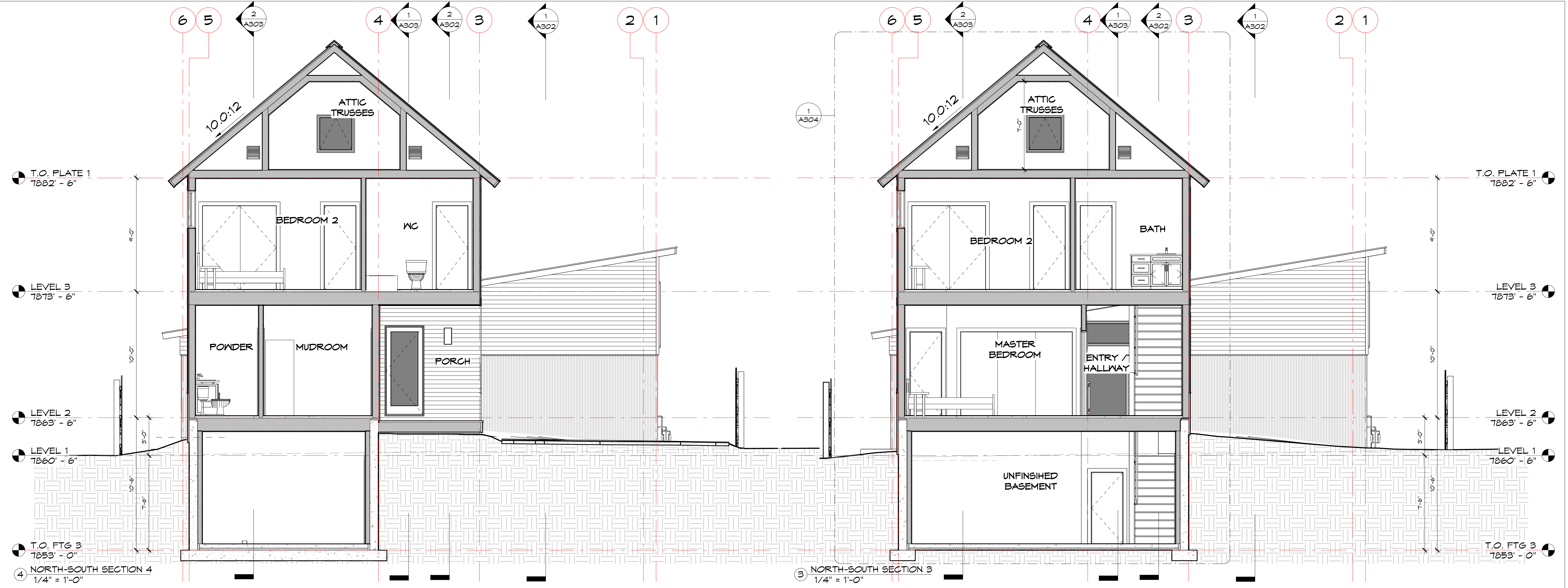
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Checked by: mpp

ELEVATIONS

A202



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 Minturn, CO 81645

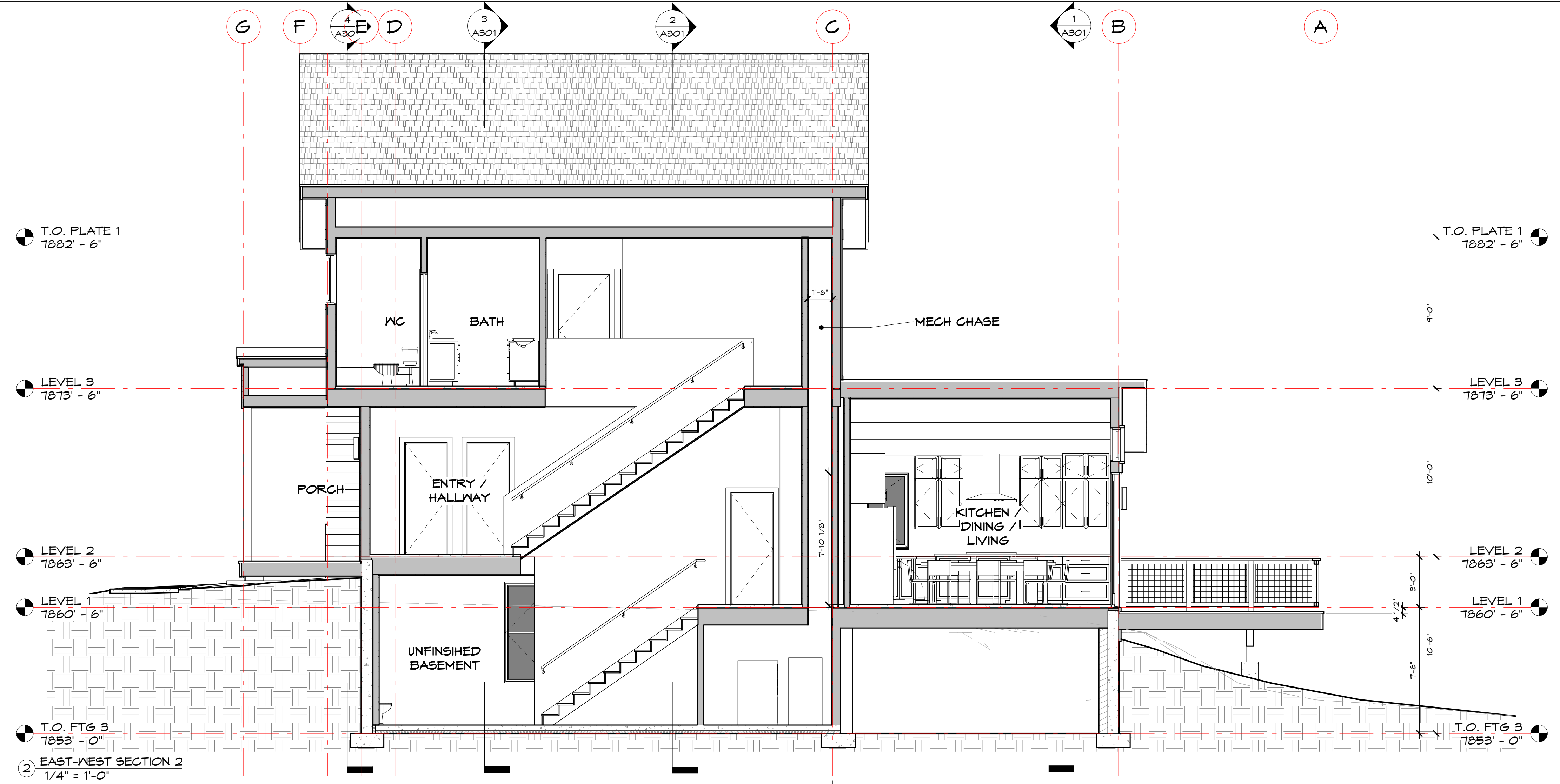
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#	Description	Date
1	DRB Submission	03/01/21

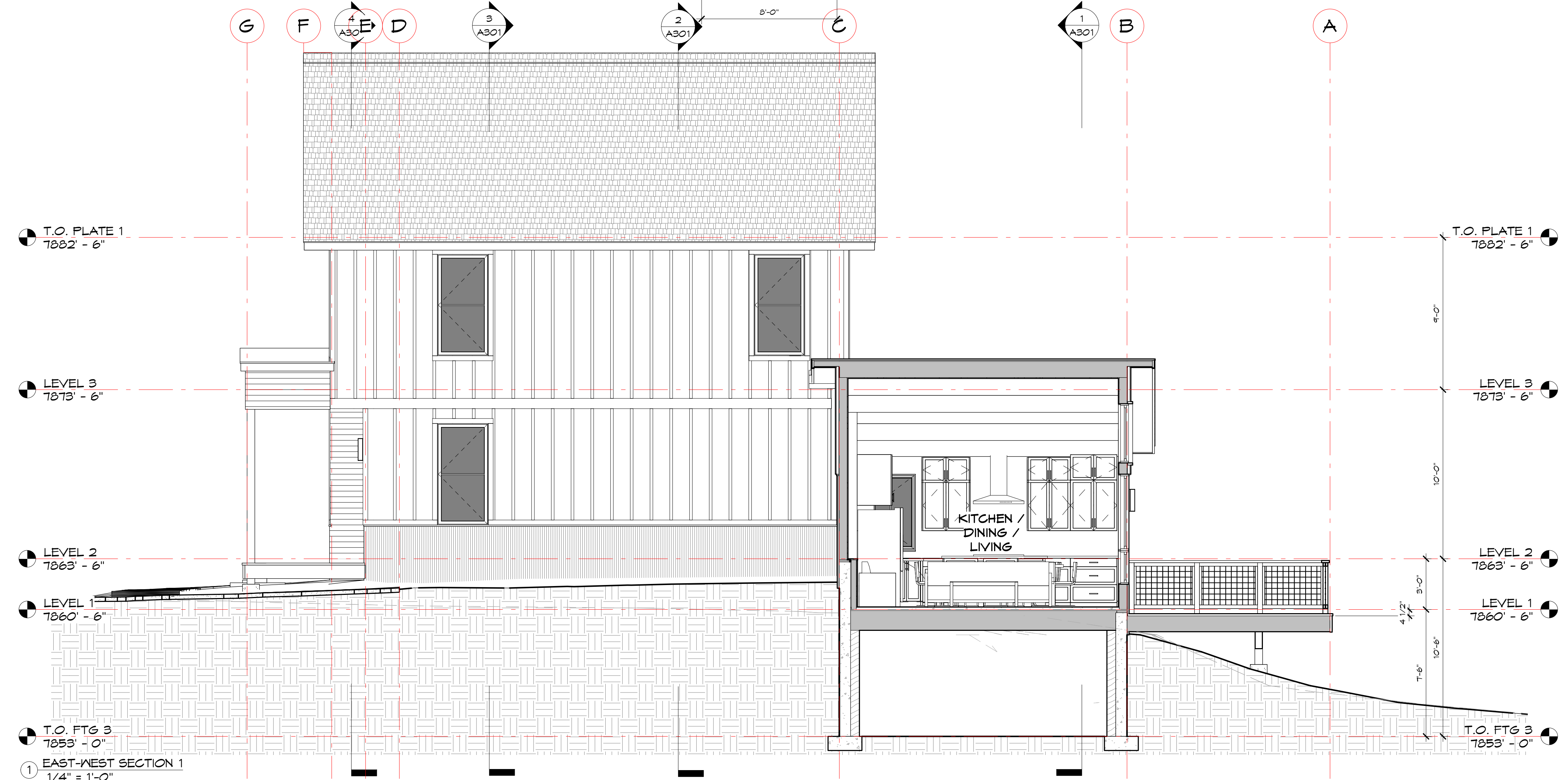
Project Number: 1908
 Designed by: mpp
 Drawn by: mpp
 Checked by: mpp

BUILDING SECTIONS

A301



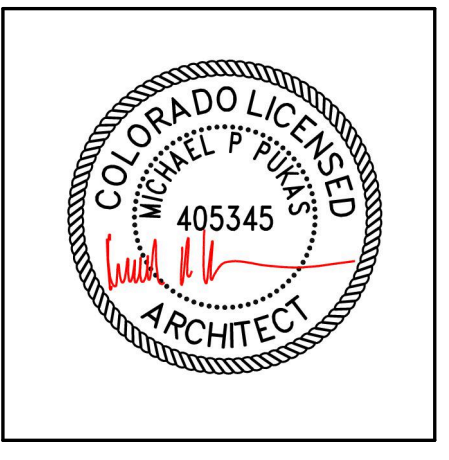
② EAST-WEST SECTION 2
1/4" = 1'-0"



① EAST-WEST SECTION 1
1/4" = 1'-0"



mpp design shop, inc.
PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com



Hutton Residence
Lot 14, Block 2, Booco's 2nd Addition to Minturn
Parcel Number: 2103-263-02-025
482 Eagle River Street
Minturn, CO 81645

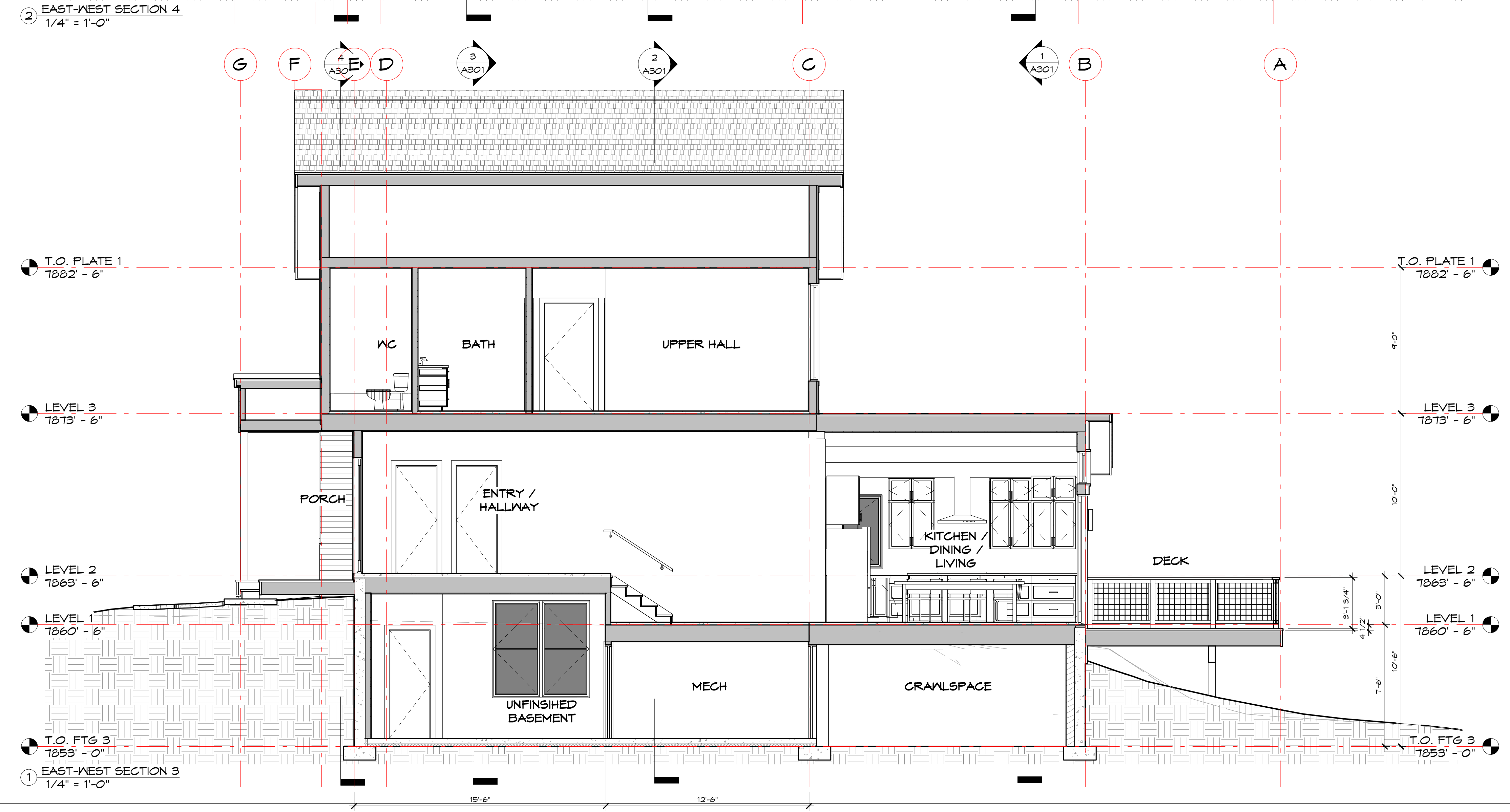
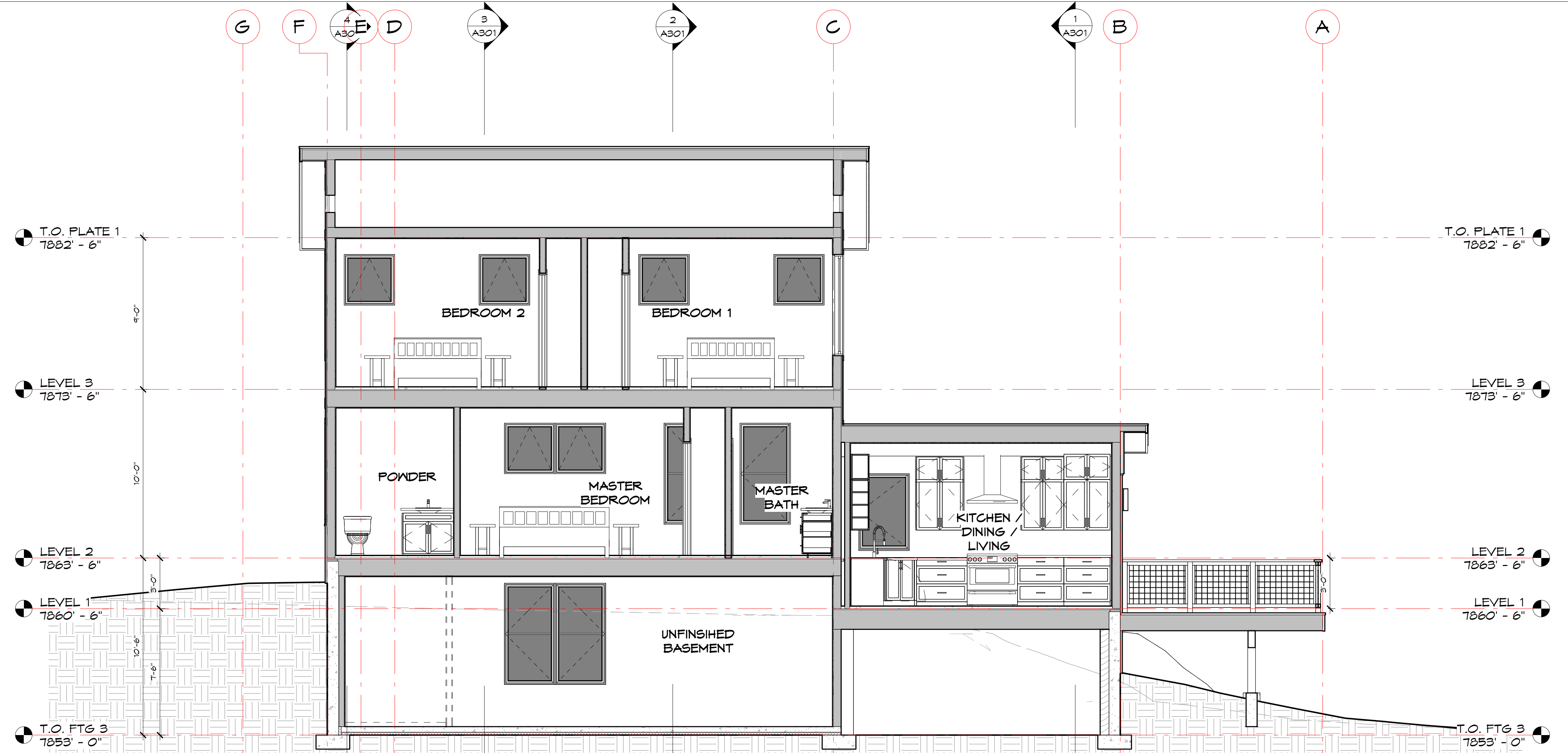
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#	Description	Date
1	DRB Submission	03/01/21
2	Building Permit	04/15/21

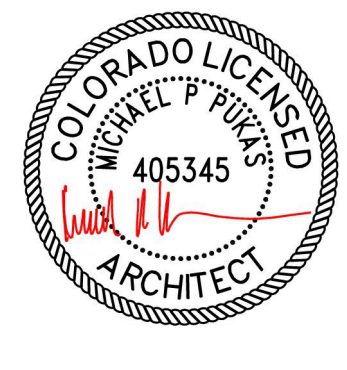
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BUILDING SECTIONS

A302
58



mpp design shop, inc.
 PO Box 288
 Gypsum, CO 81637
 (970) 390-4931
 michael@mppdesignshop.com



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Lot 14, Block 2, Booco's 2nd Addition to Minturn
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 Minturn, CO 81645

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#	Description	Date
1	DRB Submission	03/01/21
2	Building Permit	04/19/21

Project Number: 1908
 Designed by: mpp
 Drawn by: mpp
 Checked by: mpp

BUILDING SECTIONS

A303

59

1
A302

3

2
A302

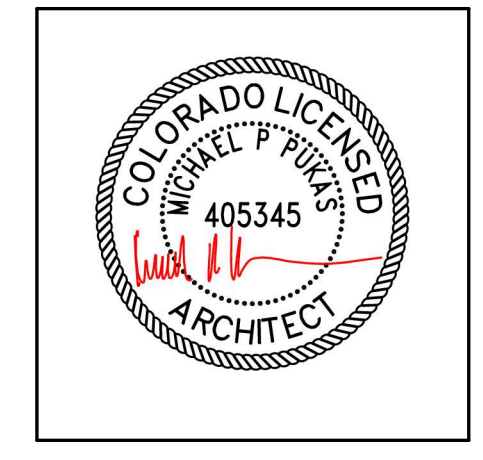
1
A303

4

2
A303

65

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PO Box 288
Gypsum, CO 81637
(970) 390-4931
michael@mppdesignshop.com



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#	Description	Date
2	Building Permit	04/15/21

Project Number: 1908
Designed by: mpp
Drawn by: mpp
Checked by: mpp

BUILDING & WALL SECTIONS

A304

- CONTINUOUS SOFFIT VENT
- TYPICAL TRUSS ROOF CONSTRUCTION:
 - LIFE-TIME WARRANTY ASPHALT SHINGLES
 - PROVIDE ALUMINUM DRIP FLASHING AT ALL SOFFITS AND RAKES
 - UNDERLAYMENT PER ROOFING MANUFACTURER'S SPEC
 - ENGINEERED PRE-FABRICATED TRUSSES (DESIGN BY TRUSS ENGINEER)
 - EXTERIOR SHEATHING RE: STRUCTURAL DWG'S

- ATTIC TRUSSES**
- ATTIC TRUSS NOTES:
- PROVIDE 5/8" GNB AT ALL WALLS, SLOPED AND FLAT CEILING
 - TEXTURE AND PAINT FINISH
 - PROVIDE FLYING SUBFLOOR

- TRUSS PROFILE BY TRUSS ENGINEER
- PROVIDE GABLE END VENTS AT LOWER TRUSS BAYS AT EACH END WALL
- AT NORTH ELEVATION, WHERE ROOF OVERHANG ENCRUCHES INTO 3' SIDE YARD SETBACK, PROVIDE CONTINUOUS FIRE BLOCKING FROM TOP OF WALL TOP PLATE TO UNDERSIDE OF ROOF SHEATHING. NO SOFFIT VENTING

- T.O. PLATE 1**
7882' - 6"
- T R-49 SPRAY-FOAM INSULATION @ R-7/1" @ ATTIC TRUSS BOTTOM CHORD
 - TYPICAL HEADER AT WINDOW DOOR, RE: STRUCTURAL DWG'S FOR SPECS

- TYPICAL EXTERIOR WALL 1:**
- CEMENT BOARD BOARD AND BATTEN EXTERIOR SIDING, PAINT FINISH
 - WATER RESISTIVE EXTERIOR HOUSE WRAP, SUCH AS 15LB FELT, OR EQUIVALENT
 - EXTERIOR WALL SHEATHING, RE: STRUCTURAL DWG'S FOR SPECS
 - 2" R-14 SPRAY FOAM CAVITY INSULATION @ R-7/1"
 - R-19 BATT CAVITY INSULATION
 - 2x6 @ 16" O.C. CAVITY WALL FRAMING
 - 5/8" GNB

- LEVEL 3**
7873' - 6"
- MID-FLOOR FRAMING; RE: STRUCTURAL DWG'S FOR SPECS; R-30 BATT INSULATION

- PROVIDE CONTINUOUS BENT METAL FLASHING @ MATERIAL TRANSITION, OVERLAP ADHESIVE WATERPROOF MEMBRANE
- COR-TEN CORRUGATED SIDING; PROVIDE ADHESIVE SELF-HEALING WATERPROOF MEMBRANE @ WALL SHEATHING
- MID-FLOOR FRAMING; RE: STRUCTURAL DWG'S FOR SPECS

- LEVEL 2**
7863' - 6"
- R-30 BATT CAVITY INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF SUBFLOOR.

- LEVEL 1**
7860' - 6"
- FINISHED GRADING BACKFILL; SLOPE AWAY FROM BUILDING 1:10 MIN

- TYPICAL FOUNDATION WALL @ BASEMENT:**
- DRAINAGE BOARD FROM TOP OF FOOTING TO 6" BELOW FINISHED GRADE
 - WATERPROOF ELASTOMERIC LIQUID APPLIED MEMBRANE
 - POURED-IN-PLACE CONCRETE FOUNDATION WALL, RE: STRUCTURAL DWG'S FOR CONC AND REINFORCING SPECS
 - AIR SPACE
 - 2x4 @ 16" O.C. FURRED WALL
 - R-19 CAVITY INSULATION
 - CONTINUOUS VAPOR BARRIER
 - FREE DRAINING BACKFILL
 - R-10 2" RIGID INSULATION @ SLAB PERIMETER

- T.O. FTG 3**
7853' - 0"
- POURED-IN-PLACE CONCRETE FOOTING; RE: STRUCTURAL DWG'S FOR SPECS
 - CONCRETE SLAB ON GRADE; RE: STRUCTURAL DWG'S FOR SPECS; R-10 2" RIGID INSULATION @ SLAB

- POURED-IN-PLACE CONCRETE FOOTING; RE: STRUCTURAL DWG'S FOR SPECS
- CONCRETE SLAB ON GRADE; RE: STRUCTURAL DWG'S FOR SPECS; R-10 2" RIGID INSULATION @ SLAB

1

- TYPICAL FRAMED ROOF CONSTRUCTION:**
- LIFE-TIME WARRANTY ASPHALT SHINGLES
 - PROVIDE ALUMINUM DRIP FLASHING AT ALL SOFFITS AND RAKES
 - UNDERLAYMENT PER ROOFING MANUFACTURER'S SPEC; DOUBLE LAYER BITUMINOUS ADHESIVE SELF-SEALING WATER PROOF MEMBRANE, SUCH AS "GRACE ICE AND WATER SHIELD", OR EQ.
 - EXTERIOR SHEATHING RE: STRUCTURAL DWG'S
 - ROOF RAFTERS; RE: STRUCTURAL DWG'S FOR SPECS
 - 4" R-20 SPRAY FOAM CAVITY INSULATION @ R-7/1" @ UNDERSIDE OF SHEATHING
 - R-25 UNFACED BATT CAVITY INSULATION
 - 5/8" GNB

- LEVEL 3**
7873' - 6"
- 2x6 WOOD FASCIA W/ CONTINUOUS 2x4 SUB-FASCIA
 - 2x4 CANTILVERED ROOF OVERHANG FRAMING
 - CEMENT BOARD SOFFIT, PAINTED
 - SLOPED TOP PLATE @ EXTERIOR WALL
 - WINDOW CASING: 2x4 ON-END, ALL 4 SIDES, PROVIDE CONTINUOUS BENT METAL FLASHING AT HEAD, OVERLAP WALL MEMBRANE

- TYPICAL EXTERIOR WALL 2:**
- COMPOSITE CLADDING 1x4 W/ 1/2" SPACE, FACTORY FINISH
 - 2X2 FURRING STRIPS, VERTICAL @ 16" O.C.
 - BITUMINOUS SELF-HEALING WATER PROOF MEMBRANE, UV-RESISTANT
 - EXTERIOR WALL SHEATHING; RE: STRUCTURAL DWG'S FOR SPECS
 - 2" R-14 SPRAY FOAM CAVITY INSULATION @ R-7/1"
 - R-19 BATT CAVITY INSULATION
 - 2x6 @ 16" O.C. CAVITY WALL FRAMING
 - 5/8" GNB

- COR-TEN CORRUGATED SIDING; PROVIDE ADHESIVE SELF-HEALING WATERPROOF MEMBRANE @ WALL SHEATHING

- LEVEL 2**
7863' - 6"
- MID-FLOOR FRAMING; RE: STRUCTURAL DWG'S FOR SPECS

- FINISHED GRADING BACKFILL; SLOPE AWAY FROM BUILDING 1:10 MIN.

- LEVEL 1**
7860' - 6"
- R-30 BATT CAVITY INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF SUBFLOOR.

- TYPICAL FOUNDATION WALL @ FOUNDATION:**
- DRAINAGE BOARD FROM TOP OF FOOTING TO 6" BELOW FINISHED GRADE
 - WATERPROOF ELASTOMERIC LIQUID APPLIED MEMBRANE
 - POURED-IN-PLACE CONCRETE FOUNDATION WALL, RE: STRUCTURAL DWG'S FOR CONC AND REINFORCING SPECS
 - R-19 CONTINUOUS BLANKET INSULATION
 - FREE DRAINING BACKFILL
 - COARSE GRAVEL FILL (NO FINES)
 - PERFORATED DRAIN PIPE

- T.O. FTG 3**
7853' - 0"
- POURED-IN-PLACE CONCRETE FOOTING; RE: STRUCTURAL DWG'S FOR SPECS

- POURED-IN-PLACE CONCRETE FOOTING; RE: STRUCTURAL DWG'S FOR SPECS

2 WALL SECTION 1
1/2" = 1'-0"

1 WALL SECTION 2
1/2" = 1'-0"



ABBREVIATION LIST

Table listing abbreviations and their full names, such as A.B. ANCHOR BOLT, A.F.F. ABOVE FINISHED FLOOR, etc.

HUTTON RESIDENCE, LOT 14, BLOCK 2, BOOCO'S 2ND ADDITION, 482 EAGLE RIVER STREET, MINTURN, EAGLE COUNTY, COLORADO 81645

DESIGN CRITERIA table with columns for load type and value, including Roof Snow Load, Roof Live Load, Floor Live Load, etc.

FOUNDATION DESIGN

- Foundation design is based on an assumed soils bearing pressure capacity of 1500 psf. All footings should bear on undisturbed natural soils or a minimum 3 feet of aggregate base course designed for an allowable bearing pressure of 2000 psf.

REINFORCED CONCRETE

- Concrete design is based on the 'Building Code Requirements for Reinforced Concrete' (ACI 318) as adopted by Chapter 19 of the 2003 IBC.

REINFORCING STEEL

- Detailing, fabrication and placement of reinforcing steel shall be in accordance with the ACI Manual of Concrete Practice.

STRUCTURAL WOOD FRAMING

- Except where noted otherwise, all 2" nominal lumber, except studs, shall be Douglas Fir-Larch #2 and better, and all solid timber beams and posts 3" nominal and wider shall be Douglas Fir-Larch #2.

STRUCTURAL STEEL

- Structural steel shall be detailed, fabricated and erected in accordance with the most current editions of AISC Specifications and Code of Standard Practice.

GENERAL REQUIREMENTS

- Structural erection and bracing: The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced.

Ewing Engineering, Inc. structural engineering

P.O. BOX 2526 VAIL, COLORADO 81658 PHONE: (970) 949-5153 FAX: (970) 949-5153

HUTTON RESIDENCE LOT 14, BLOCK 2, BOOCO'S 2nd ADDITION 482 EAGLE RIVER STREET MINTURN, COLORADO 81645

ISSUED

PRELIM.: 9-14-20 REV'D.: 11-23-20 REVISED: 3-31-21 PERMIT: 4-15-21

SHEET

S1



FOUNDATION NOTES

- ELEVATIONS OF CONCRETE FOUNDATION ELEMENTS INDICATED ON PLAN THUS:
T.O.W.=TOP OF CONCRETE WALL T.O.F.=TOP OF CONCRETE FOOTING
THESE ELEVATIONS RELATE TO ACTUAL SITE ELEVATIONS.
- TOP OF FOOTING ELEVATIONS ARE BASED ON FINDING ADEQUATE SOIL BEARING
CONDITIONS AT THAT DEPTH. CONTACT ENGINEER IF OVEREXCAVATION IS REQUIR
- STEPS IN TOP OF CONCRETE WALL INDICATED:
- CONTINUOUS CONCRETE FOOTINGS ARE CENTERED BENEATH CONCRETE FOUNDATI
WALLS WHERE POSSIBLE AND/OR UNLESS NOTED OTHERWISE.
- CONCRETE FOUNDATION WALLS ARE 8" THICK AND CONTINUOUS FOOTINGS ARE 8
THICK x 16" WIDE UNLESS NOTED OTHERWISE.
- PERIMETER DRAIN PER IBC R405.1
- WATERPROOF FOUNDATION PER IBC R406.2
- INSULATE THE EXTERIOR OF FOUNDATION W/ 2" EPS (RECOMENDED-NOT REQ'D.)
- DO NOT SCALE DRAWINGS.

FOUNDATION REINFORCEMENT:

FOOTINGS: # 5 DOWELS MIN. 30" BENT @ 6" SPACED @ 24" o.c.
(2) #5 REBAR HORIZ. IN 16" FOOTINGS & THICKENED SLABS
(3) #5 REBAR HORIZ. IN 24" FOOTINGS

4' WALLS: # 5 VERTICAL (FULL HT.) @ 48" o.c.
TWO #5 REBAR HORIZONTAL T. & B.

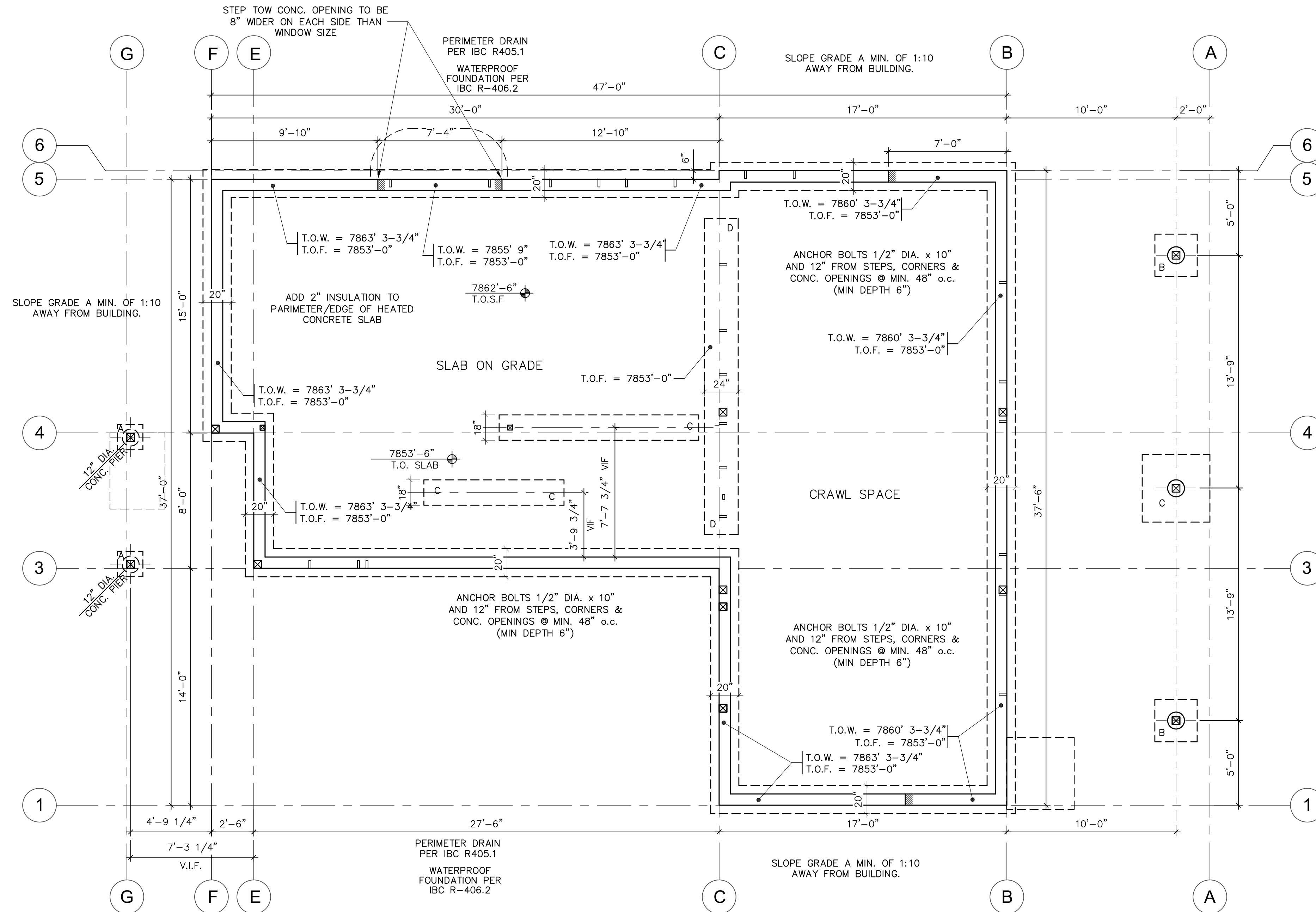
WALLS OVER 4' TALL: # 5 VERTICAL (FULL HT.) @ 24" o.c.
TWO #5 REBAR HORIZONTAL T. & B. AND @ 24" o.c.

ROUND CONCRETE PIERS: LESS THAN 4 FT. TALL: (3) #4 VERTICAL (FULL HT.)
AND ONE #3 REBAR HOOP 12" DOWN FROM TOP
4 FT. TO 8 FT. TALL: (3) #5 VERTICAL (FULL HT.)
AND ONE #3 REBAR HOOP 12" DOWN FROM TOP AND @ 24" o.c.

SQUARE CONCRETE PIERS: LESS THAN 5 FT. TALL: (4) #4 VERTICAL (FULL HT.) ONE IN EACH CO
AND ONE #3 REBAR HOOP 12" DOWN FROM TOP.
5 FT. TO 8FT. TALL: (4) #5 VERTICAL (FULL HT.) ONE IN EACH COR
AND #3 REBAR SQ. SPIRAL, W/ 12" PITCH, FULL HEIGHT.

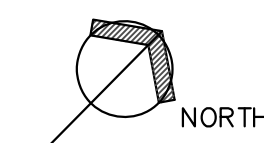
NOTE: #4 & #5 REBAR IS ASTM 40 GRADE
W/ 24" NOMINAL (22-5/8" MIN.) OVERLAP ON #5 REBAR SPLICES
18" MIN. OVERLAP ON #4 REBAR SPLICES

FOOTING SCHEDULE		
TYPE	SIZE	REINFORCING
A	18" x 18" x 8"	(2)-#5 REBAR E.W.
B	4'-0" x 4'-0" x 12"	(6)-#5 REBAR E.W.
C	18"x 8" THICKENED SLABS	(2)-#5 REBAR LONGITUDINAL
D	24"x 10" FTG.	(3)-#5 REBAR LONGITUDINAL



FOUNDATION

SCALE: 1/4" = 1'-0"

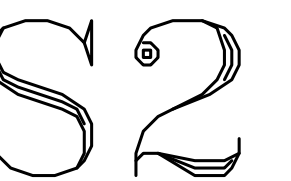


Ewing Engineering, inc.
structural engineering
P.O. BOX 2526
VAIL, COLORADO 81658
PHONE: (970) 949-5153
FAX: (970) 949-5153

HUTTON RESIDENCE
LOT 14, BLOCK 2, BOOCO'S 2nd ADDITION
482 EAGLE RIVER STREET
MINTURN, COLORADO 81645

ISSUED
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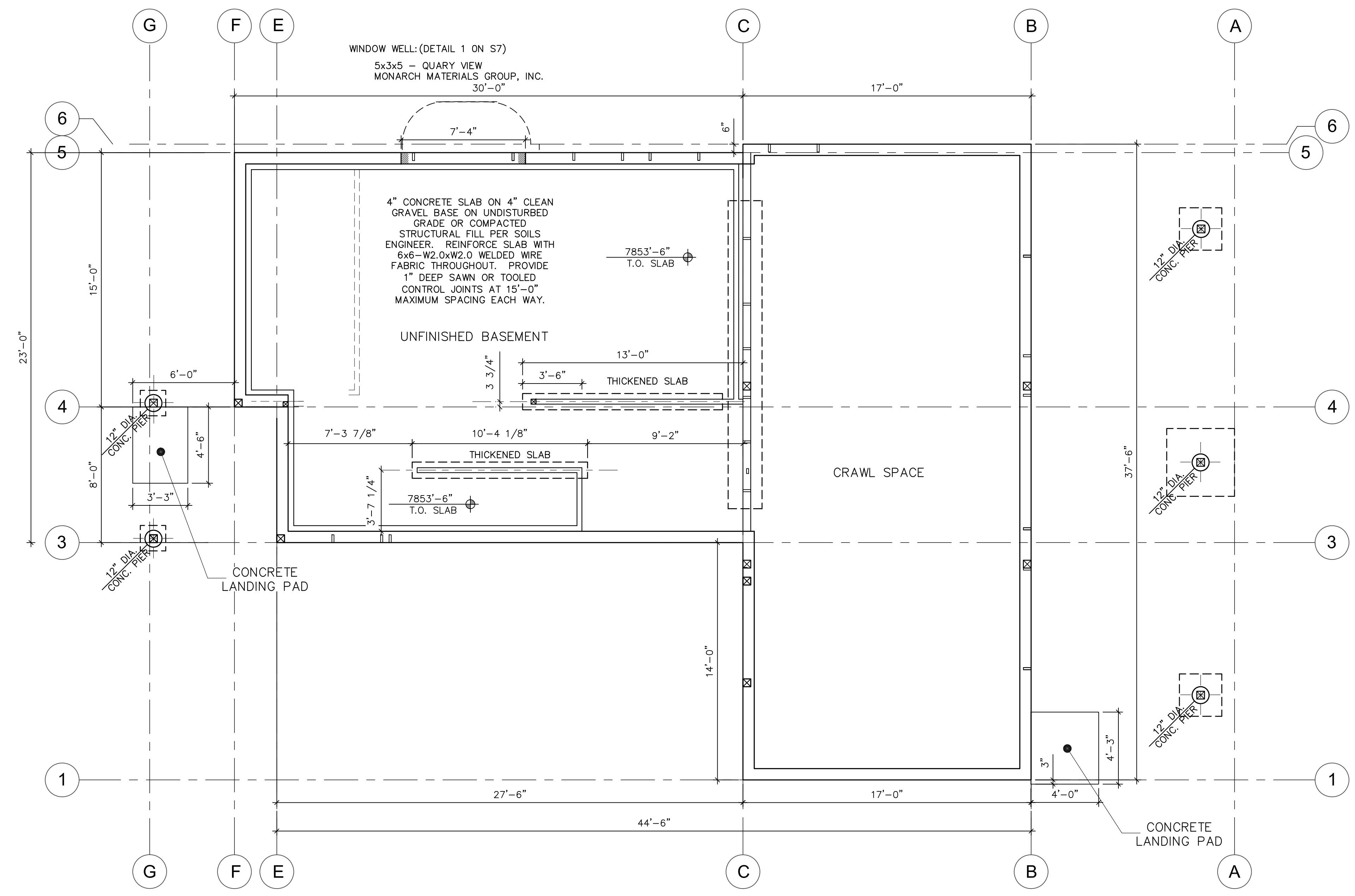
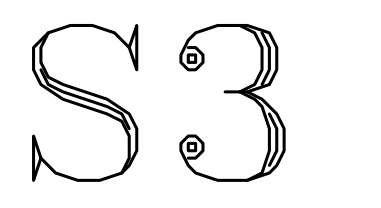


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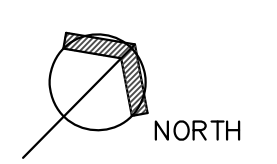
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SHEET



LOWER LEVEL
 SCALE: 1/4" = 1'-0"



- PLAN NOTES:**
- INTERIOR WOOD STUD BEARING WALLS ARE INDICATED ON PLAN THUS: [Symbol]
 - POSTS BELOW ARE INDICATED: [Symbol] NON-CONTINUOUS POSTS FROM ABOVE ARE INDICATED: [Symbol] SINGLE STUD TRIMMERS THAT DO NOT REQUIRE BLOCKING BELOW ARE INDICATED: [Symbol]
 - FLOOR SHEATHING IS 3/4" TONGUE AND GROOVE APA STURDIFLOOR, EXP.1, SPAN RATING 24 O.C.; OSB or PLYWOOD.
 - (XXX'-XX") INDICATES TOP OF STEEL BEAM ELEVATION. WOOD BEAMS, EXCEPT HEADERS, ARE FLUSH WITH FLOOR JOISTS UNLESS NOTED (DROPPED).
 - "O" INDICATES CONNECTION TYPE
 - ALL FLOOR JOISTS ARE 14" TJ210 @ 16" O.C., TYPICAL, UNLESS NOTED OTHERWISE.
 - NUMBER OF STUDS INDICATED ON PLAN FOR BUILT UP POSTS ARE TRIMMERS ONLY AND DO NOT INCLUDE KING STUDS.
 - PROVIDE SOLID BLOCKING OVER SUPPORT(S) & FOR SPANS OVER 8'-0".
 - ROOF SHEATHING IS 3/4" APA RATED SHEATHING, EXP.1, SPAN RATING 48/24.
 - ROOF BEAMS, EXCEPT HEADERS, ARE FLUSH FRAMED UNLESS NOTED AS (DROPPED).
 - ALL HEADERS ARE (3): 2x10 DF UNLESS NOTED OTHERWISE.



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HUTTON RESIDENCE
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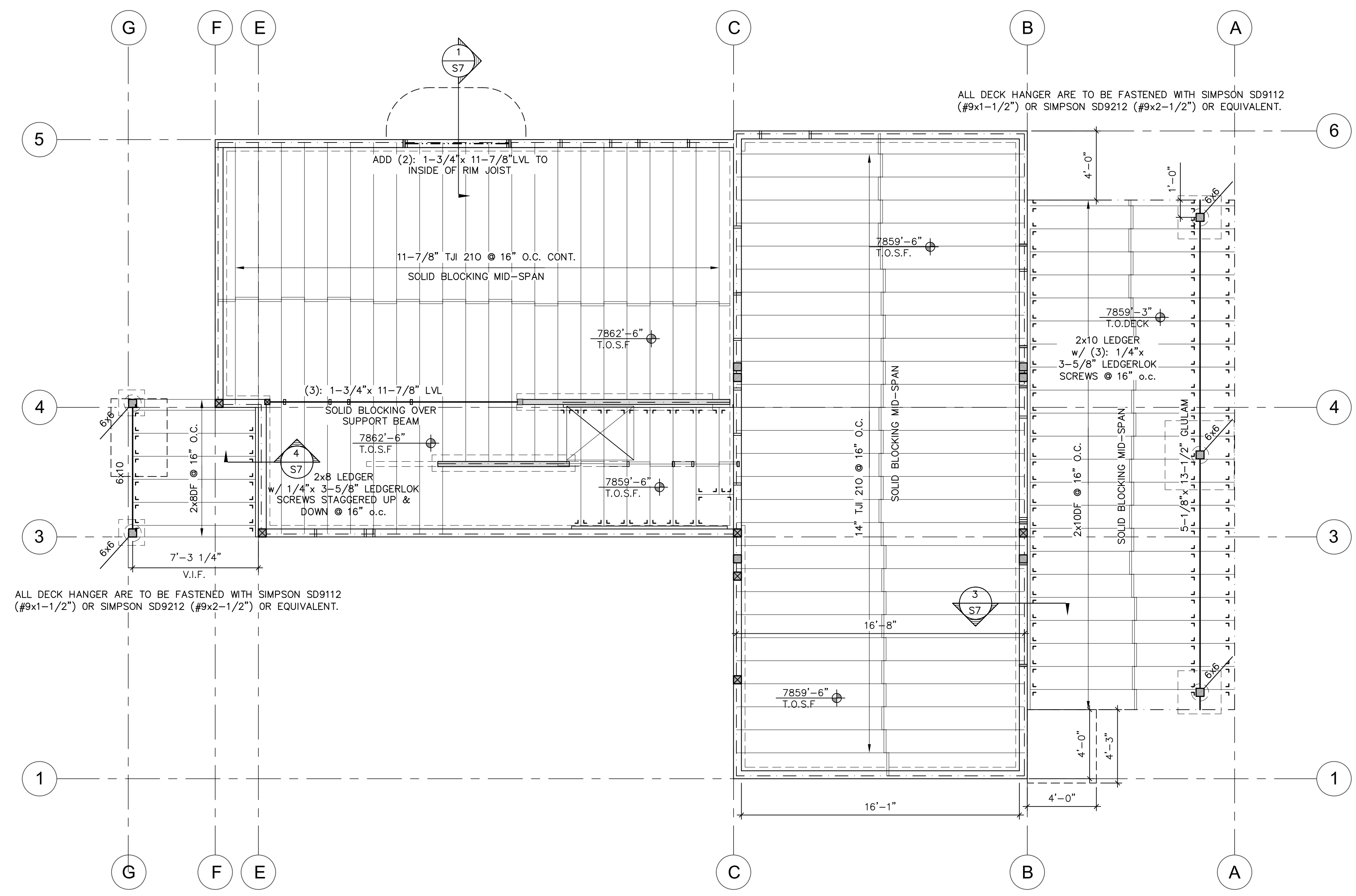
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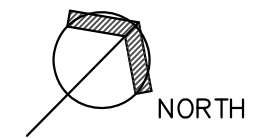
CONNECTION SCHEDULE	LOCATION/ USAGE
(A) SIMPSON H2.5A (OR EQUIV.)	STUD TO PLATE/RAFTER
(B) SIMPSON H1 OR EQUIV.	2X10 JOIST/BEAM HOLD DOWN
(C) SIMPSON ITS2.06/9.5	9/1/2" TJI210 (TOP MOUNT)
(D) SIMPSON LUS210Z	JOIST/LEDGER HANGER (USE SDS SCREWS)
(E) SIMPSON LUSC210Z	JOIST/LEDGER HANGER (CONCEALED)
(F) SIMPSON ABU66RZ	6x6RS STAND-OFF POST BASE
(G) SIMPSON CPTZ86Z	HIDDEN POST BASE
(H) SIMPSON EPC6Z	6X6 POST CAP (END) 6x6 RS
(I) SIMPSON PC6Z	6X6 POST CAP (MID-SPAN) 6x6 RS
(J) SIMPSON AC6RZ	6X6 POST CAP 6x6 RS

FRAMING NOTES:

- EXTERIOR WALL TO 2x6 @ 16" o.c.; INTERIOR WALLS MAY BE 2x4 @ 16" o.c., EXCEPT PLUMBING WALLS (VERIFY w/ PLUMBING CONTRACTOR).
- POSTS BELOW ARE INDICATED: NON-CONTINUOUS POSTS FROM ABOVE ARE INDICATED: SINGLE STUD TRIMMERS THAT DO NOT REQUIRE BLOCKING BELOW ARE INDICATED:
- FLOOR SHEATHING IS 3/4" TONGUE AND GROOVE APA STURDIFLOOR, EXP.1, SPAN RATING 24 O.C. OSB OR PLYWOOD.
- WOOD BEAMS, EXCEPT HEADERS, ARE FLUSH WITH FLOOR JOISTS UNLESS NOTED (DROPPED).
- "O" INDICATES CONNECTION TYPE.
- ALL FLOOR JOISTS ARE 14" TJI 210 @ 16" O.C., TYPICAL, UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BLOCKING OVER SUPPORT(S) & FOR SPANS OVER 8'-0".
- ROOF SHEATHING IS 5/8" APA RATED SHEATHING, EXP.1, SPAN RATING 48/24.
- ROOF BEAMS, EXCEPT HEADERS, ARE FLUSH FRAMED UNLESS NOTED AS (DROPPED).
- ALL RAFTERS ARE ON BEVELED PLATES, UNLESS NOTED OTHERWISE.
- ALL HEADERS ARE (3): 2x10 DF, UNLESS NOTED OTHERWISE.



MAIN LEVEL
 SCALE: 1/4" = 1'-0"



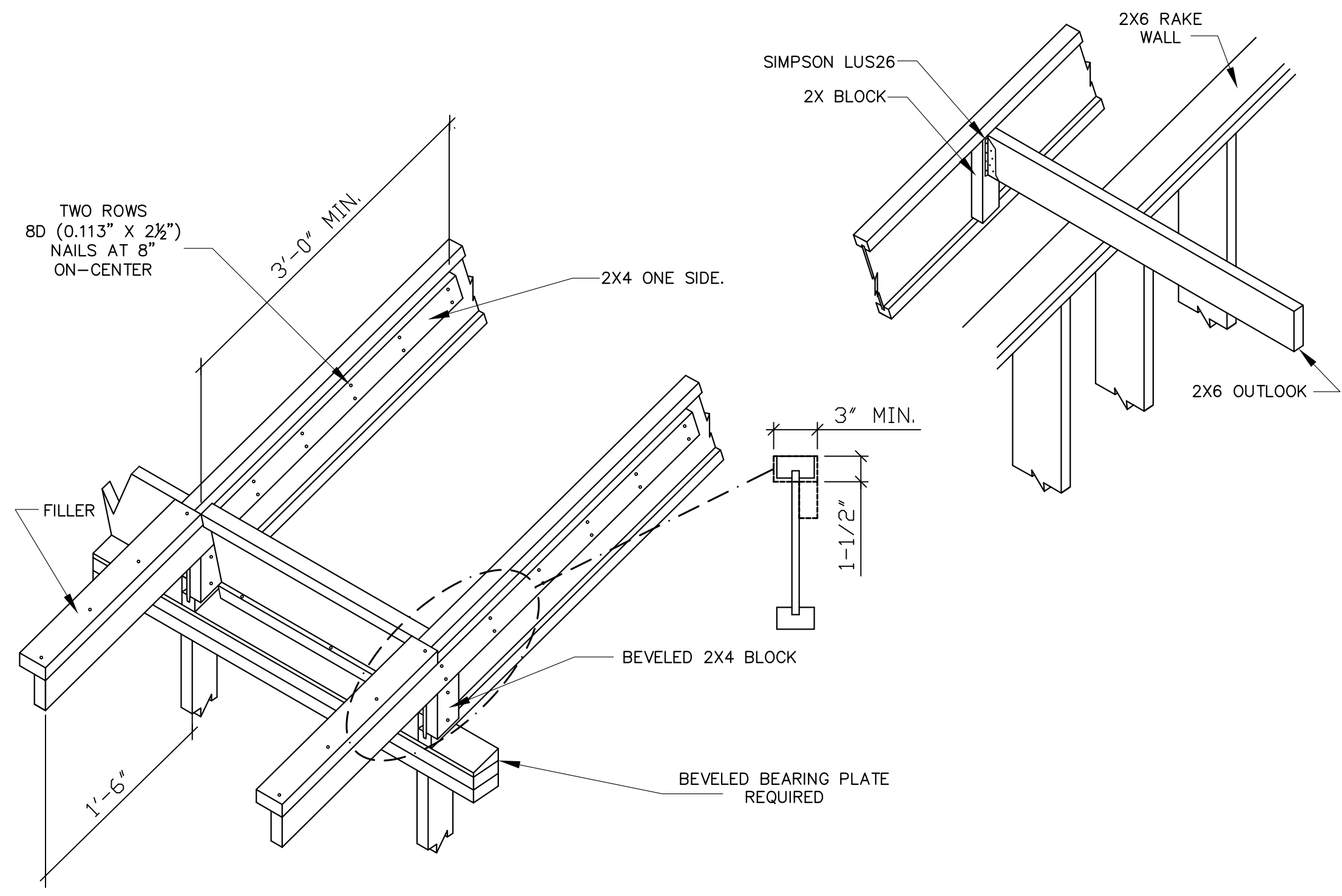


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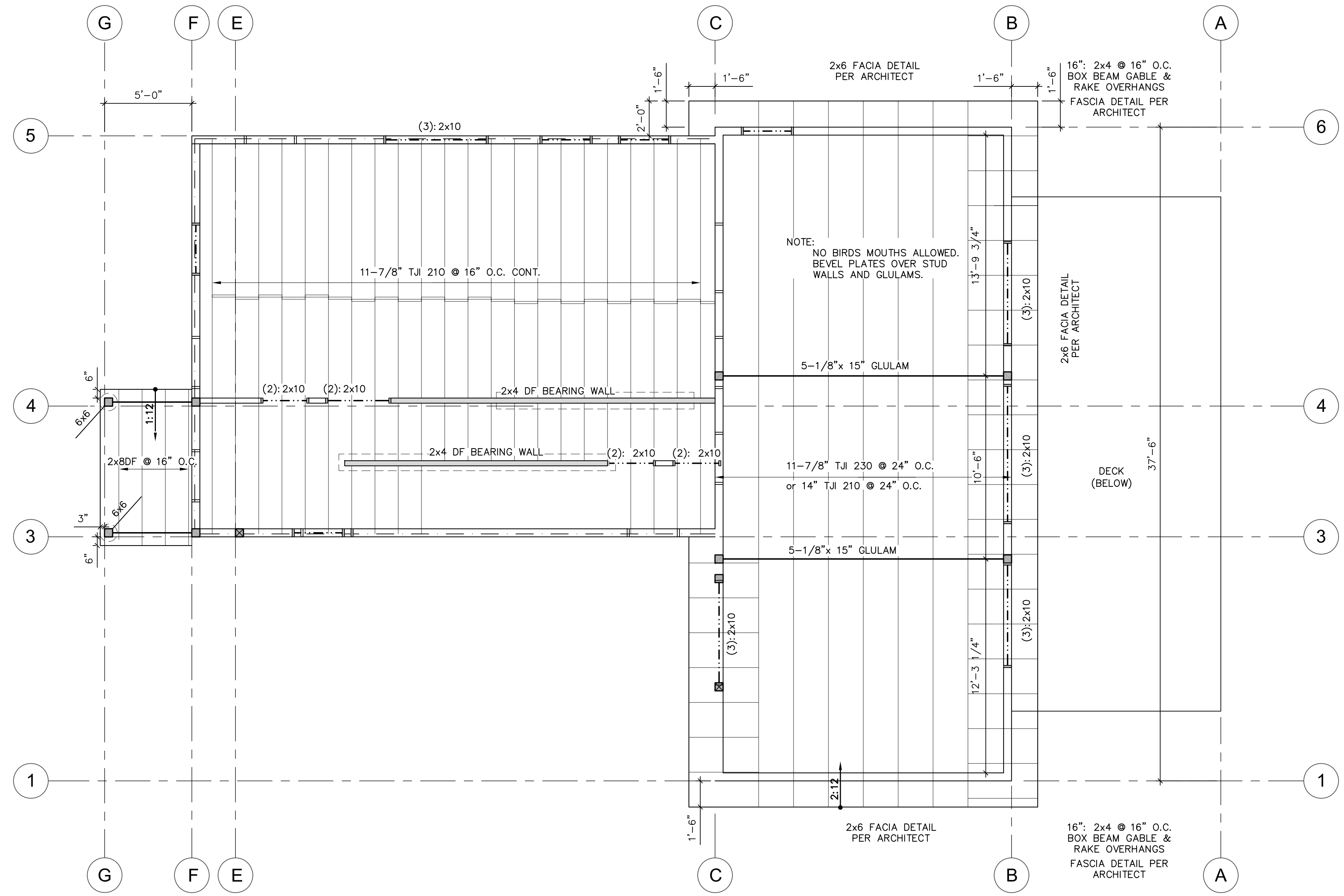
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SHEET
55



ROOF EAVE(S) DETAIL – TYP
 SCALE: 3/4" = 1'-0"



UPPER LEVEL
 SCALE: 1/4" = 1'-0"
 NORTH

- FRAMING NOTES:**
- EXTERIOR WALL TO 2x6 @ 16" o.c.; INTERIOR WALLS MAY BE 2x4 @ 16" o.c., EXCEPT PLUMBING WALLS (VERIFY w/ PLUMBING CONTRACTOR).
 - POSTS BELOW ARE INDICATED: NON-CONTINUOUS POSTS FROM ABOVE ARE INDICATED: SINGLE STUD TRIMMERS THAT DO NOT REQUIRE BLOCKING BELOW ARE INDICATED:
 - FLOOR SHEATHING IS 3/4" TONGUE AND GROOVE APA STURDIFLOOR, EXP.1, SPAN RATING 24 O.C. OSB OR PLYWOOD.
 - WOOD BEAMS, EXCEPT HEADERS, ARE FLUSH WITH FLOOR JOISTS UNLESS NOTED (DROPPED).
 - "○" INDICATES CONNECTION TYPE.
 - ALL FLOOR JOISTS ARE 14" TJI 210 @ 16" O.C., TYPICAL, UNLESS NOTED OTHERWISE.
 - PROVIDE SOLID BLOCKING OVER SUPPORT(S) & FOR SPANS OVER 8'-0".
 - ROOF SHEATHING IS 5/8" APA RATED SHEATHING, EXP.1, SPAN RATING 48/24.
 - ROOF BEAMS, EXCEPT HEADERS, ARE FLUSH FRAMED UNLESS NOTED AS (DROPPED).
 - ALL RAFTERS ARE ON BEVELED PLATES, UNLESS NOTED OTHERWISE.
 - ALL HEADERS ARE (3): 2x10 DF, UNLESS NOTED OTHERWISE.

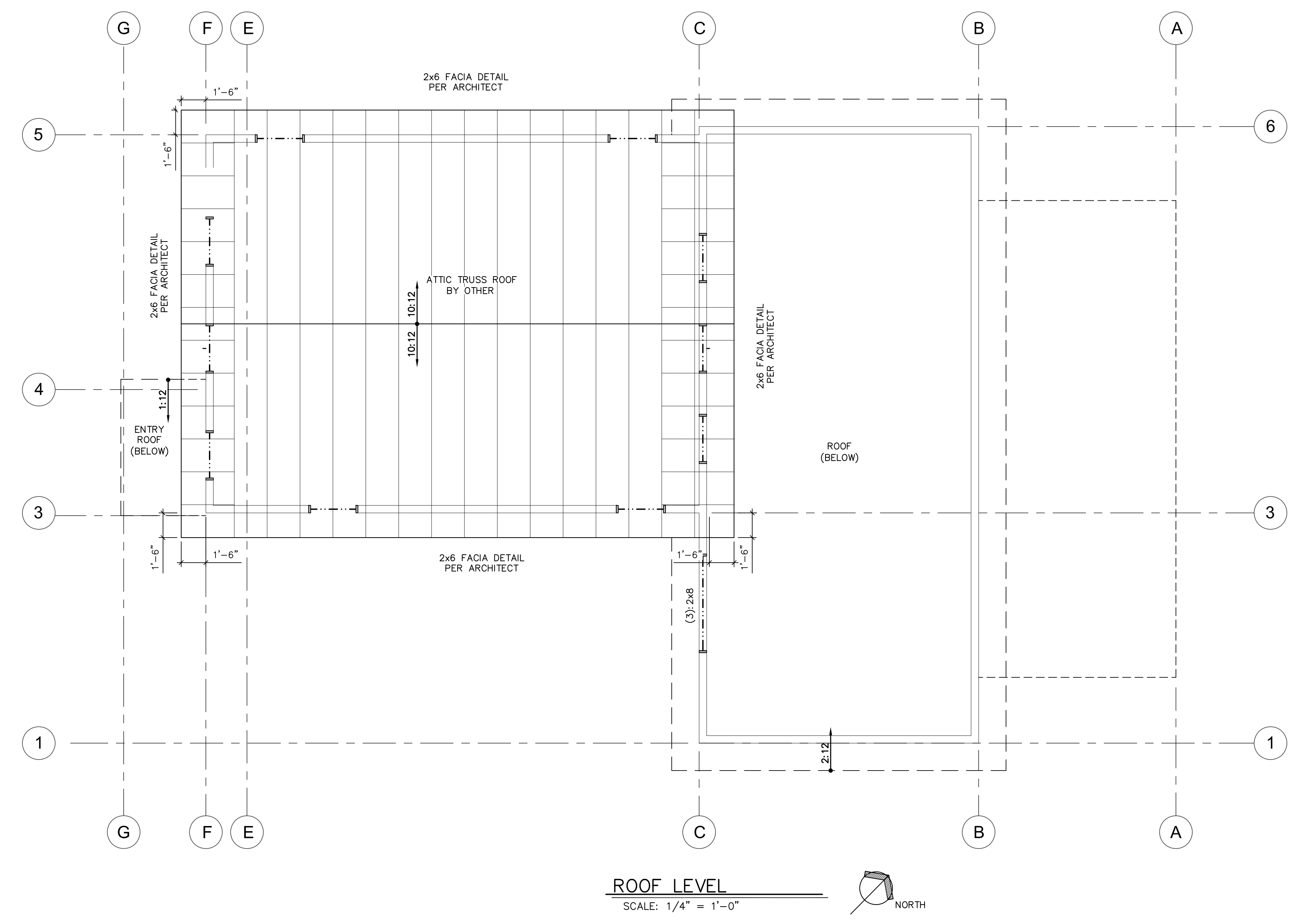


Ewing Engineering, inc.
 structural engineering
 P.O. BOX 2526
 VAIL, COLORADO 81658
 PHONE: (970) 949-5153
 FAX: (970) 949-5153

HUTTON RESIDENCE
LOT 14, BLOCK 2, BOOCO'S 2nd ADDITION
482 EAGLE RIVER STREET
MINTURN, COLORADO 81645

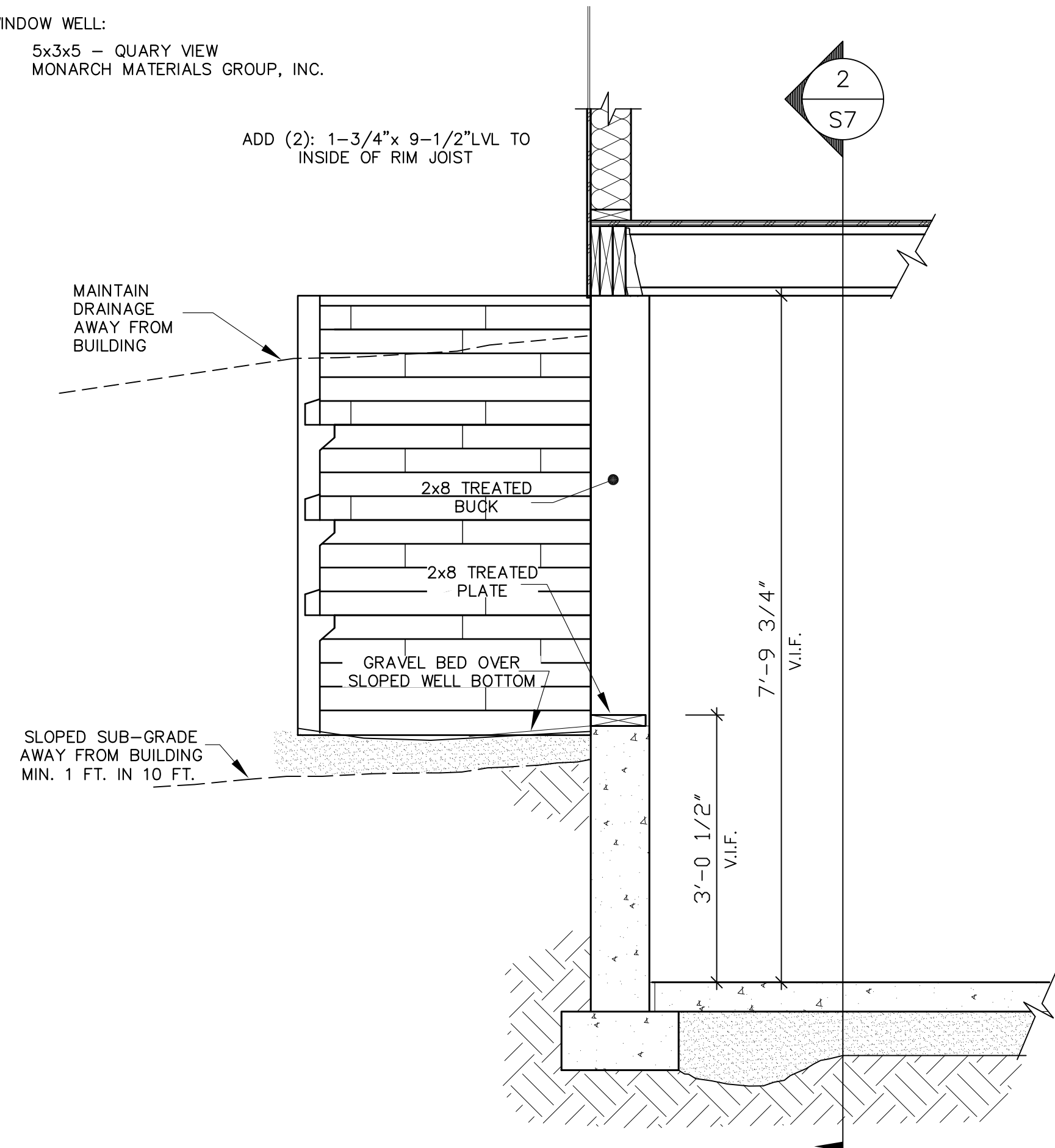
ISSUED
 PRELIM.: 9-14-20
 REV'D.: 11-23-20
 REVISED: 3-31-21
 PERMIT: 4-15-21

SHEET

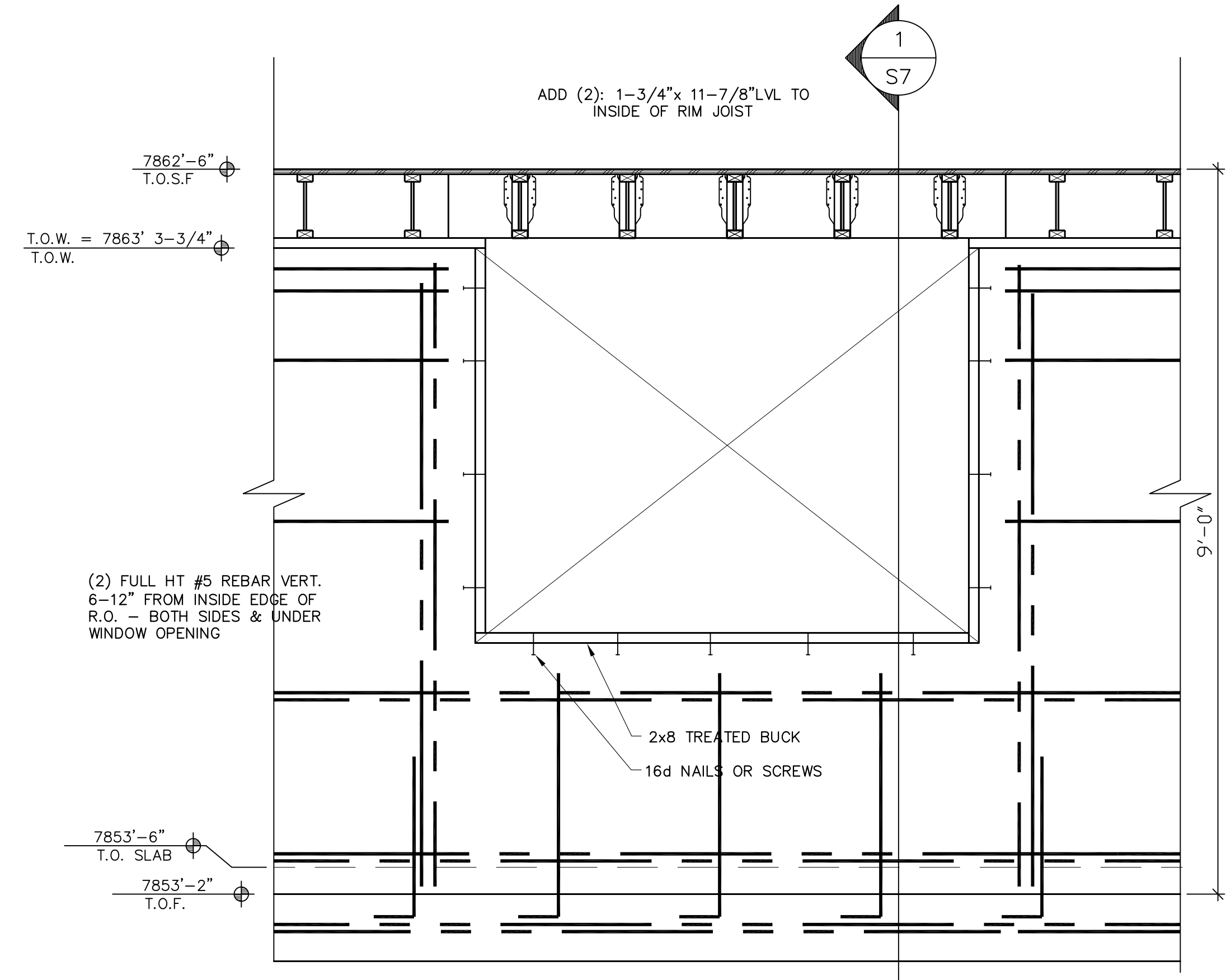


- FRAMING NOTES:**
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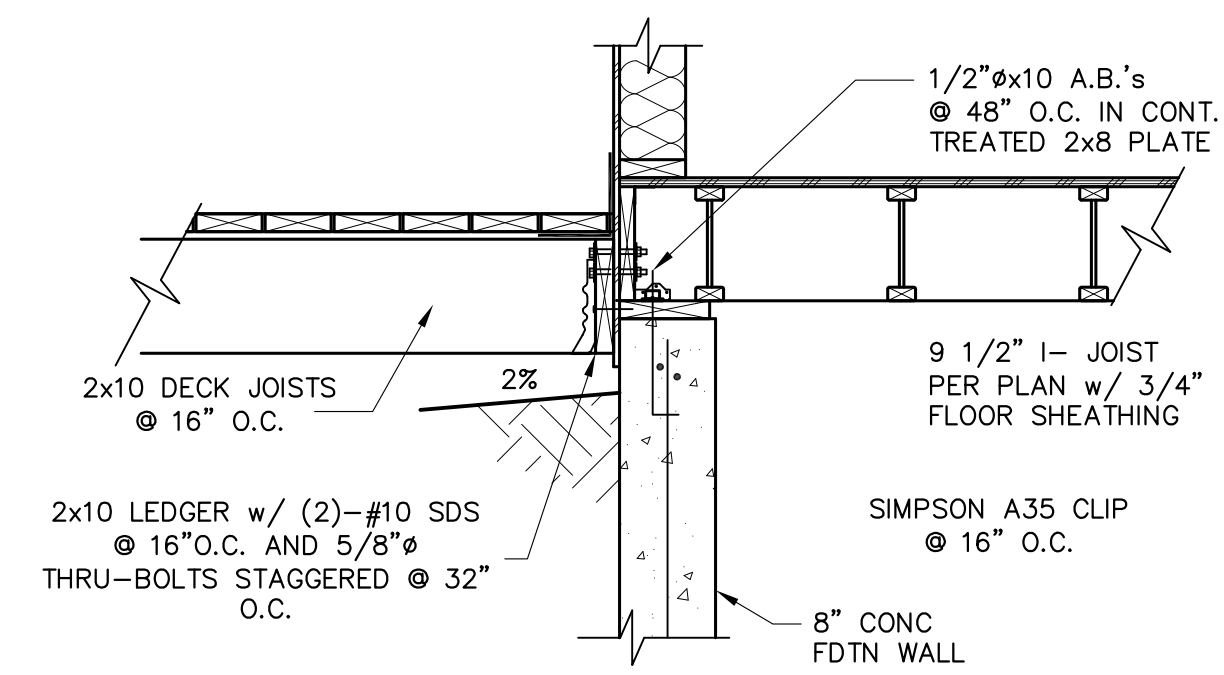
WINDOW WELL:
5x3x5 - QUARY VIEW
MONARCH MATERIALS GROUP, INC.



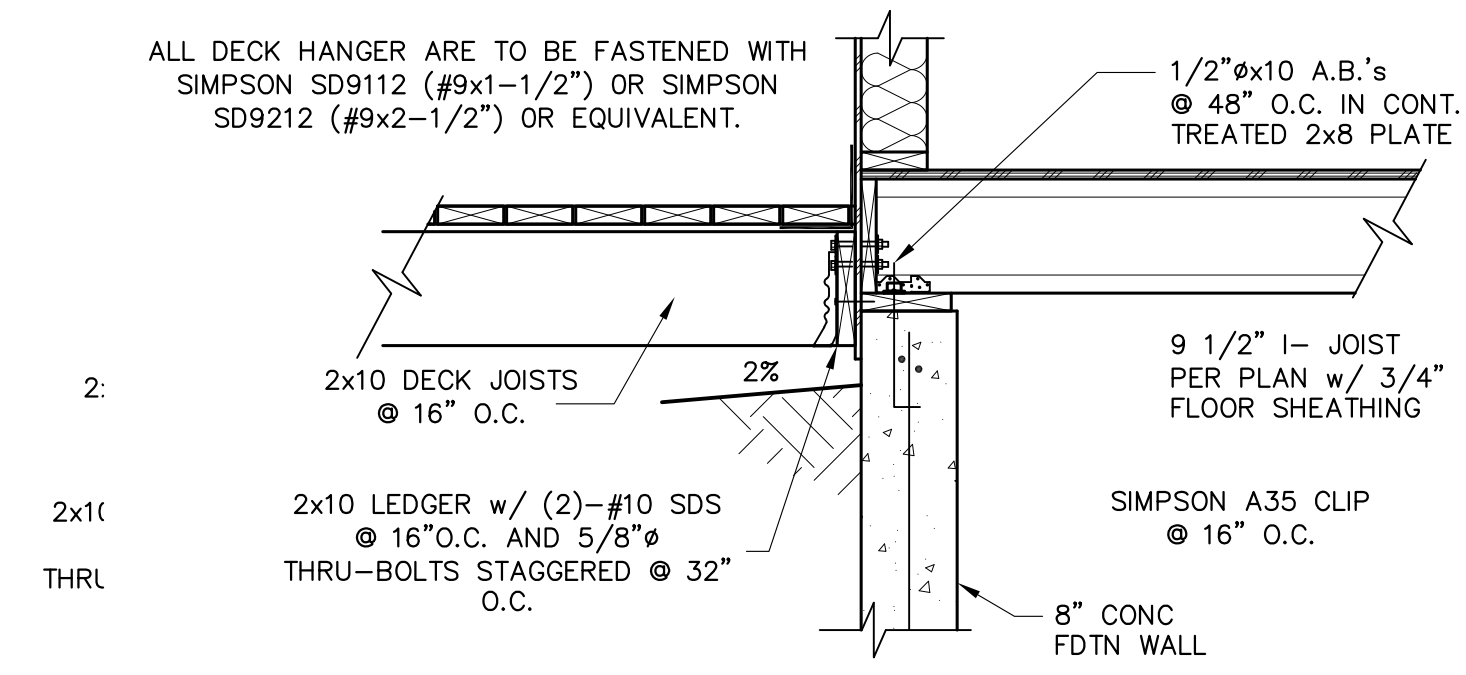
1 WINDOW WELL DETAIL
S7 SCALE: 3/4" = 1'-0"



2 KNOCK OUT DETAIL - 6' OPENING
S7 SCALE: 3/4" = 1'-0"



4 DECK DETAIL
S7 SCALE: 3/4" = 1'-0"



3 DECK DETAIL
S7 SCALE: 3/4" = 1'-0"

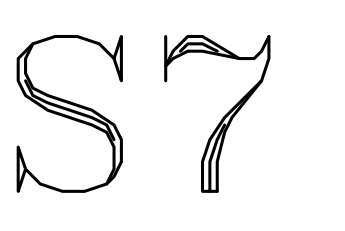


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HUTTON RESIDENCE
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482 EAGLE RIVER STREET
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ISSUED
PRELIM.: 9-14-20
REV'D.: 11-23-20
REVISED: 3-31-21
PERMIT: 4-15-21

SHEET



Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Elliot Hovey
Tom Priest
Christopher Manning
Jena Skinner

Design Review Board Hearing

Faircloth Residence - Final Plan Review for Garage Addition 261 Main Street

Hearing Date:	May 12, 2021
File Name and Process:	Faircloth Garage Addition
Owner/Applicant:	Heather Faircloth
Representative:	Tom Warzecha
Legal Description:	BOOCO Subdivision, Block F, Lot 12 and Part of Lot 13
Address:	261 Main Street
Zoning:	Old Town Mixed-Use (Old Town Character Area)
Staff Member:	Scot Hunn, Planning Director Madison Harris, Planner I
Recommendation:	Approval, with Conditions

Staff Report

I. Summary of Request:

The Applicant, Heather Faircloth, requests Final Plan review of a new, garage addition with a breezeway connecting it to the main structure, and the expansion of the dining room located at 261 Main Street in the Old Town Mixed Use Zone District. Although the DRB has not reviewed any conceptual plans, the Applicants have been proactive in meeting with Town staff prior to submitting plans and have provided a relatively complete and thorough set of site, landscaping, and architectural plans allowing staff to conduct a final plan level review of the project.

The design shows a two-car garage with a maximum building height of approximately 11 feet above existing grade. The garage will be constructed over and incorporating the existing concrete retaining wall located at the rear of the property. The space below the proposed garage structure will be a bedroom and bathroom. There will be a breezeway connecting the garage to the main structure on the property, plus an expansion of the dining area.

Proposed Plans

The plans show a new garage addition with a maximum building height of 22.5 feet above proposed grade, well within the maximum allowable 28-foot limit within the Old Town Mixed Use Zone District. This structure will have a bedroom and bathroom beneath the garage. Additionally, the dining area in the main structure is proposed to be expanded.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – Design Guidelines and Standards.

Parking is adequate, with three off-street spaces provided the three different garage spaces either existing or being proposed on the lot.

According to staff's analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town's standards in all but one area.

Staff has identified the following minor issues needing to be addressed prior to or concurrent with building permit application or during the construction process:

- **Exterior Light Fixtures** – the floor plans and elevations should be updated prior to building permit to show all exterior lighting locations as well as cut sheet/specifications.
- **Building Lot Coverage** - the plans were submitted with the understanding that the building coverage limit would be increased to 70%. Based on discussion at the Council level during the first reading of the ordinance, this no longer appears to be the case. All residential, if built in a mixed use or a commercial zone, will have to comply with residential standards which is being proposed at 45%. This project is currently at 48.4%, and thus will either need to apply for a variance, or shave off 3.4% of building coverage.
- **Snow Storage** - The plans show a flat roof with overhangs projecting to rear and side property lines, with no apparent snow storage areas on either side of the garage. If there are no practical options for storing snow on the subject property, staff respectfully suggests that heat melt of the driveway apron/surface should be considered.

- **Impervious Surface Coverage** - Currently the Old Town Mixed Use Zone District does not have an impervious coverage limit, however with the approval of Ordinance 3 - Series 2021, one will be implemented (55% for residential, 80% for commercial). Staff is not aware of what the current impervious coverage of this lot is, and how it might measure up to the proposed new lot standards.

With the exception of the above issues, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review. The plans (Sheet A2.01) calls out that exterior materials will match the existing residential structure. Building permit set of plans should show exterior material dimensions and architectural detailing. (Photos of the existing residence are attached for the DRB's reference).

As a reminder, the Planning Commission, acting as the DRB, has the option to review the proposal as a "conceptual" plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or, the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**, with conditions.

II. Summary of Process and Code Requirements:

This is a final plan-level of review for a new garage structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB's concerns or feedback regarding suggested revisions to the project.

As noted above, if the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve or approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions to the plans.

Design Review Process

Appendix 'B' of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection "d" below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) Administrative procedure.

(1) Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.

(2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 261 Main Street meet or can be revised to meet the required findings 'a,' 'b,' and 'c' or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

Zoning

The subject property is located within the “Old Town Character Area” Mixed-Use Zone District. The purpose of the Old Town Mixed-Use Zone District is to:

- a. This area allows a compatible mix of **residential uses**, low-impact commercial uses and institutional uses that serve residents and visitors. The Old Town Mixed-Use Zone can accommodate various types of development if found not to significantly impact nearby properties.*
- b. The Old Town Mixed-Use Zone is intended to **provide sites for combined residential and low-impact commercial and service uses which maintain a predominantly residential appearance. This area can accommodate reasonable growth where land and services are available and when services and amenities are needed for residents and visitors.***

- Town of Minturn Town Code Section 16-6-40

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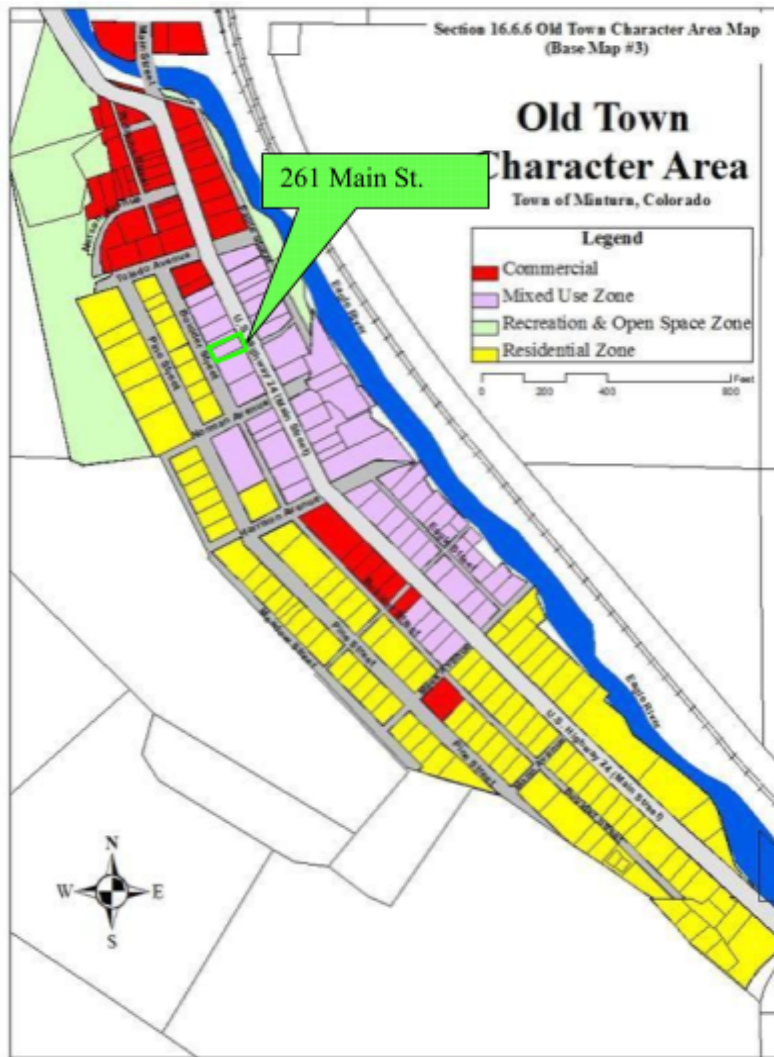


Figure 1: Old Town Character Area Zoning Map

Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - *General lot requirements and dimensional standards* and 16-16-20 – *Parking Required for Residential and Lodging Uses*.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	5,000 sq. ft.	3750 sq. ft.
Maximum Building Height:	28 feet	22.5 feet
Minimum Front Setback:	10 feet	No Change
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	10 feet

Maximum Lot Coverage:	40% (1687.5 sq. ft.)	1,367.75 sq. ft. (36.47%) Existing 1,815.31 sq. ft. (48.4%) Proposed*
Maximum Impervious Coverage:	No Limit in Old Town Mixed-Use	N/A**
Minimum Snow Storage Area:	5% of Driveway Area	Unknown
Parking:	3 spaces	3 spaces

Note: the above calculations are based on the following:

Lot 12 and part of 13 = .086 acres x 43,560 sq. ft./acre = 3,750 sq. ft.

*Please see discussion of building coverage in Section V of this report.

**Please see discussion of impervious coverage in Section V of this report.

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The design guidelines encourage designs that integrate or account for snow storage and snow shed from roof structures, along with ensuring that the orientation of buildings – to street frontages and neighboring properties – is considered.

Snow Storage and Orientation of Buildings and Roof Forms

The design guidelines encourage designs that take into account snow storage and snow shed from roof structures as a result of building and roof form orientation to neighboring properties. The Applicants are proposing a flat roof over the garage element and the site plan does not detail how or where snow storage will be accommodated on the site. Staff suggests that details regarding how snow will be managed in winter months are outstanding and should be discussed by the Design Review Board and Applicant.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed garage design:

“Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes the proposed design and scale of the proposed garage structure is generally complimentary to the existing single-family residential structure as well as adjacent properties and improvements. The placement of the proposed garage relative to the edge of pavement of Boulder Street is similar, if not more compliant than, other structures on adjacent properties.

V. Issues and Areas of Non-Conformance:

Issues or Required Plan Revisions

The following issues or areas of refinement have been identified by staff that must be addressed prior to any building permit submittal:

Exterior Light Fixtures

The plans should be updated to show exterior light locations. Light fixtures and lighting solutions are to be dark sky compliant.

Snow Storage

Snow storage is a concern to staff. The plans show a flat roof with overhangs projecting to rear and side property lines, with no apparent snow storage areas on either side of the garage. If there are no practical options for storing snow on the subject property, staff respectfully suggests that heat melt of the driveway apron/surface should be considered.

Building Lot Coverage

The plans were submitted with the understanding that the building coverage limit would be increased to 70%. Based on discussion at the Council level during the first reading of Ordinance 3 - 2021, this no longer appears to be the case. All residential, if built in a mixed use or a commercial zone, will have to comply with residential standards which is being proposed at 45%. This project is currently at 48.4%, and thus will either need to apply for a variance, or shave off 3.4% of building coverage.

Impervious Surface Coverage

Currently the Old Town Mixed Use Zone District does not have an impervious coverage limit, however with the approval of Ordinance 3 - Series 2021, one will be implemented (55% for residential, 80% for commercial). Staff is not aware of what the current impervious coverage of this lot is, and how it might measure up to the proposed new lot standards.

VI. Staff Recommendation and Suggested Conditions:

Staff suggests that the Final Plans for 261 Main Street generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code. What the Applicants are proposing is generally similar to existing conditions along Boulder Street. Importantly, the proposed garage structure may alleviate parking issues along Boulder Street and, therefore, accomplish other Town goals and policy objectives.

Staff is **recommending approval** of the Final Plans, with the following recommended condition(s):

1. The Applicant shall provide final grading and drainage details, including an updated survey showing spot elevations, for review by the Town Planner and Engineer prior to submittal for building permit.
2. The Applicant shall revise the site plan to show how snow storage will be accommodated on-site and/or how snow will be treated (snowmelt) if storage is not feasible on the subject property.
3. The Applicant shall revise the site and/or floor plans to show all proposed exterior light locations and provide final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit applications to ensure compliance with the Town's lighting standards as well as consistency with fixtures found on the existing residential structure on the subject property.
4. This Final Plan approval is contingent on final approval by the Town Council of Ordinance 3 - Series 2021, which will raise the allowable building lot coverage limit to 45% and 55% for total impervious lot coverage for a residential structure. To achieve this limit, the Applicant shall revise the plans to have no greater than 45% building coverage on the lot and shall ensure that total impervious coverage is no greater than 55%.



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Heather Faircloth garage,breezway,dinning room addititions

Project Location

Street Address:

261 Main street Minturn, Co 81645

Zoning:

mixed use

Parcel Number(s):

2103 263 12003

Application Request:

Proposed (2) car garage with bedroom and bathroom below
Proposed Dinning room bump out under existing deck
Proposed Breezway attaching the lower garage unit to the house

Applicant:

Name: Wei construction

Mailing Address: P.O.Box 1384
Vail ,Co 81658

Phone: **970 390 3674**

Email: **wei04@comcast.net**

Property Owner:

Name: **Heather Faircloth**

Mailing Address: 261 Main Street
Minturn,Co 81645

Phone: **720-320-9333**

Email: **fairclothh@yahoo.com**

Required Information:

Lot Size: 3750 sqft	Type of Residence (Single Family, ADU, Duplex) single family	# of Bedrooms 3	# On-site Parking Spaces 1
# of Stories: 2	Snow storage sq ft: 580sqft	Building Footprint sq ft: 1815.31	Total sq ft Impervious Surface: 2035.31sqft.

Signature:

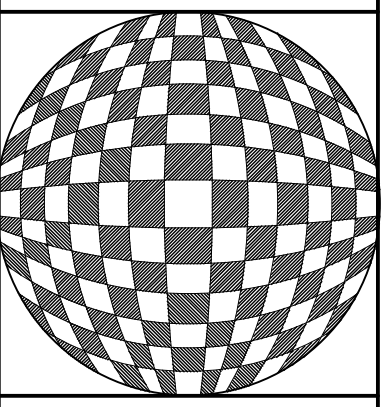
Fee Paid: **\$200**

Date Received: **4/26/21**

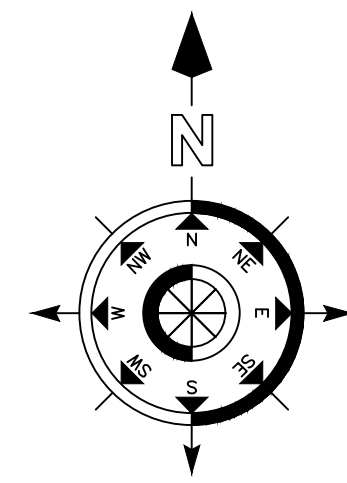
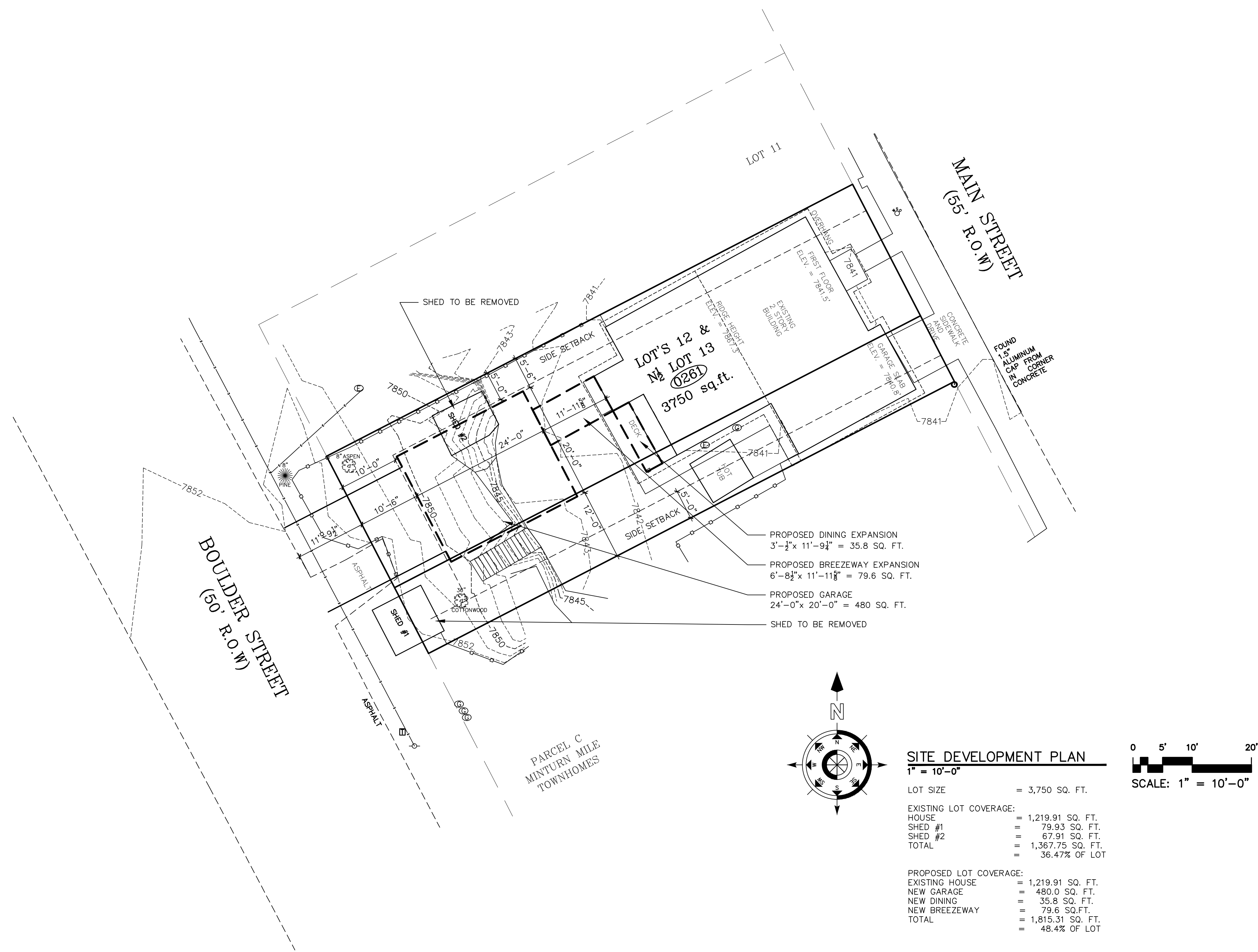
Planner: **Madison Harris**

April 26 2021

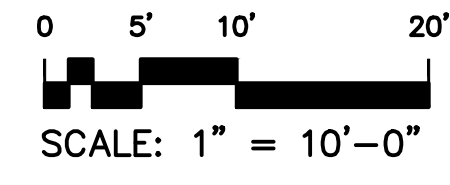
The purpose of this project is to provide additional onsite parking with a bedroom and bathroom below attached to the house with a breezeway and expand the dining room space.



GARAGE ADDITION
 261 MAIN STREET
 MINTURN COLORADO 81645



SITE DEVELOPMENT PLAN
 1" = 10'-0"



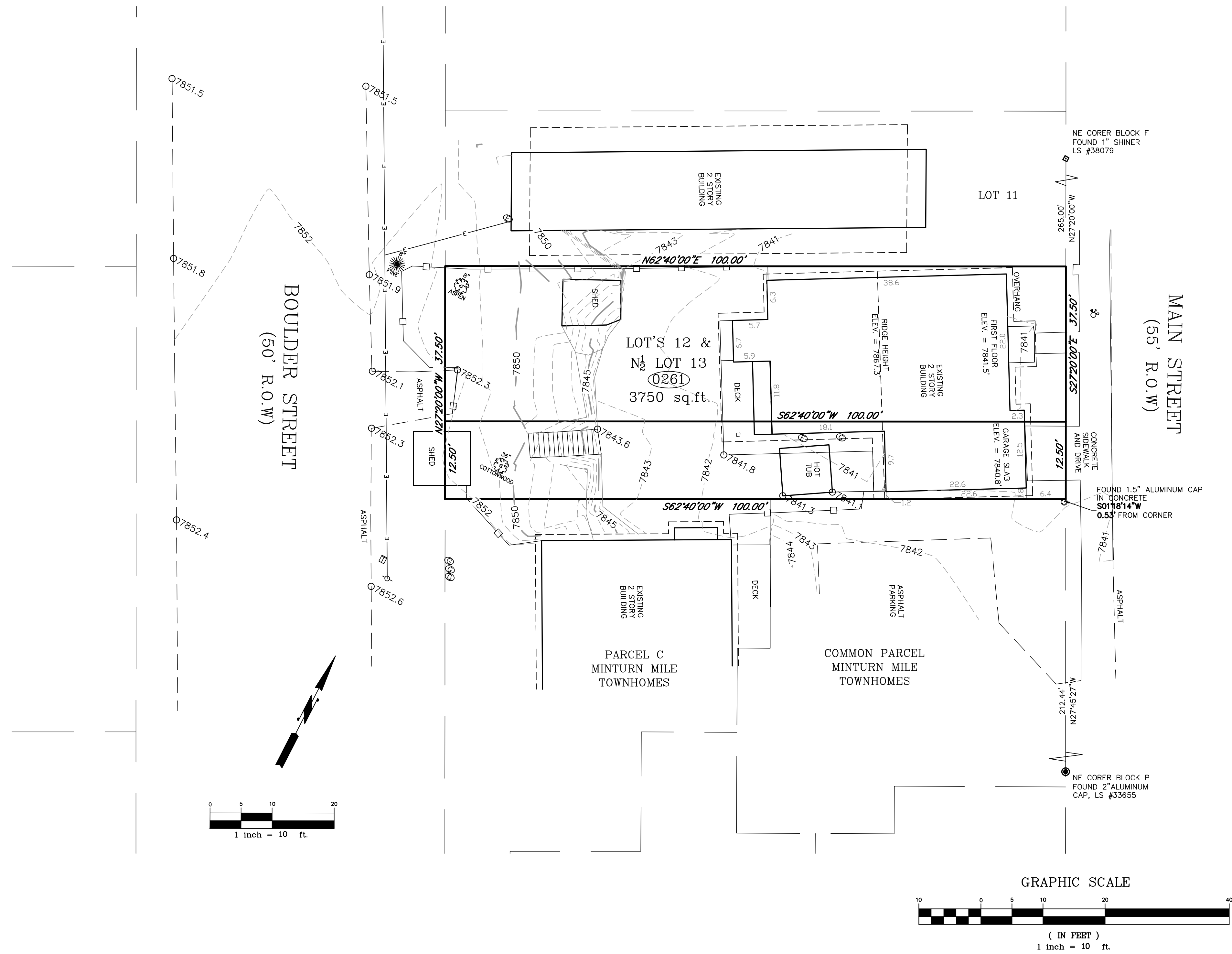
LOT SIZE	= 3,750 SQ. FT.
EXISTING LOT COVERAGE:	
HOUSE	= 1,219.91 SQ. FT.
SHED #1	= 79.93 SQ. FT.
SHED #2	= 67.91 SQ. FT.
TOTAL	= 1,367.75 SQ. FT.
	= 36.47% OF LOT
PROPOSED LOT COVERAGE:	
EXISTING HOUSE	= 1,219.91 SQ. FT.
NEW GARAGE	= 480.0 SQ. FT.
NEW DINING	= 35.8 SQ. FT.
NEW BREEZEWAY	= 79.6 SQ. FT.
TOTAL	= 1,815.31 SQ. FT.
	= 48.4% OF LOT

JOB NUMBER	20-5
DRAWN BY	TH
DATE	MARCH 22, 2021
ROLE	CON1
REVISION DATE	INITIAL

TOPOGRAPHIC SURVEY

Lot 12 and N $\frac{1}{2}$ LOT 13, Block F, Booco's Addition To Minturn

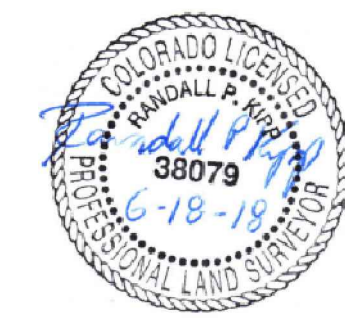
Located in Section 26, T5S, R81W, 6th P.M.
Town of Minturn, Eagle County, Colorado



LEGAL DESCRIPTION:
 Lot 12 and the Northerly $\frac{1}{2}$ Lot 13, Block F, Plat of Booco's Addition to Minturn, dated February 14, 1891, according to the plat thereof, recorded under Reception No. 9109, in the Office of the Clerk and Recorder, Eagle County, Colorado.

- NOTES:**
- 1) Survey Date: June 14, 2018.
 - 2) Street Address: 261 Main Street. (posted)
 - 4) Record easements, legal description, and rights-of-way shown hereon were derived from above referenced Final Plat, monuments found at the time of the survey and Warranty Deed Reception No. 201606076. This survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property.
 - 5) This survey was performed using U.S. Survey Feet.
 - 6) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.
 - 7) Notice: According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.
 - 8) Benchmark: Derived from NGS S-280 with an Elevation = 7894.5 and the first floor elevation shown hereon is relative thereto.

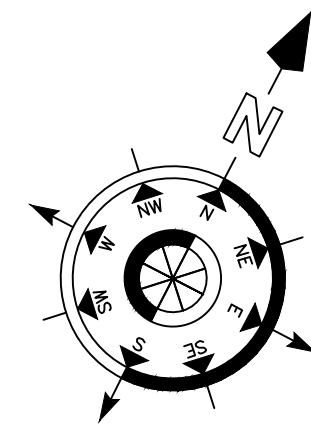
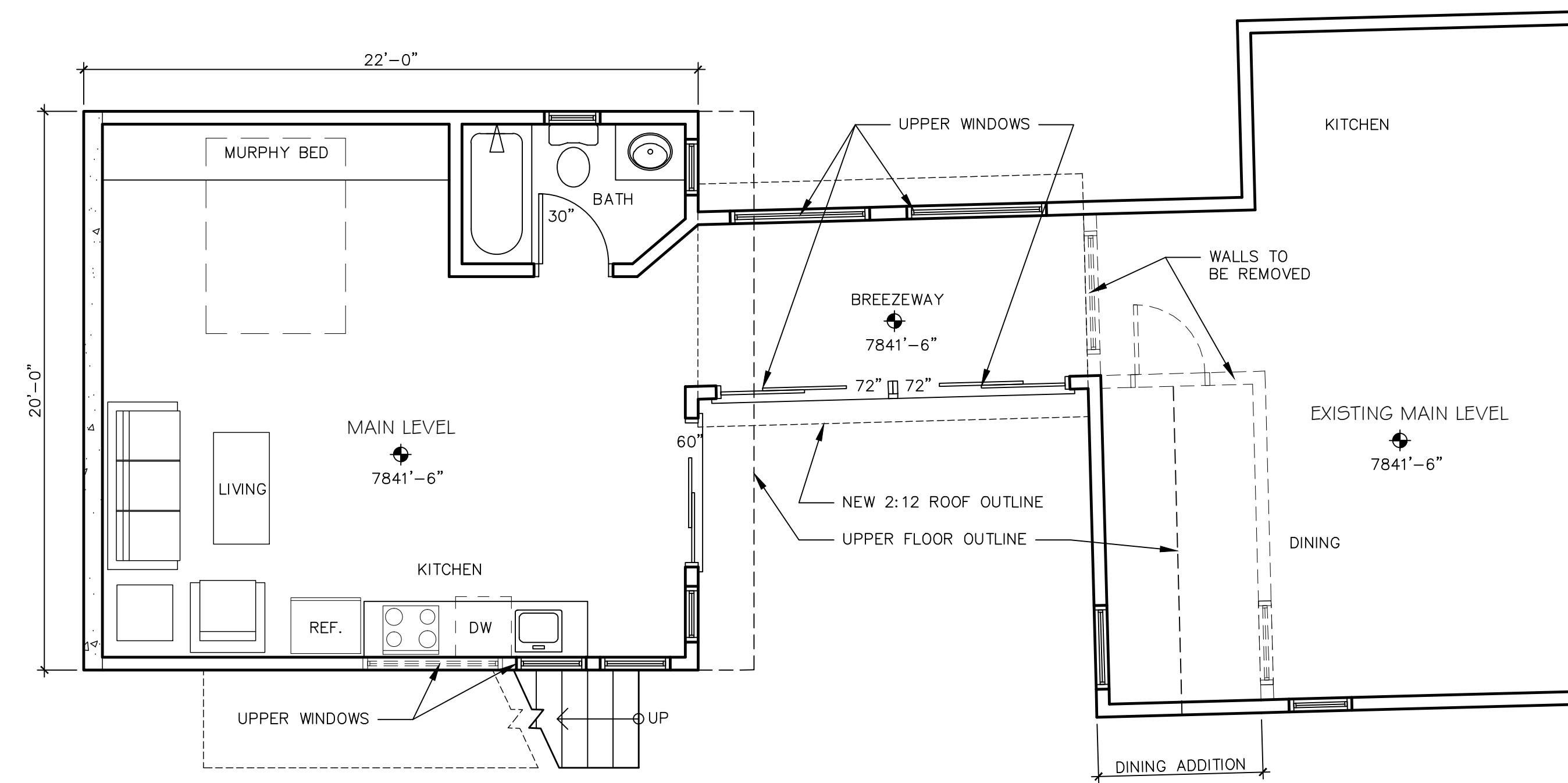
CERTIFICATION
 I, Randall P. Kipp, a Registered Professional Land Surveyor in the State of Colorado, hereby certify that this TOPOGRAPHIC SURVEY was done by me or under my direct supervision, and that it was performed using the standard care and practice used in the area at the time of the survey. The Notes hereon are a part of this certification.



Randall P. Kipp
 P.L.S. No. 38079
 Colorado Professional
 Land Surveyor

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

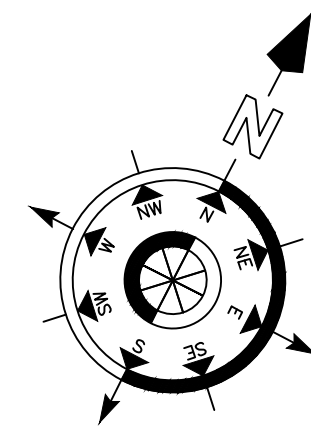
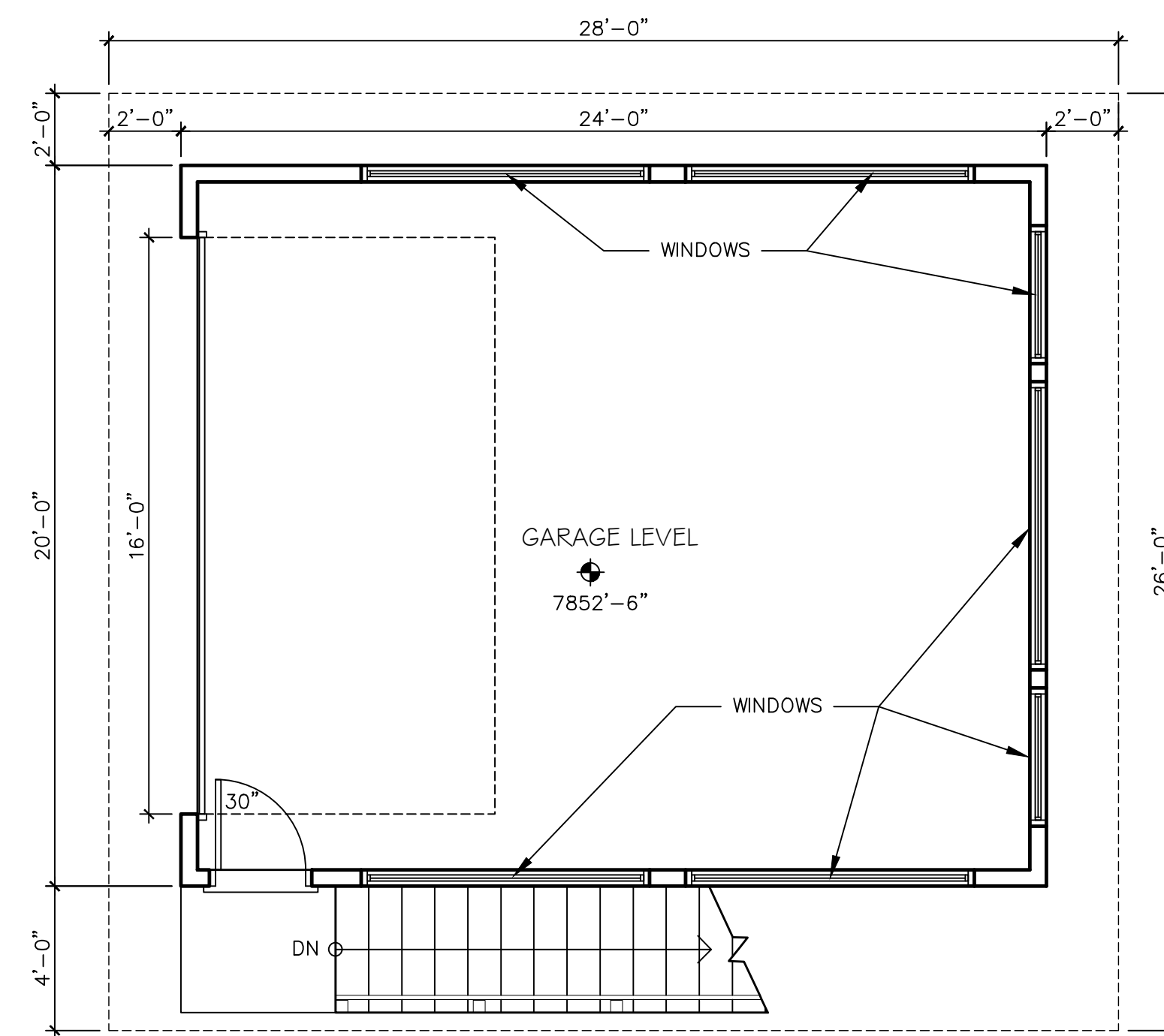
KIPP LAND SURVEYING		TOPOGRAPHIC SURVEY	
RANDY KIPP P.L.S. P.O. Box 3154 Eagle, CO 81631 (970) 390-9540 email: randy@kipplandsurveying.com web: kipplandsurveying.com		LOT 12 AND N $\frac{1}{2}$ LOT 13, BLOCK F Booco's Addition To Minturn Town of Minturn, Eagle County, Colorado	
DRAWN BY: RPK	DATE: 6/18/18		
SHEET: 1 OF 1		18116 L12N13 TOPO DWG NO.:	



MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

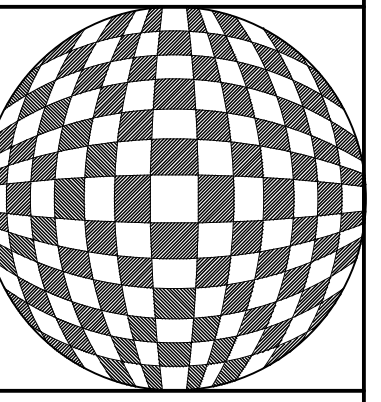
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DINING = 69.29 SQ. FT.



GARAGE LEVEL FLOOR PLAN

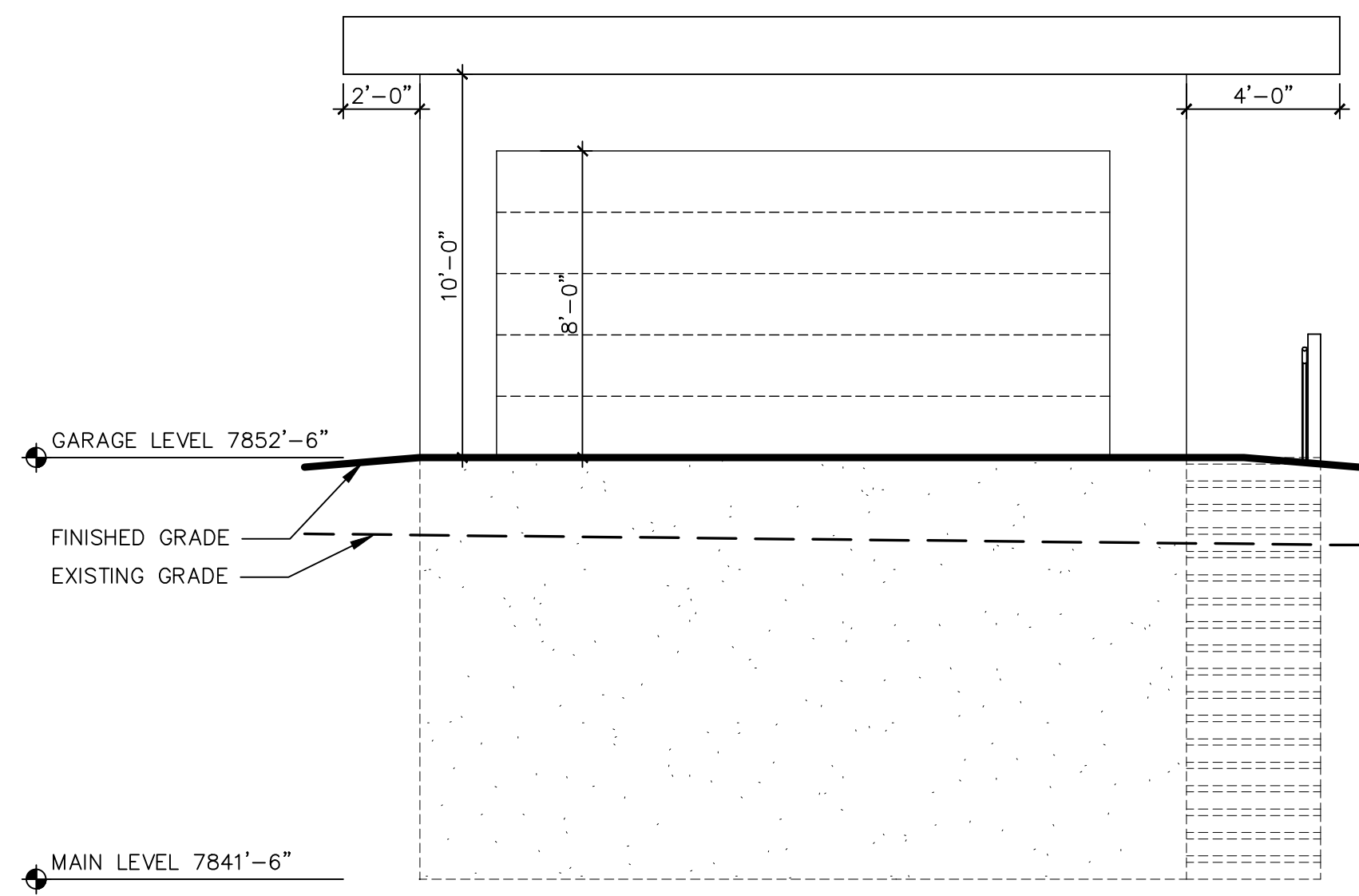
1/4" = 1'-0"

GARAGE = 480 SQ. FT.

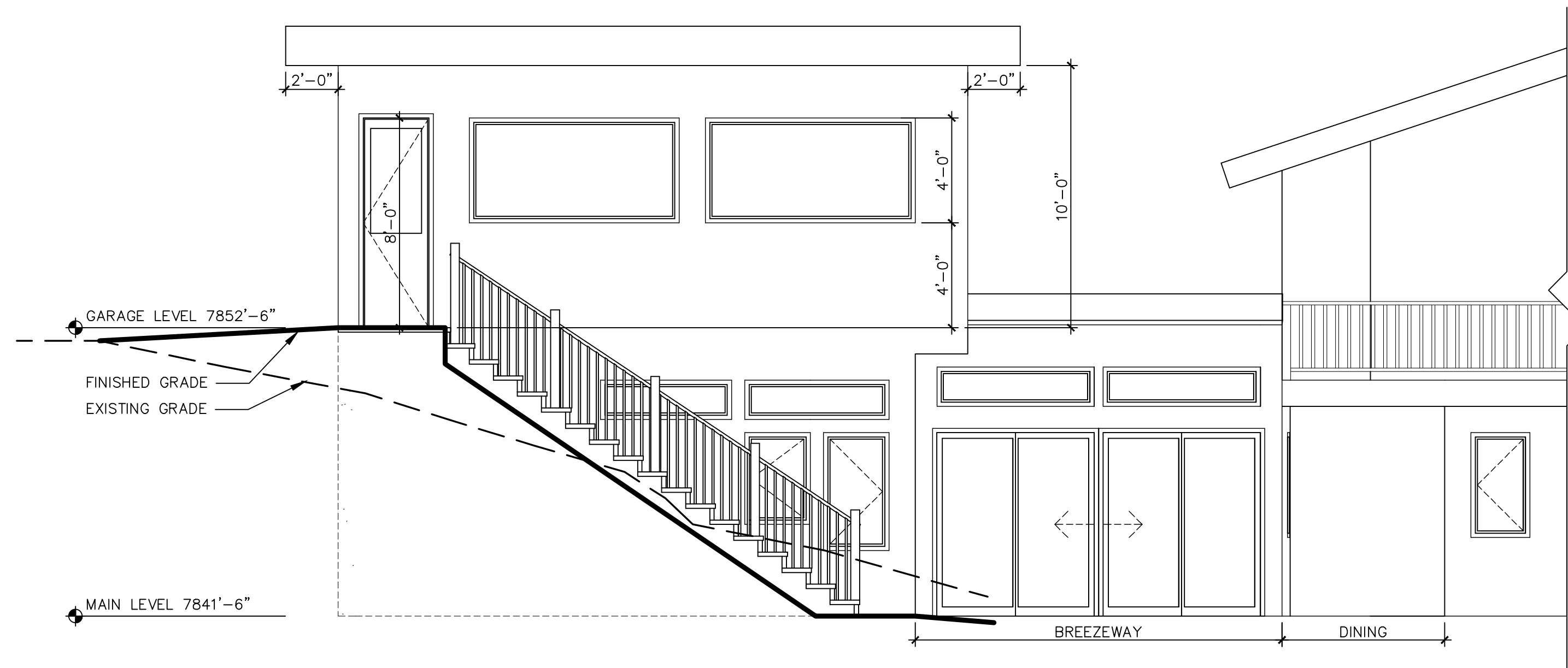


GARAGE ADDITION
261 MAIN STREET
MINTURN COLORADO 81645

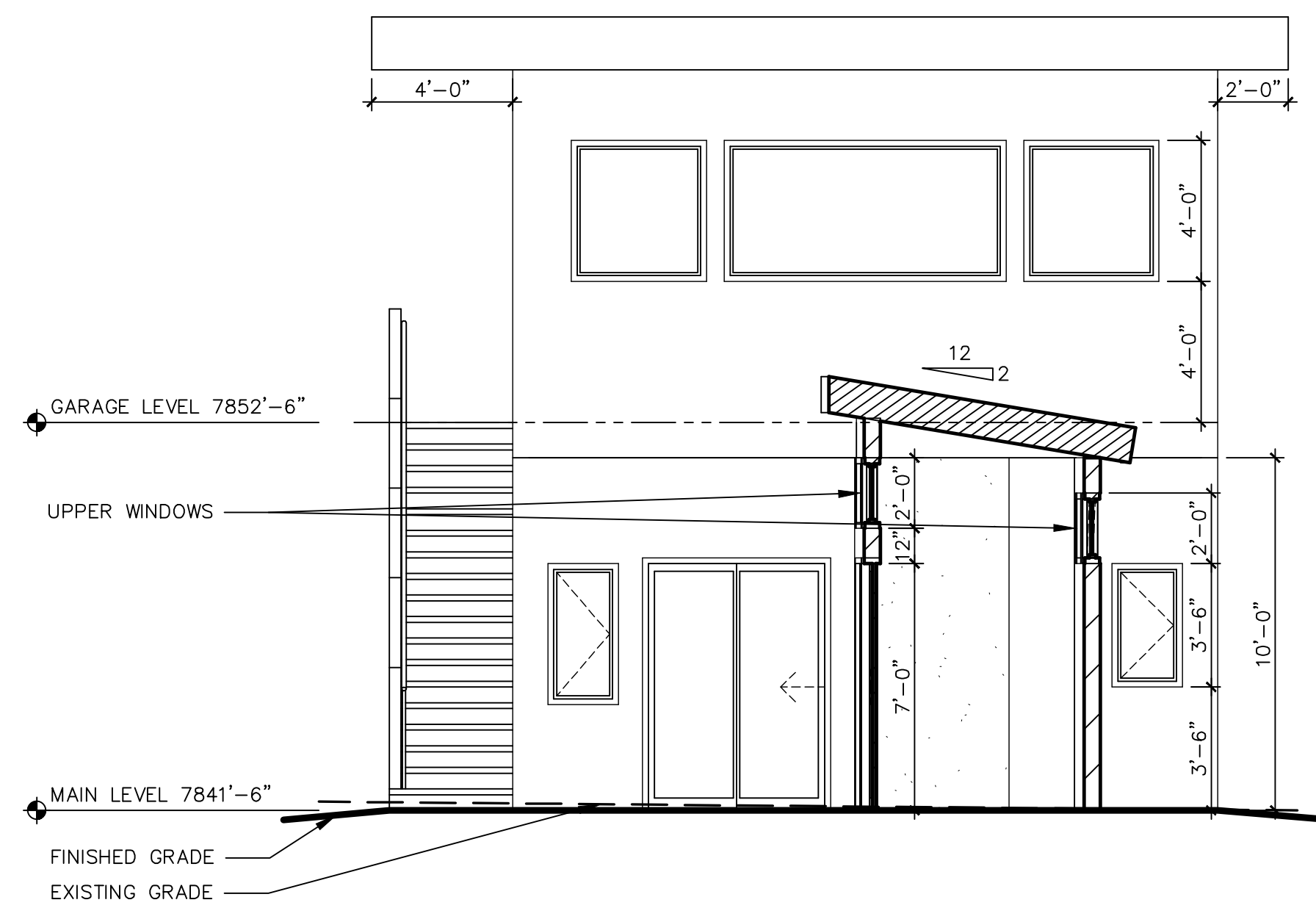
JOB NUMBER	20-5
DRAWN BY	TH
DATE	MARCH 22, 2021
SCALE	CON1
REVISION DATE	INITIAL



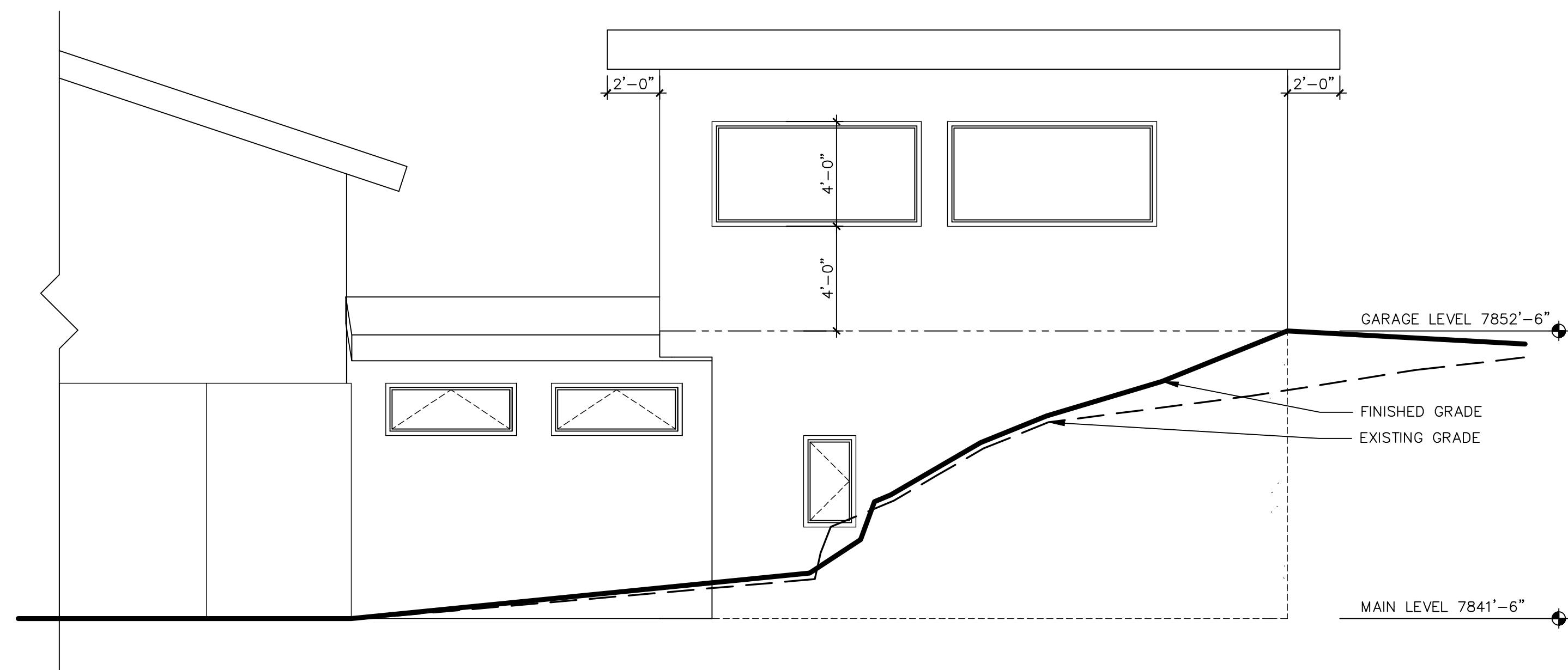
1 **SOUTHWEST GARAGE ELEVATION**
 1/4" = 1'-0"
 NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
 SIDING, TRIM, ROOFING ECT.



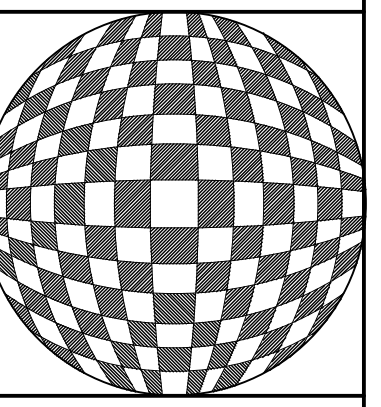
2 **SOUTHEAST GARAGE ELEVATION**
 1/4" = 1'-0"
 NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
 SIDING, TRIM, ROOFING ECT.



3 **NORTHEAST GARAGE ELEVATION**
 1/4" = 1'-0"
 NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
 SIDING, TRIM, ROOFING ECT.



4 **NORTHWEST GARAGE ELEVATION**
 1/4" = 1'-0"
 NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE:
 SIDING, TRIM, ROOFING ECT.



GARAGE ADDITION
 261 MAIN STREET
 MINTURN COLORADO 81645

JOB NUMBER	20-5
DRAWN BY	TH
DATE	MARCH 22, 2021
SCALE	CON1
REVISION DATE	INITIAL



