

AGENDA

MEETING OF THE MINTURN PLANNING COMMISSION Minturn, CO 81645 • (970) 827-5645

Meeting will be held online via Zoom Conferencing and call-in. Public welcome to join meeting using the following methods:

Join from PC, Mac, Linux, iOS or Android:

https://us02web.zoom.us/j/85396363074

Phone:

+1 651 372 8299 US +1 301 715 8592 US

Meeting ID: 853 9636 3074

Wednesday, May 12, 2021

Regular Session – 6:30 PM

CHAIR - Lynn Teach

COMMISSION MEMBERS:

Jeff Armistead
Elliot Hovey
Tom Priest
Christopher Manning
Jena Skinner

When addressing the Commission, please state your name and your address for the record prior to providing your comments. Please address the Commission as a whole through the Chair. All supporting documents are available for public review in the Town Offices – located at 302 Pine Street, Minturn CO 81645 – during regular business hours between 8:00 a.m. and 5:00 p.m., Monday through Friday, excluding holidays.

Regular Session – 6:30pm

- 1. Call to Order
 - Roll Call
 - Pledge of Allegiance

2. Approval of Agenda

- Items to be Pulled or Added
- Declaration of Conflicts of Interest

3. Approval of Minutes

- April 28, 2021
- 4. Public comments on items, which are NOT on the agenda (5min time limit per person)
- 5. Planning Commission Comments

DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

6. <u>701 Boulder Street – Bilello Residence Alteration of Approved Plans for New Single</u> Family Residence

Review and approval of minor alterations to plans originally approved May 13, 2020.

Recommendation: Approval

7. <u>482 Eagle River Street – Hutton Residence Alteration of Approved Plans for New Single Family Residence</u>

Review and approval of minor alterations to plans originally approved January 27, 2021.

Recommendation: Approval

8. 261 Main Street – Faircloth Residence

Review of a garage addition with a bedroom below, a breezeway connecting the primary structure to the secondary structure, and a dining room extension at 261 Main Street.

Recommendation: Approval with Conditions

PROJECTS AND UPDATES

9. Project Updates

• Chapter 16 Zoning Code Amendment

10. Planning Director Report & Minor DRB Approvals by Director

- Belden Place Preliminary Plan Application Status
- Minturn North Preliminary Plan Application Status

11. Future Meetings

- May 26, 2021
- June 9, 2021

12. Adjournment



OFFICIAL MINUTES

MEETING OF THE MINTURN PLANNING COMMISSION Minturn, CO 81645 • (970) 827-5645

Meeting will be held online via Zoom Conferencing and call-in. Public welcome to join meeting using the following methods:

Join from PC, Mac, Linux, iOS or Android:

https://us02web.zoom.us/j/87147540414

Phone:

+1 651 372 8299 US +1 301 715 8592 US

Meeting ID: 871 4754 0414

Wednesday, April 28, 2021

Regular Session – 6:30 PM

CHAIR - Lynn Teach

COMMISSION MEMBERS:

Jeff Armistead Elliot Hovey Tom Priest Christopher Manning Jena Skinner

When addressing the Commission, please state your name and your address for the record prior to providing your comments. Please address the Commission as a whole through the Chair. All supporting documents are available for public review in the Town Offices – located at 302 Pine Street, Minturn CO 81645 – during regular business hours between 8:00 a.m. and 5:00 p.m., Monday through Friday, excluding holidays.

Regular Session – 6:30pm

1. Call to Order

• Roll Call

Lynn T. called the meeting to order at 6:30 pm.

Those present at roll call: Lynn T., Jena S, Elliot H, Chris M, Tom P., and Jeff A. Staff Members Present: Town Planner Scot Hunn, Planner I Madison Harris, and Assistant Town Attorney Richard Peterson-Cremer.

• Pledge of Allegiance

2. Approval of Agenda

 Items to be Pulled or Added Motion by Jena S., second by Tom P., to approve the agenda as presented. Motion passed 5-0.

3. Approval of Minutes

• April 14, 2021

Motion by Jeff A., second by Chris M., to approve the minutes of April 14, 2021 as amended. Motion passed 5-0.

4. Public comments on items, which are NOT on the agenda (5min time limit per person)

No Public Comment.

5. Planning Commission Comments

Lynn T. asked the new members to introduce themselves.

Tom P. stated that he has lived in Minturn for about three years. He is intending to be here for the rest of his life. He will be in Iraq for 8 weeks this summer.

Elliot H. has been here about four years, and is not planning on leaving any time soon.

6. New Planning Commissioner Training

Richard P-C. and Scot H. outlined the training presentation. This is a lot of information but is designed to outline the legal, quasi-judicial review, and formal procedure when land use regulations are reviewed. Land use regulations are held in Chapter 16, 17 and 18 of the Minturn Municipal Code. He stated land use regulations are developed by the Planning Commission, adopted by Council, and administered by staff.

Chapter 16 includes the Land Use regulations including zoning districts, permitted uses, sign codes and other related subjects for development.

Chapter 17 includes subdivisions and related subjects.

Chapter 18 includes the International Building and Fire codes as adopted by Council.

Richard P-C. reviewed the issues and procedures and how to maintain a nonbiased mind and opinion as well as what is covered by the Open Meetings/Sunshine law.

This was a training session and no direction or decision was requested.

Tom P. clarified the legality of discussing with a developer their project before they have submitted an application and after.

Jena S. commented that Town Council has an agenda item that requires any members to clarify any ex parte communications or anything that would require them to recuse themselves. Should we be doing that as well?

• Richard P-C. said that it would be a good practice to get into.

DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

7. 996 Main Street, Lot 2 – New Single Family Residence Final Plan Review

Review and approval of plans for a new single family residence at 996 Main Street, Lot 2.

Recommendation: Approval with Conditions

Scot H. introduced the project. This parcel is part of a new subdivision which created one commercial lot and two residential lots. 4 bedroom house that is 4,229 square feet. The South Town Commercial Zone district allows for Single Family Residential as a use by right. The house is properly sited on the lot. There is no issue with the 30 foot river setback. The building height is just under the 28 foot height limit. We need final details on the light fixtures. One of the issues with this is the size of Lot 2 of this subdivision. The minimum lot size in this South Town commercial zone district is 7,500 square feet, but this subdivision created a 6,800 square foot lot. The original intent was to rezone these parcels to residential, so just getting to it in a roundabout way. With the rezoning, it will conform the residential zone district standards. There will be a condition added to the approval that ensures that Town Council passes the ordinance to rezone before building permit is issued.

Jeff A. pointed out that Town Council is sensitive to losing commercial so this might be a roll of the dice.

Michael Pukas, PO Box 288 Gypsum, CO 81637.

The concept was a 4 bedroom house with a large great room. This isn't a very encumbered lot, but it is fairly narrow and long as well as having a shared driveway off of Highway 24. Two bedrooms on the west side above the two car garage. The lower level has a two car garage, office/art studio, great room with kitchen /living/dining. Large deck off of the great room. Water table is a concern due to the proximity to the river. A partial full basement with stable footings. Had to raise the lot about 3.5'. In order to stay within height limits, the shed roofs made sense. Wanted mining yet modern style house. There are a few steps in the floor plan to break up the massing. The vertical elements help break up the long, horizontal nature of the building. Standing seam (super insulated) metal roof. Will make sure the cor-ten is sealed to mitigate any leaching of the rusted metal running to the river. A condition of approval should be added for an encroachment agreement with ERWSD concerning the encroachment into the sewer easement. A six foot tall fence on either side of the house that complies with the code.

Jena S. asked if the fire place is wood burning or gas.

Mr. Pukas said that it is wood burning, but it will be fitted with a gas log set.

Jeff A. appreciated the attention to previous plan reviews that they have gone through like with the corrugated metal siding. Asked about the fireplace. Likes the style and design.

Chris M. likes the project. Had questions about the super-insulation and made sure that there wouldn't be a risk of large ice-dams.

Tom P. liked the project. Asked about the construction timeline based on the encroachment agreement with ERWSD and the rezoning ordinance.

• Mr. Pukas said they are looking at 12 months of build time. Hopefully breaking ground by June.

Elliot H. liked the project as well. Asked about the shared driveway.

Lynn T. asked about the radon mitigation.

Jeff A. had questions about the access easement, and the driveway dead ending at the property line of Lot 3.

Public comment was opened and closed.

Motion by Jena S., second by Chris M., to approve with conditions 996 Main Street a New Single Family Residence for a Final Plan Review. All in favor 5-0.

- 1. This Final Plan approval is contingent upon the successful rezoning of Lots 1 and 2, Lucero Subdivision, as initiated by the Town. The Town will permit application for and review of a building permit submission for Lot 2 Final Plans prior to final action taken by the Town Council on the rezoning at the Applicant's risk. No building permit will be issued until such time that rezoning of Lots 1 and 2 are finally approved by the Town Council.
- 2. The Applicant shall provide final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit application to ensure compliance with the Town's lighting standards.
- 3. The Applicant shall provide written evidence of an executed encroachment agreement by and between the Eagle River Water and Sanitation District and the Applicant for minor above grade (cantilevered) improvements of a deck into the 20 foot sewer line easement prior to or concurrent with building permit issuance.

5 minute recess called at 8:04 pm.

8. 172 Main Street – Minturn Adventure Lodge Conceptual Review

Review and provide feedback on a proposed boutique hotel at 172 Main Street. Scot H. introduced the project. Ron Levin, owner of 172 Main Street, has submitted an application for a conceptual review of a new boutique hotel. This lot is zoned within the Old Town Character Area 100 Block Commercial Zone. The Applicant and his representatives, Pierce Austin Architects, have been involved in high-level discussions with the Town for approximately two years regarding potential new architectural design standards aimed at bulk, mass and building height controls in the 100-Block. Therefore, with this conceptual review, the Applicant's representatives have provided proposed building height and bulk plane modeling and standards for the Planning Commission's consideration. This proposed new modeling and standard reflects in several ways the outcomes of the 100 Block charette held in October 2020 as well as the previous discussions of the Planning Commission with regard to activating the pedestrian level in front of or around any new buildings; respecting and enhancing the two-story appearance and character of existing buildings on Highway 24; and, allowing additional height (a third story) so long as minimum step backs are integrated into the design. This review is intended to garner a high-level discussion about the height, massing, scale, and appropriateness of this building within the 100 Block.

Kit Austin, 1081 Vailview Drive, Vail. Pierce Austin Architects. Participated in the 100 Block Charrette, taking feedback from that, lowering the height limit to 24'. All setbacks would apply except for 70% of the frontage of a lot on Highway 24 could have a 0 foot front setback.

- Scot H. comes from the current configuration of buildings on Main Street that have a natural stepping in and stepping out. Some places have a build-to line rather than a setback.
- Mr. Austin said they promote pedestrian corridors at the setbacks. The upper level has a 20' setback from the front, 5' setback on the side and back, and a 0' setback if adjacent to other properties. The height limit is 36'. This is a consistent model of other urban centers, just scaled down. Trying to keep it at a pedestrian scale.
- Lynn T. asked for clarification on the setback of the third story.
- Mr. Austin said that it is a 30' stepback from the property line. The program is a boutique hotel with five individual rooms on the ground level. Upper level has five small units (standard hotel rooms).

Ron Levin, 172 Main, Minturn, CO 81645.

The thought is it would cater to small groups geared towards 15-25 person groups with two eclectic gathering spaces. Would like to have musician or singer/song-writer conventions.

Mr. Austin said they are providing their parking on-site.

Mr. Levin said the whole third floor would be one big unit with a gathering space.

Lynn T. asked for the dimensions of the lot

- Mr. Pierce said that it was 100'x50'
- Madison H. clarified that the lot is shaped like a trapezoid so the dimensions are not 100'x50' exactly.

Jeff A. likes the concept and would like to help as much as possible. Great concept and idea. Would generate a lot of cool buzz for the town. One of the potential issues is that one of the goals of the 100 Block is to generate sales tax revenue. One of the biggest hurdles is the parking. Other big issue is the tallest element of the building seems to be 48' tall which is pushing the limits by 20'.

- Mr. Pierce said that the pedestrian perception would not be impacted by the taller elements.
- Jeff A. said that the stairwell could put the building into a different classification since it is technically a four story building rather than a three story building. He said that there are elements of this that might require a variance. The applicant should be prepared to answer questions about how this feels from the river side when you are across the tracks. This will most likely set a precedent and this needs to be a smart decision.

Jena S. agreed with Jeff A. Likes the design. Should be built for sound which would solve some issues before they arise. Maybe the lower level windows could fold up to encourage a relationship between the inside and the outside. Likes the pedestrian path. The tandem spaces might not work as planned. Should have renderings that show relationship to neighboring properties. Might want to consider lessening the windows for the neighbors.

Chris M. agreed with Jeff A. and Jena S. Thinks it is kind of big for Minturn, though understands the idea of picking between commercial and residential in the 100 Block. Maybe the stairwell should be put on one of the balconies instead of the roof to mitigate the height issue. Would like to see more.

Tom P. appreciated the concept. The reality of the 100 Block is that it is both commercial and residential as homes exist there and they aren't going to move. Would be great to have this put between the existing structures to give a better perception of scale. Might have to put the staircase diagonally up the side of the building. The parking is going to be an issue. As far as the height is concerned, parapet aside, this isn't more impactful than the Scarab building. The neighbors might have something else to say.

Elliot H. stated that supporting the creative arts is a very important thing. It might be beneficial to see how many people come and go with public transit. The building is reminiscent of a European style, and would be radical for the 100 Block. Would like to see any culture brought to town stay here, or foster the performing arts in the kids and the community here. Would like the community to be involved.

Lynn T. agreed with Tom P. about the tandem parking not really working. Off street parking is determined by the frontage of the lot on Highway 24. With the intent of the events you could have someone directing traffic to the public parking lot. In the Town's

guidelines it requires a plaza space to incorporate certain elements like trash cans and benches. Likes the idea of having a 3D display to see how it looks next to the adjacent buildings. The Design Guidelines also place emphasis on having historical architecture somewhere in the building. Would like to see a 5 foot setback minimum. The 48' height is an issue. We need to have Scot H. have this discussion with the Town Council.

Public comment was opened.

Shelly Bellm, 470 Pine St, representing Bellm family 192 Main Street. Appreciate what the neighbors are attempting to do here and the desire to bring the vitality to the downtown Minturn. The zoning is commercial, however the homes in this area have existed for over a hundred years. The code concerning the 100 Block was last updated in 2016 to protect the grandfathered in homes and allow them to maintain them. With the flat roofs, they can maintain snow on them, but most likely it will be shoveled off to have events up there, and with only a five foot setback, the snow will most likely be dumped on neighboring properties. There is no landscaping, and there should be some sort of outdoor gathering place on the ground where people can sit on a bench or walk in the grass. Would like to see a legal survey as this is not a fully rectangular lot. The zoning standards don't meet this type of building. It is supposed to meet the character of the area and this doesn't. Parking is an issue and it has always been a problem. There are too many cars at this lot currently even though there isn't a curbcut. Minturn needs to work on improving vitality, but the bulk and mass is too large for the character area as it is now. The neighbors need to be brought into consideration. 48' to a neighbor is not a small project. It should be shown how the community surrounds this.

- Mr. Pierce offered to model Ms. Bellm's house to help craft a vision that works with the neighbors.
- Ms. Bellm understands that Minturn needs to grow, but this might not be the exact fit. So we should work together to find the right one.

Jean Flaherty's Comment read into the record by Madison H. Jean Flaherty, 162 Main Street, Minturn, CO 81645.

We are the owners of 160 - 162 Main St. The purposed development of 172 Main St. is way too large/high for the lot it is situated on. It will most defiantly impact our home and the neighborhood in a negative way. I know change is inevitable, but feel what the town allows in each new development will affect the direction our town leans towards. If Minturn wants to stay Minturn, then the town needs to see that new structures are in line with that vision.

9. Ordinance No. (TBD) – Series 2021

An ordinance of the Town of Minturn, Colorado, rezoning Lot 1 and Lot 2, Lucero Subdivision, from commercial to residential in conformance with the Town of Minturn Master Plan and Land Use Code.

Recommendation: Approval

As this was discussed in conjunction with the 996 Main, Lot 2 review of a new single family home, Scot H. did not talk much about this. Public notice was posted and sent

out to the adjacent property owners. The intent of both lots has been to develop these lots as residential since it is a use by right in this zone district.

Jeff A. asked why we can't grant a variance for this particular lot and for the home to build so that we don't have to rezone.

- Jena S. doesn't think we want a variance because any time they want to do something with their lot they will have to come back through that process.
- Scot H. clarified that the intention was always to have residential on these lots so there isn't any future of commercial on these lots. This is more conforming with the surrounding zoning.

Public comment was opened and closed.

Motion made by Jena S., second by Tom P., to forward this to Council with the recommendation of approval of Ordinance No. TBD – Series 2021, an ordinance of the Town of Minturn, Colorado, rezoning Lot 1 and Lot 2, Lucero Subdivision, from commercial to residential in conformance with the Town of Minturn Master Plan and Land Use Code.

Motion passed 5-0.

10. Ordinance No. (TBD) – Series 2021

An ordinance of the Town of Minturn, Colorado amending Article 2, Chapter 16 of the Minturn Municipal Code.

Recommendation: Approval

Scot H. introduced the ordinance. These dimensional limitations were discussed starting in the fall of 2019 up until recently. This ordinance doesn't implement all of the changes proposed, but address the burning ones that help with projects that have been hanging out there.

Lynn T. asked in regards to these changes, will it effect the ability to keep the setbacks the same.

Madison H. clarified that we aren't proposing any changes to the setbacks other
than striking through the asterisk that is associated with the side setback standard
of the 100 Block commercial zone as the asterisk is not associated with anything.

Jena S. stated that the code should reflect what is on the ground. We should make sure we have flexibility so we can avoid variances for a reasonable argument.

Public comment was opened and closed.

Motion made by Jena S., second by Tom P., to forward this to Council with the recommendation of approval of Ordinance No. TBD – Series 2021, an ordinance of the Town of Minturn, Colorado amending Article 2, Chapter 16 of the Minturn Municipal Code.

Motion passed 5-0.

PROJECTS AND UPDATES

11. Project Updates

- Chapter 16 Zoning Code Amendment
 - o Looking to create a 3D model of the 100 Block.

12. Planning Director Report & Minor DRB Approvals by Director

- Belden Place Preliminary Plan Application Status
 - They have submitted their responses to referral comments. Currently reviewing and hoping to get to a hearing in May.
- Minturn North Preliminary Plan Application Status
 - Expecting them back in June. They have a deadline of May 28 to get staff a comprehensive packet.
- Rocky Mountain Real Estate Challenge
 - Concludes tomorrow. This is DU and CU grad students competing for a real life design. This should prompt us for an RFP. This will most likely be a mixed-use development.

13. Future Meetings

- May 12, 2021
- May 26, 2021

14. Adjournment

Motion by Jeff A., second by Tom P., to adjourn the regular meeting of April 28, 2021 at 10:08 pm. Motion passed 5-0.

Lynn Teach, Commission Chair	
ATTEST:	
Scot Hunn, Planning Director	

Minturn Planning Department Minturn Town Center 302 Pine Street Minturn, Colorado 81645



Minturn Planning Commission

Chair – Lynn Teach Jeff Armistead Elliot Hovey Tom Priest Chris Manning Jena Skinner

To: Planning Commission

From: Scot Hunn, Planning Director

Madison Harris, Planner I

Date: May 7, 2021

Re: 701 Boulder Street – Bilello New Residence Modification to Approved Plans

Mike Bilello, owner of 701 Boulder Street, received approval from the DRB on January 27, 2021 for a new single family residence located on his property.

The project is currently going through the building permit process and the Applicant has determined that the plans, as approved, require minor modifications to certain aspects of window mullions, sizing, and grouping; roof forms; above the entry way; and the support structure of the second story deck. Per an email from the Applicant to staff on April 28, 2021 the following is a description of the changes:

- At the front entry, the flat roof on the second level above the bedrooms and upper hall has been changed to a sloped roof. (Sheets A104, A201, A202)
 - The corner window was eliminated (Sheet A103)
 - Trapezoid windows were added that follow the sloped roof (Sheet A201)
- The sliding door on the east elevation at the great room on the upper level has been changed from 8'-0" tall to 10'-0" tall (Sheet A201)
 - The trapezoid windows above have been modified to accommodate the new door height (Sheet A201)
- On the south elevation at the great room on the upper level, the dormer has been dropped to the floor level (Sheet A201)
 - o I had originally design the dormer bay to be 3'-6" above the floor, but it was too complicated and expensive to construct in this manner and required a change in the design
- On the west elevation, the windows at the master bedroom, bath 3, upper hall, and kitchen have been revised in size and adjusted in location (Sheet A202)
- On the east elevation, the steel cantilevered beams that support the upper level deck have been removed (Sheets A201, A202)
 - It was too costly and complicated to cantilever the steel beams, and instead we are cantilevering the floor framing structure to create the deck

Staff believes that the proposed modifications are minor in nature and will not change the project's conformance with the applicable standards of Chapter 16 – *Zoning*, or Appendix 'B' – *Design Standards and Guidelines* of the Minturn Municipal Code.

Staff is recommending approval without conditions.

GENERAL NOTES

- ALL MORK SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL CODES, LAWS, PERMITS AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.
- 2 THESE DOCUMENTS ARE NOT INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. THE GENERAL CONTRACTOR (G.C.) SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.

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- 3 IT IS THE RESPONSIBILITY OF THE G.C. TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE CONTRACT DOCUMENTS (CD'S), AND TO NOTIFY THE ARCHITECT AT ONCE IF ANY DISCREPANCIES APPEAR IN THE CD'S, OR BETWEEN THE CD'S AND EXISTING CONDITIONS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE
- 4 SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR

MATERIALS.

- 5 DIMENSIONS: A) ALL DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.; B) ALL PLAN DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUD, AND CENTER LINE OF COLUMN/BEAM, U.O.N.; C) FLOOR TO FLOOR DIMENSIONS ARE FROM TOP OF PLYWOOD SUBSURFACE TO TOP OF PLYWOOD SUBSURFACE, U.O.N.; D) VERIFY IN FIELD (V.I.F.) ALL EXISTING CONDITIONS DIMENSIONS, LOCATIONS AND SITE CONDITIONS PRIOR TO NEW CONSTRUCTION.
- THE G.C. SHALL SUBMIT SAMPLES OF ANY MATERIALS PROPOSED FOR SUBSTITUTION TO THE ARCHITECT FOR REVIEW AND APPROVAL BEFORE THE WORK IS TO BE PERFORMED. WORK SHALL CONFORM TO THE APPROVED SAMPLES
- THE G.C. SHALL SUBMIT REQUIRED SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL BEFORE THE WORK IS TO BE PERFORMED. WORK SHALL CONFORM TO THE APPROVED SHOP DRAWINGS.
- THE G.C. SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- THE G.C. SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND MALLS MITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL
- 10 THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED. EACH SUB-CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS AS OF RESULT OF HIS/HER OPERATION UPON COMPLETION OF
- THE G.C. SHALL PERFORM ALL PHASES OF CONSTRUCTION SUCH THAT ALL NEW CONSTRUCTION FITS FLUSH AND SEAMLESSLY WITH ADJACENT EXISTING CONDITIONS, AND SHALL NOT ENDANGER ANY EXISTING CONDITIONS OR OTHER WORK.
- 12 THE G.C. SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, RECESSED ITEMS, AND ALL OTHER ITEMS AS
- 13 ALL CONSTRUCTION, STAGING, CONTRACTOR PARKING AND MATERIALS STORAGE SHALL BE CONFINED TO THE LIMITS OF THE EXISTING DRIVEWAY AND THE IMMEDIATE PERIMETER OF THE EXISTING BUILDING, ALL ACTIVITY PERFORMED AS PART OF THIS PROJECT SHALL BE CONTAINED ON THE PROJECT PROPERTY
- 14 CHANGES TO THESE CONTRACT DOCUMENTS SHALL BE NOTED IN THE FIELD AND MAINTAINED ON-SITE FOR THE DURATION OF THE PROJECT FOR CONSTRUCTION OBSERVATION.
- 15 AS-BUILT DRAMINGS WILL BE PROVIDED TO THE TOWN/COUNTY, IF REQUIRED.
- 16 UTILITY METER LOCATIONS TO BE APPROVED BY UTILITY COMPANIES.
- 17 ALL INTERIOR NON-BEARING WALLS TO BE 2x4, U.O.N. 18 ALL INTERIOR BEARING WALLS TO BE 2x6, U.O.N. SEE STRUCTURAL DWG'S FOR SPEC'S 19 ALL EXTERIOR WALLS TO BE 2x6, U.O.N. SEE STRUCTURAL DWG'S FOR SPEC'S
- 20 ALL HORIZONTAL FRAMING DIMENSIONS ARE TO THE FACE OF WOOD FRAMING, U.O.N. 21 ALL VERTICAL FRAMING DIMENSIONS ARE FROM THE T.O. PLYWOOD, U.O.N.
- 22 ALL HORIZONTAL DIMENSIONS FOR OPENINGS ARE TO THE CENTER LINE OF R.O.
- 23 ALL VERTICAL DIMENSIONS FOR OPENINGS ARE TO THE TOP OF R.O.

SITE NOTES

- THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL IN CONFORMANCE WITH TOWN/COUNTY GUIDELINES.
- THE CONSTRUCTION LIMIT LINE IS THE CONTRACT LINE. DO NOT DISTURB ANY EXISTING TREES OR VEGETATION DESIGNATED TO REMAIN OR LOCATED OUTSIDE OF THE CONSTRUCTION LIMIT LINE MITHOUT APPROVAL OF THE OWNER AND THE TOWN/COUNTY
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING SITE INFORMATION, INCLUDING STRUCTURES, UTILITIES. PROPERTY LINES, LIMITS OF ROADWAYS, AND CURBS AND GUTTERS THAT MAY AFFECT THE SCOPE OF WORK PRIOR TO BEGINNING SITE CONSTRUCTION
- EXISTING UTILITIES ARE INDICATED FOR INFORMATION ONLY AND NOT INTENDED TO SHOW EXACT LOCATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, OR ANYTHING NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE GENERAL CONTRACTOR SHALL LOCATE ALL UTILITIES AND MAINTAIN THE LOCATION DURING ALL PHASES OF THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES OR STRUCTURES AND ANY INJURIES THEREFROM. RESTORATION OF ANY UTILITIES DAMAGED BY THE GENERAL CONTRACTOR SHALL BE AT THE GENERAL CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- CONFORM TO EAGLE RIVER WATER AND SANITATION DISTRICT SPECIFICATIONS FOR SEWER CONSTRUCTION. PROVIDE SEMER CLEANOUT WITH LOCATION TO BE REVIEWED BY TOWN
- THE GENERAL CONTRACTOR SHALL PROVIDE DRAWINGS SHOWING PROPOSED UTILITY SERVICE CONNECTIONS FOR THE ENGINEER'S REVIEW PRIOR TO CONSTRUCTION. ROAD CUTS AND ANY OTHER CONSTRUCTION IN ROAD RIGHT-OF-WAY SHALL CONFORM TO TOWN
- GUIDELINES. 8 ALL COMPACTION SHALL BE IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY THE
- GEOTECHNICAL ENGINEER 9 PROVIDE WRITTEN NOTIFICATION OF ALL DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE
- IMPROVEMENTS. 10 CONTRACTOR(S) SHALL TAKE ALL NECESSARY STEPS AS REQUIRED TO PROPERLY PROTECT
- AND MAINTAIN HIS WORK FOR THE DURATION OF THIS CONTRACT. THESE DRAWINGS DO NOT SPECIFY SAFETY MATERIALS, EQUIPMENT, METHODS OR SEQUENCING, TO PROTECT PERSONS AND PROPERTY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DIRECT AND IMPLEMENT SAFETY OPERATIONS AND PROCEDURES TO
- PROTECT THE OWNER, OTHER CONTRACTORS, THE PUBLIC AND OTHERS. 12 ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- 13 CONTRACTOR(S) SHALL EMPLOY A LICENSED SURVEYOR TO ESTABLISH ALL MORK LINES. 14 CONTRACTOR(S) SHALL STAKE OUT ALL AREAS, INCLUDING WALKS, PAVEMENTS, WALLS, POOLS AND FENCES AND SHALL OBTAIN THE APPROVAL OF THE ARCHITECT PRIOR TO PROCEEDING MITH THE MORK
- 15 CONFLICTS OR DISCREPANCIES WITH GRADES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND PRIOR TO PROCEEDING WITH WORK 16 ALL FINISHED GRADES SHALL PROVIDE FOR NATURAL RUNOFF OF WATER WITHOUT LOW SPOTS
- 17 GRADUALLY ROUND OFF TOPS AND TOES OF ALL PLANTED SLOPES, UNLESS SHOWN OTHERWISE IN GRADING DETAILS.

OR POCKETS. SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM 2.5% GRADIENT UNLESS

- 18 GRADE AWAY FROM ALL BUILDINGS AT A MINIMUM SLOPE OF 10% IN UNPAVED AREAS AND
- MINIMUM SLOPE OF 2% IN PAVED AREAS. 19 CLEANOUTS SHALL BE PROVIDED FOR ALL CHANGES IN LINES AND/OR GRADE OR THE SANITARY
- SEMER SERVICE. 20 CONFORM TO TOWN/COUNTY STANDARDS FOR WATER CONSTRUCTION. MAINTAIN 10 FEET MINIMUM SEPARATION BETWEEN WATER AND SEWER UNDERGROUND SERVICE PIPES. MAINTAIN SEVEN FEET MINIMUM COVER AT UNDERGROUND WATER SERVICE AND ASSOCIATED LINES. NEW

CURB STOPS AND SERVICE LINES SHALL BE INSTALLED FOR EACH UNIT. CURB STOPS SHALL

LOCATED ON THE PROPERTY LINE IN A SPOT APPROVED BY THE TOWN PUBLIC WORKS

21 IF UTILITY CONNECTION POINTS ARE NOT KNOWN AT THE TIME OF BUILDING PERMIT SUBMISSION, LOCATIONS TO BE COORDINATED AND APPROVED BY TOWN/COUNTY AND SERVICE PROVIDERS IN ADVANCE.

ENERGY CODE NOTES

SC TO COMPLY WITH ALL REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE, THE 2018 INTERNATIONAL RESIDENTIAL CODE, AND THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AS WELL AS ANY AMENDMENTS ADOPTED BY THE TOWN'S AND/OR COUNTY'S MUNICIAPL CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO;

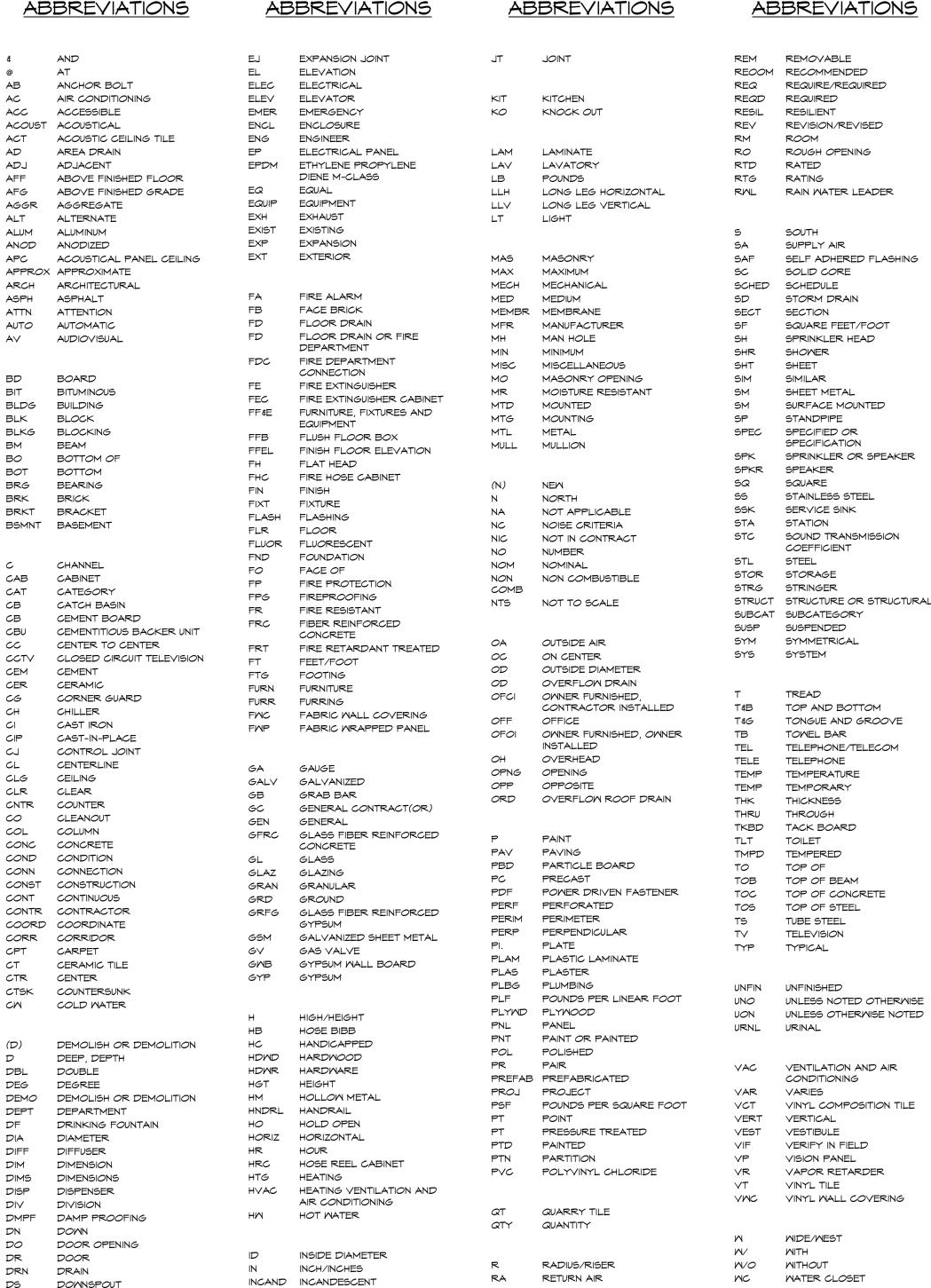
CLIMATE ZONE FENESTRATION U-FACTOR 0.30 0.55 SKYLIGHT U-FACTOR

HEATED SLAB ON GRADE R-VALUE

CEILING R-VALUE 20+5 OR 13+10 - CAVITY + CONTINUOUS EXTERIOR MOOD FRAME WALL R-VALUE MASS WALL R-VALUE 15/20

FLOOR R-VALUE BASEMENT WALL R-VALUE 15/19 - CONTINUOUS + CAVITY SLAB R-VALUE & DEPTH 15/19 - CONTINUOUS + CAVITY CRAML SPACE WALL R-VALUE

ABBREVIATIONS ABBREVIATIONS



RAD

RB

RBR

RCP

RD

REC

REF

REFR

REG

RECPT

RADIUS

RUBBER

RESILIENT BASE

ROOF DRAIN

RECEPTACLE

REFRIGERATOR

RECESSED

REFERENCE

REGISTER

RELOCATE

REFLECTED CEILING PLAN

REINFORCED REINFORCING

MD

MIN

MP

MS

MT

MV

MMF

MSCT

MOOD

MINDOM

MIRE MESH

MAINSCOT

MMM MELDED MIRE MESH

MATER VALVE

MEIGHT

WATERPROOF/WATERPROO

WATERPROOF MEMBRANE

MEATHER-STRIPPING

MELDED MIRE FABRIC

PROJECT DIRECTORY

Project Address 701 Boulder Street

Minturn, CO 81645 Parcel Number: 2103-352-02-009 RBLA Minturn, Lot 2

<u>Owner</u> Mike Bilello 2014 Beechwood Avenue Wilmette, IL 60091 (847) 691-1514 mikebilello@icloud.com

<u>Architect</u> mpp design shop, inc. Michael Pukas PO Box 288 Gypsum, CO 81637 (970) 390-4931 michael@mppdesignshop.com

General Contractor Minturn Home Builders, LLC Tom Sullivan PO Box 820 Minturn, CO 81645

minturnrentals@gmail.com

(970) 376-2167

Structural Engineer Sundquist Design Group Joe Sundquist PO Box 676 Conifer, CO 80433 (303) 941-7651 joe@sundquistdesign.com

Land Surveyor Kipp Land Surveying, LLC Randy Kipp PO Box 3154 Eagle, CO 81631 (970) 390-9540 randy@kipplandsurveying.com



	COVER
<i>O</i> 1	AERIAL VIEWS
02	PERSPECTIVE VIEWS
ILC	IMPROVEMENT LOCATION CERTIFIC
AS101	SITE & LANDSCAPE PLANS
A100	AREAS, SCHEDULES
A101	FOUNDATION PLAN
A102	LOWER LEVEL FLOOR PLAN
A103	UPPER LEVEL FLOOR PLAN
A104	ROOF PLAN
A201	EAST & SOUTH ELEVATIONS
A202	WEST & NORTH ELEVATIONS
A300	MINDOM & DOOR SCHEDULE
A301	EAST-WEST BUILDING SECTIONS
A302	EAST-WEST BUILDING SECTIONS
A303	NORTH-SOUTH BUILDING SECTIONS
A304	NORTH-SOUTH BUILDING SECTIONS
A305	NORTH-SOUTH BUILDING SECTIONS
A306	WALL SECTIONS
A401	ENLARGED PLANS & ELEVATIONS
51.1	GENERAL STRUCUTRAL NOTES AND

DETAILS FOUNDATION PLAN 52.1 52.2 LOWER LEVEL FLOOR FRAMING PLAN 52.3 FRAMING PLAN

52.4 HIGH ROOF FRMAING PLAN FOUNDATION DETAILS 53.1 53.2 FRAMING DETAILS



CATE

UPPER LEVEL FLOOR AND LOW ROOF

ENERGY CODE COMPLIANCE NOTES

- 1. IRC 402.4.1.1: ALL AIR BARRIER AND THERMAL BARRIERS TO BE INSTALLED PER MANUFACTURER'S INSTRUCITONS.
- 2. IRC 402.4.5: ALL IC-RATED RECESSED LIGHTING FIXTURES TO BE SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE <= 2.0 CFM LEAKAGE AT 75 Pa.
- 3. IRC 403.6: AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOORS AIR INTAKES AND **EXHAUSTS**
- 4. IRC 402.4.1.2: BLOMER DOOR TEST @ 50 Pa. <=5 ACH IN CLIMATE ZONE 7 5. IRC 402.4.1.2: BLOWER DOOR TEST @ 50 Pa. <=3 ACH IN CLIMATE ZONE 7
- 6. IRC 303.2: CONDITIONED BASEMENT WALL INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- 7. IRC 303.2: UNVENTED CRAML SPACE WALL INSULATION INSTALLED PER MANUFACTURER'S INSTRUCITONS 8. IRC 303.2: WALL INSULATION TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
- 9. IRC 303.1.1.1, 303.2: CEILING INSULATION INSTALLED PER MANUFACURER'S INSTRUCTIONS. BLOWN INSULATION MARKED EVERY 300 FT2



PROJECT LOCATION: 701 BOULDER STREET

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client permission to use the instruments of service

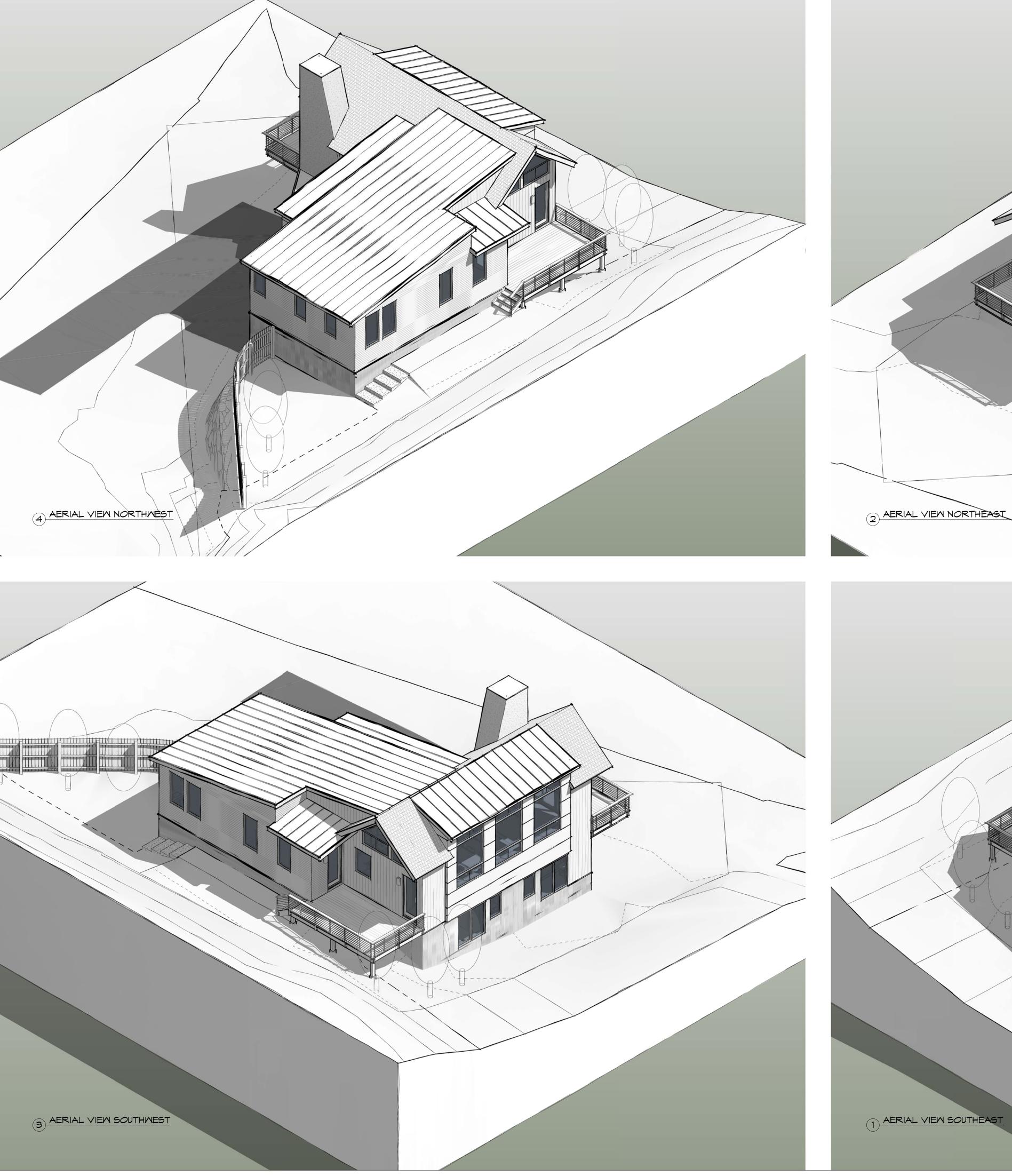
solely for constructing and maintaining the project

reproduction or publication, in whole or in part, of

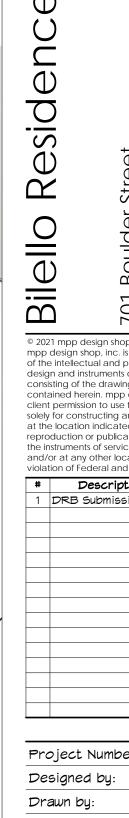
the instruments of service by any other entity

Project Number: 2007 Designed by: mpp Drawn by: mpp mpp Checked by:

COVER







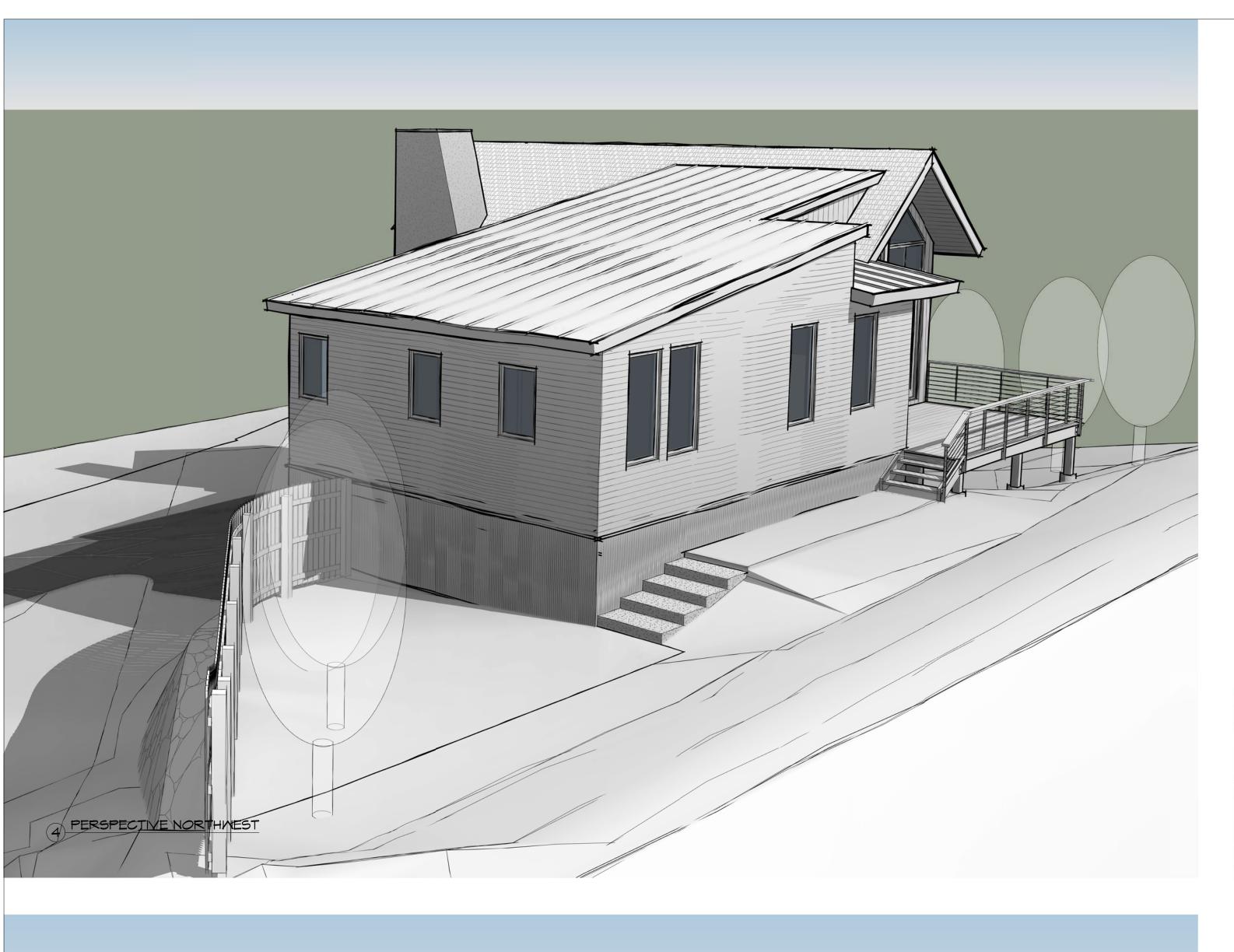
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Description Date

1 DRB Submission 01/06/21

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Prawn by:	mp
checked by:	mp
AFRIAL \	/IEWS









Bilello Reside

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Description Date

1 DRB Submission 01/06/21

Project Number:	200
Designed by:	mp
	mo

ERSPECTIVE VIEW		
Checked by:	тр	
Orawn by:	тр	
Designed by:	тр	

SANITARY MANHOLE RIM ELEV. = 7870.63'INV. IN (S) = 7862.54INV. OUT $(N) = 7862.46' \times$ LOT 21, BLOCK 3 BALDAUF ADDITION LOT 2 TO THE TOWN OF BOULDER MINTURN STREET SUBDIVISION PLANTER S88'49'47"W 129.55' -S01°10'13"E 27.96' LOT 2-RBLA 0.132 Acres+-5755.13 sq.ft. 25' ACCESS EASEMENT SNOW STORAGE LOT 1-RBLA EASEMENT PARCEL 1 GROUSE BAR RANCH LOT 3-RBLA

IMPROVEMENT LOCATION CERTIFICATE WITH TOPOGRAPHY

LOT 2, RBLA MINTURN SUBDIVISION Town of Minturn, County of Eagle, State of Colorado

LEGAL DESCRIPTION:

LOT 2, RBLA MINTURN SUBDIVISION. according to the the Corrected Plat recorded August 2, 2018, at reception #201813165 in the Office of the Clerk and Recorder, County of Eagle, State of Colorado.

NOTES:

1) DATE OF SURVEY: 7-13-20

2) Street Address: 701 Boulder Street (Not-Posted)

3) Benchmark: 3.25" Aluminum Cap, CDOT MM 145.8 Elevation = 7869.72' Site Benchmark: Sanitary Manhole Rim Elevation = 7870.63' NAVD Vertical Datum

4) One foot contours shown hereon.

5) Location of improvements, lot lines, set backs, and easements are based upon the above—referenced Final Plat, Survey Monuments found at the time of this survey as shown hereon and Title Commitment Order No. V50057124 from Land Title Guarantee Company with an effective date of 6—15—20. This Survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property.

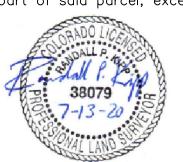
6) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.

7) NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

CERTIFICATION:

I hereby certify that this Improvement Location Certificate was prepared for Michael Anthony Bilello and Carlee S., and this is NOT a Land Survey Plat or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvements lines. This certificate is valid only for use by Michael Anthony Bilello and Carlee S. and describes the parcels appearance on 7—13—20.

I further certify that the improvements on the above described parcel on this date, 7—13—20, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.



Randall P. Kipp P.L.S. #38079 Colorado Professional Land Surveyor

_	LEGEND:
N00°00'00"E 0.00'	DENOTES BOUNDARY LINE BEARING AND DISTANCE
	DENOTES ACCESS & UTILITY EASEMENT LINE
	DENOTES DRAINAGE/ UTILITY EASEMENT AND SETBACK LINE (D.U.E. & SB)
	DENOTES OVERHEAD WIRES
	DENOTES ADJOINING PROPERTY LINES
-00	DENOTES WOOD POST AND RAIL FENCE
0E0E0E0E0E	- DENOTES OVERHEAD WIRE
•	DENOTES FOUND SURVEY MONUMENTS 1.5" ALUMINUM CAP ON #5 REBAR, LS #9337
	DENOTES FOUND SURVEY MONUMENT 1.25" RED PLASTIC CAP ON #5 REBAR, LS #4551
	DENOTES FOUND SURVEY MONUMENT — 1.5" ALUMINUM CAP ON #5 REBAR, LS #38079
<i>(</i>)	DENOTES UTILITY POLE
CO	DENOTES SANITARY CLEANOUT
<u>S</u>	DENOTES SANITARY MANHOLE
E	DENOTES ELECTRIC PEDESTAL
	DENOTES GUY WIRE
	DENOTES TELEPHONE PEDESTAL

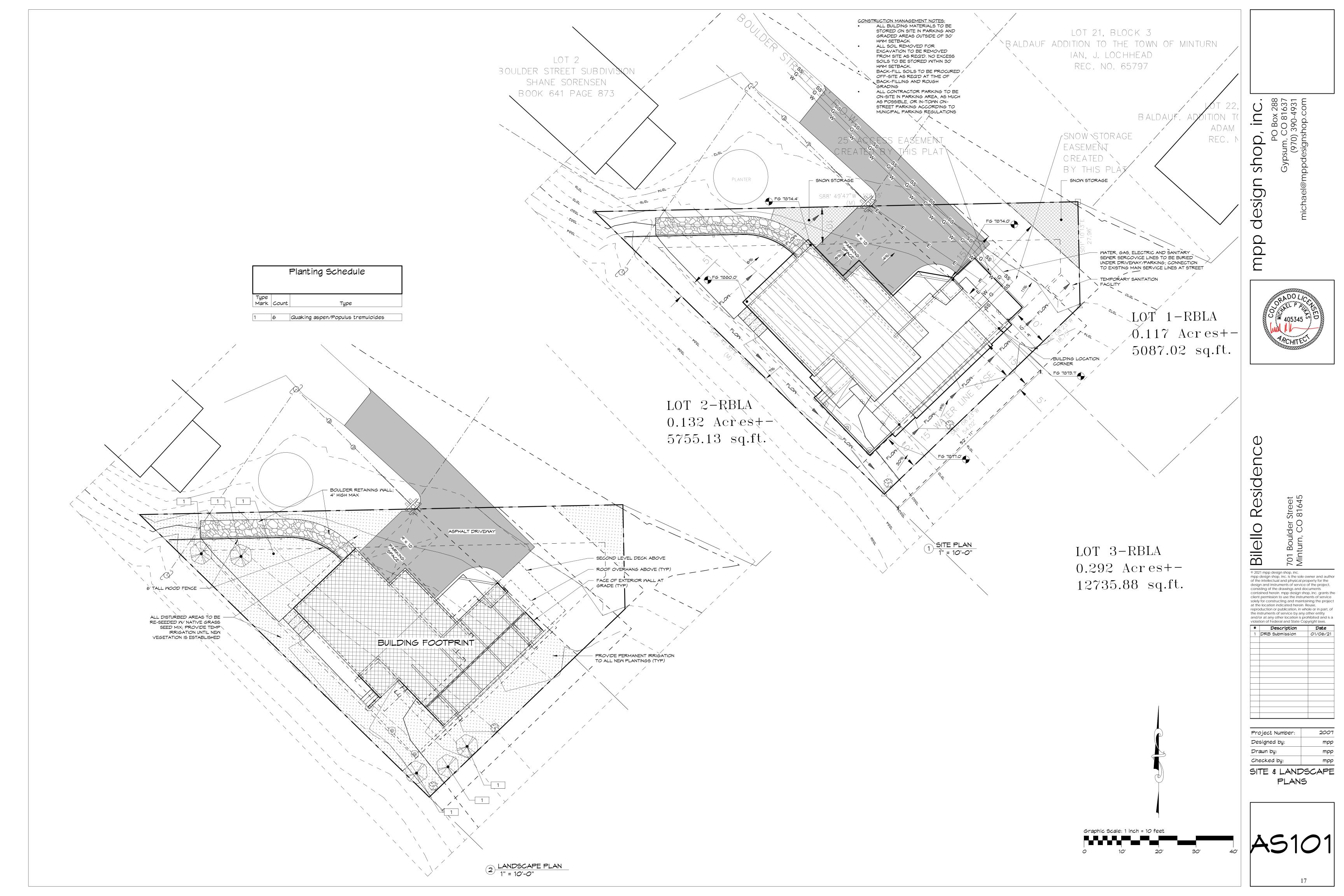
IMPROVEMENT LOCATION CERTIFICATE WITH TOPOGRAPHY LOT 2, RBLA SUBDIVISION

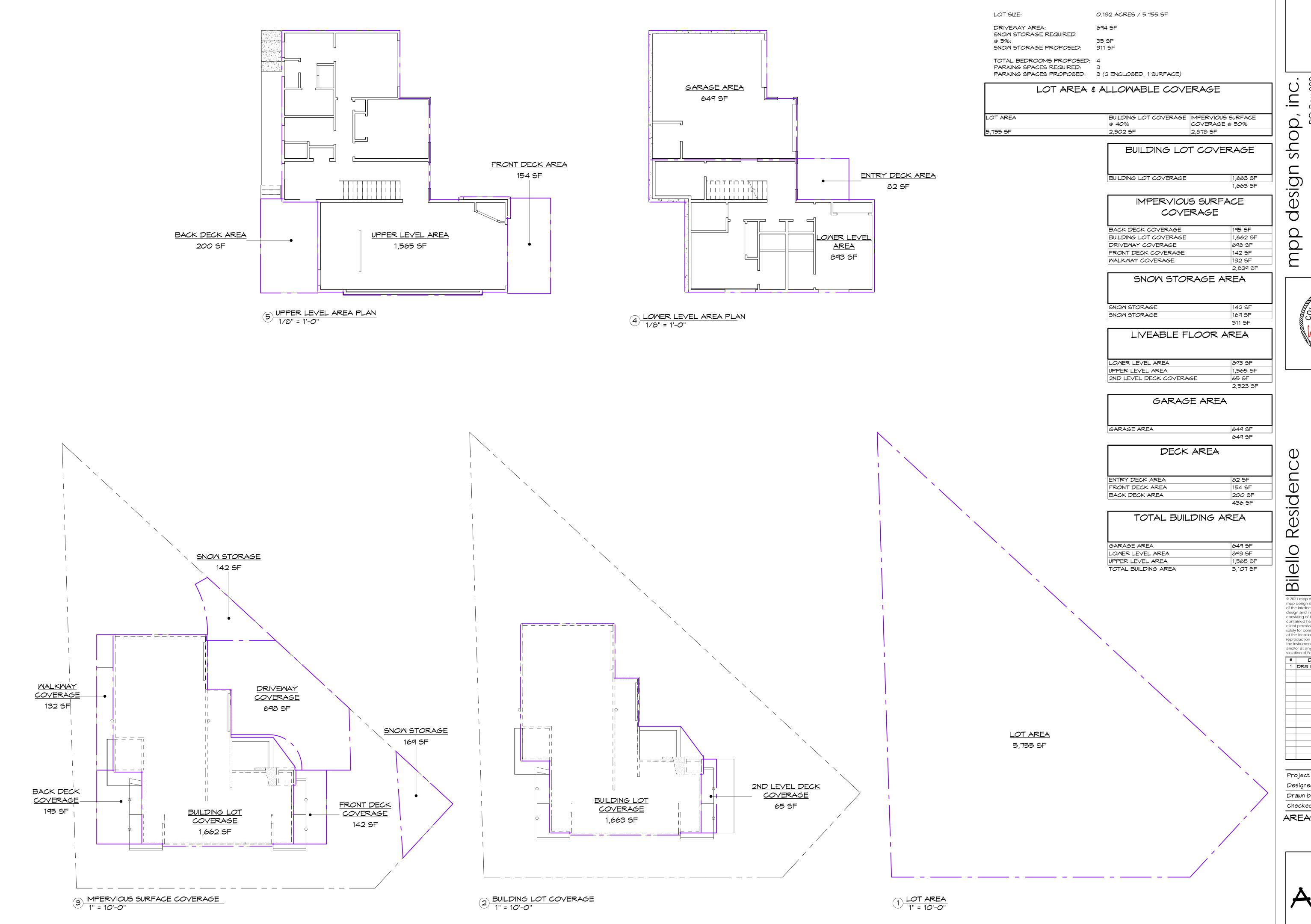
Town of Minturn, County of Eagle, Colorado

JOB NO.: 15048	DATE: 7-13-20
	DWG NAME: 05048-Lot 2 RBLA

KIPP LAND SURVEYING

RANDY KIPP P.L.S.
P.O. Box 3154
Eagle, CO 81631
(970) 390-9540
email: randy@kipplandsurveying.com
web: kipplandsurveying.com





SITE AND BUILDING ANALYSIS

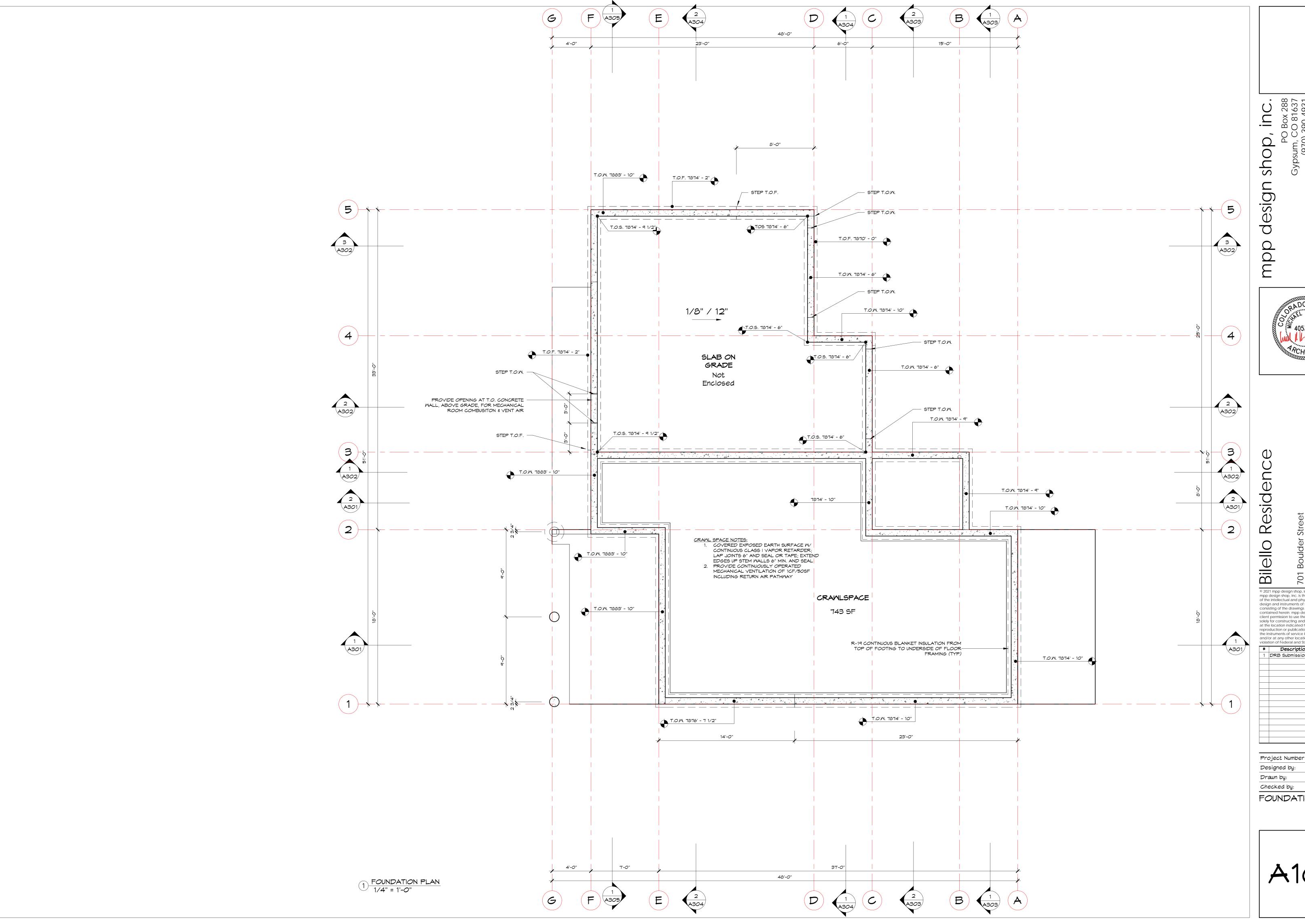


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1	DRB Submission	01/06/21
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esigned by:	трр	
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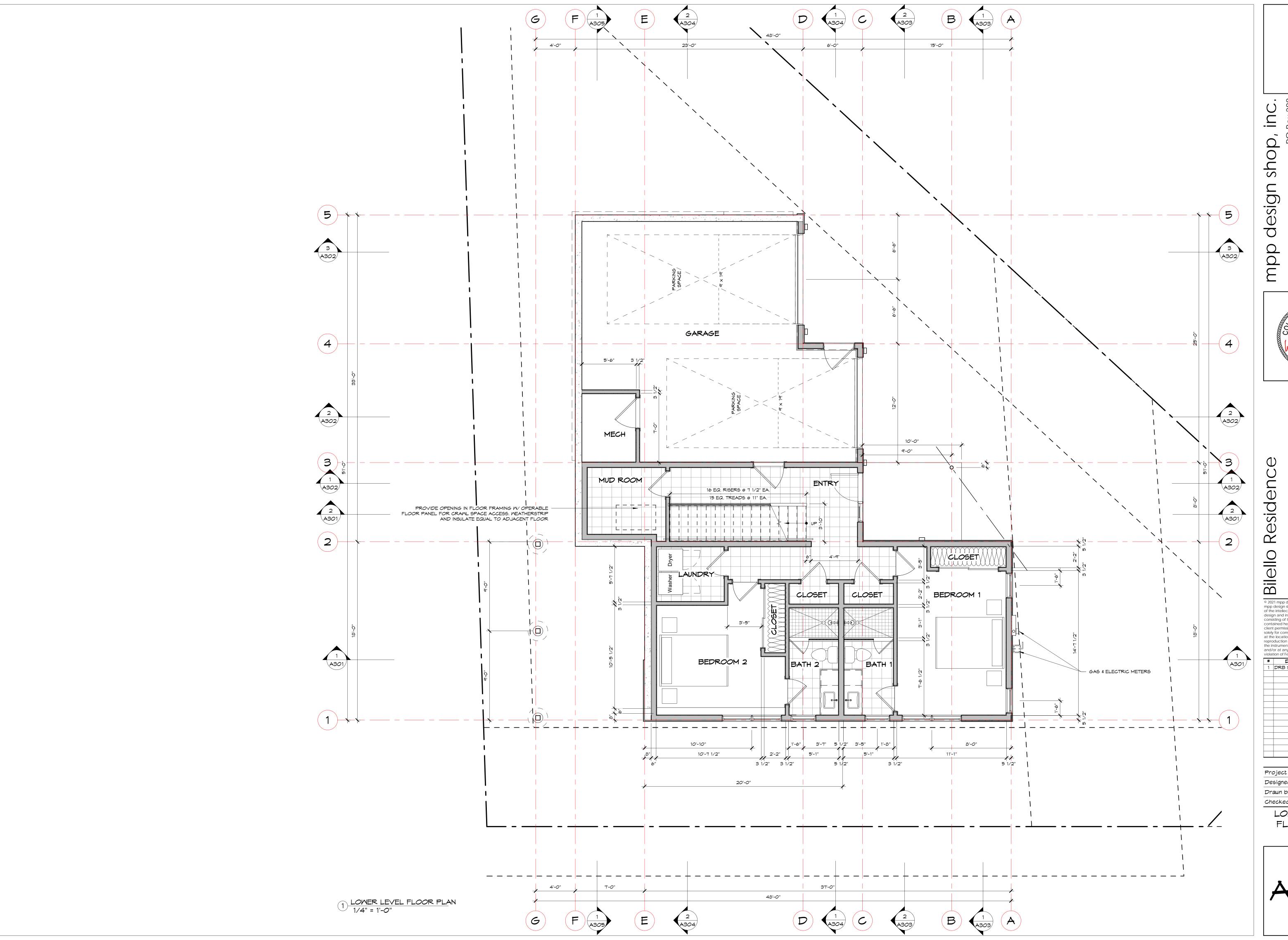


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#	Description	Date
1	DRB Submission	01/06/2
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Project Number:	2007
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Checked by:	трр

FOUNDATION PLAN



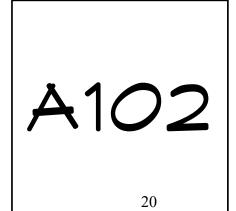


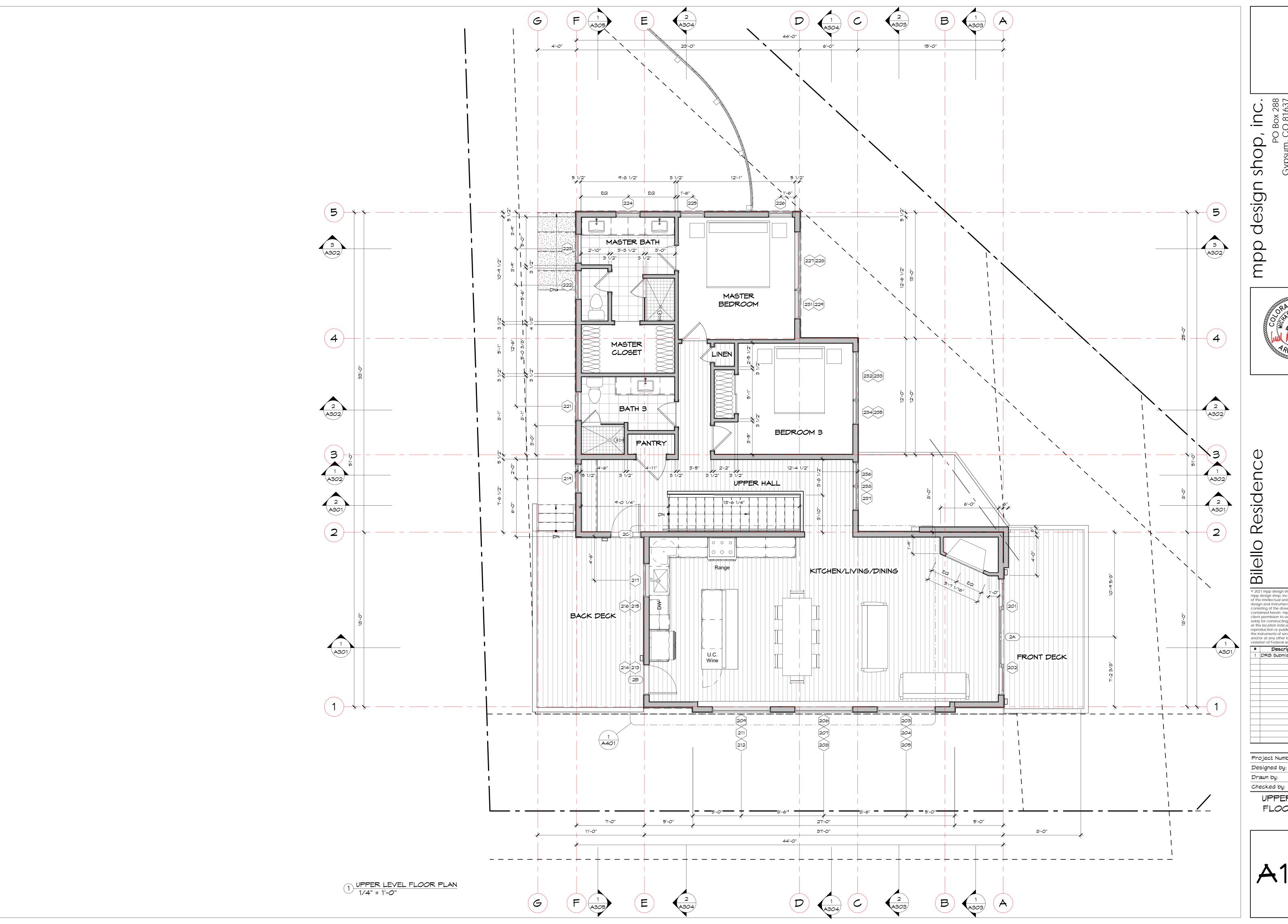
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LOWER LEVEL					

FLOOR PLAN





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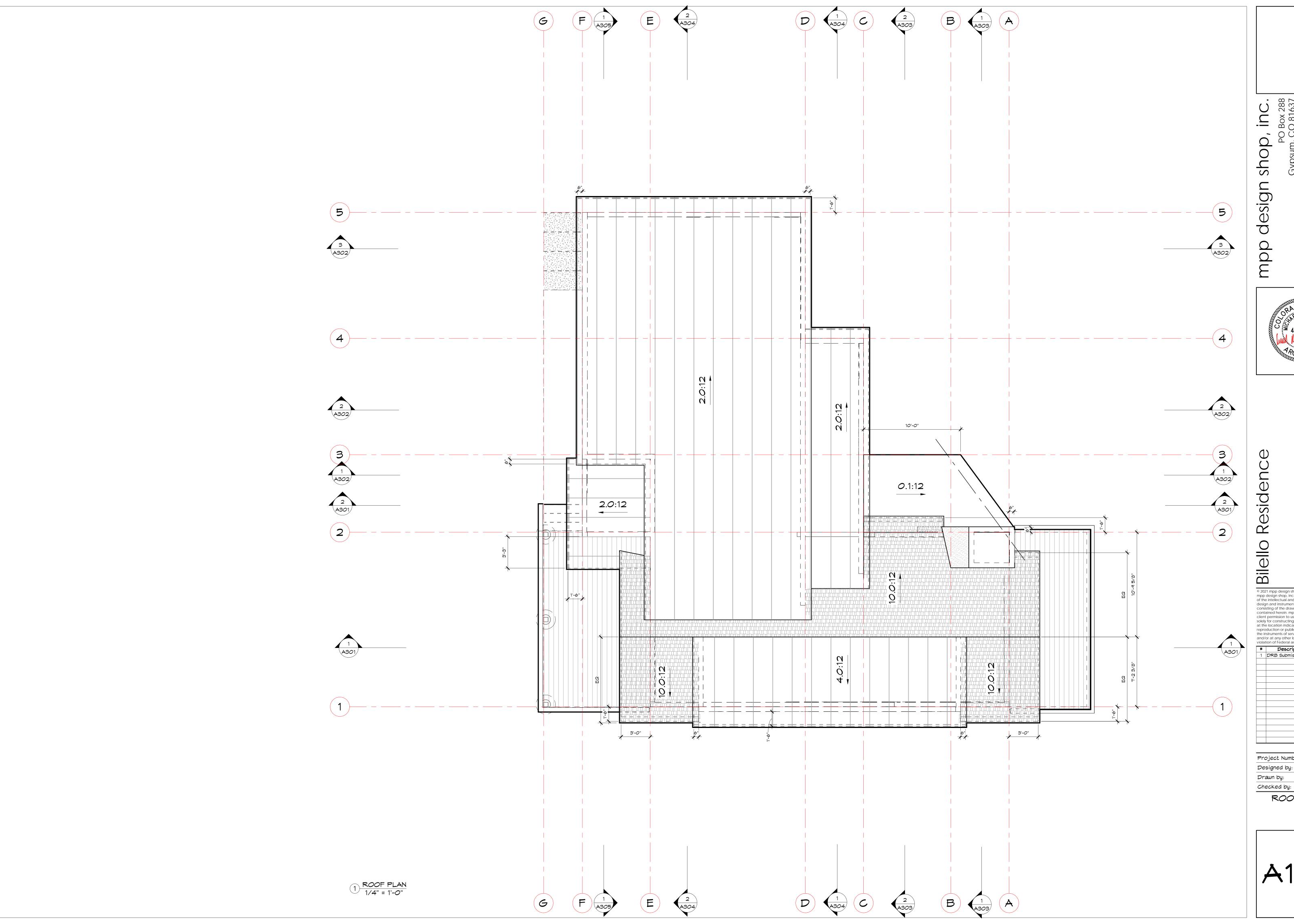
the oro e in d/o	for constructing and maintaile e location indicated herein. Re duction or publication, in who struments of service by any o or at any other location is prol ion of Federal and State Cop-	euse, ble or in part, ther entity hibited and i
‡	Description	Date
1	DRB Submission	01/06/2

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Prawn by:	mr
Pesigned by:	mp
roject Number:	200

UPPER LEVEL FLOOR PLAN

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21

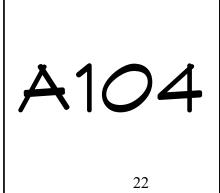


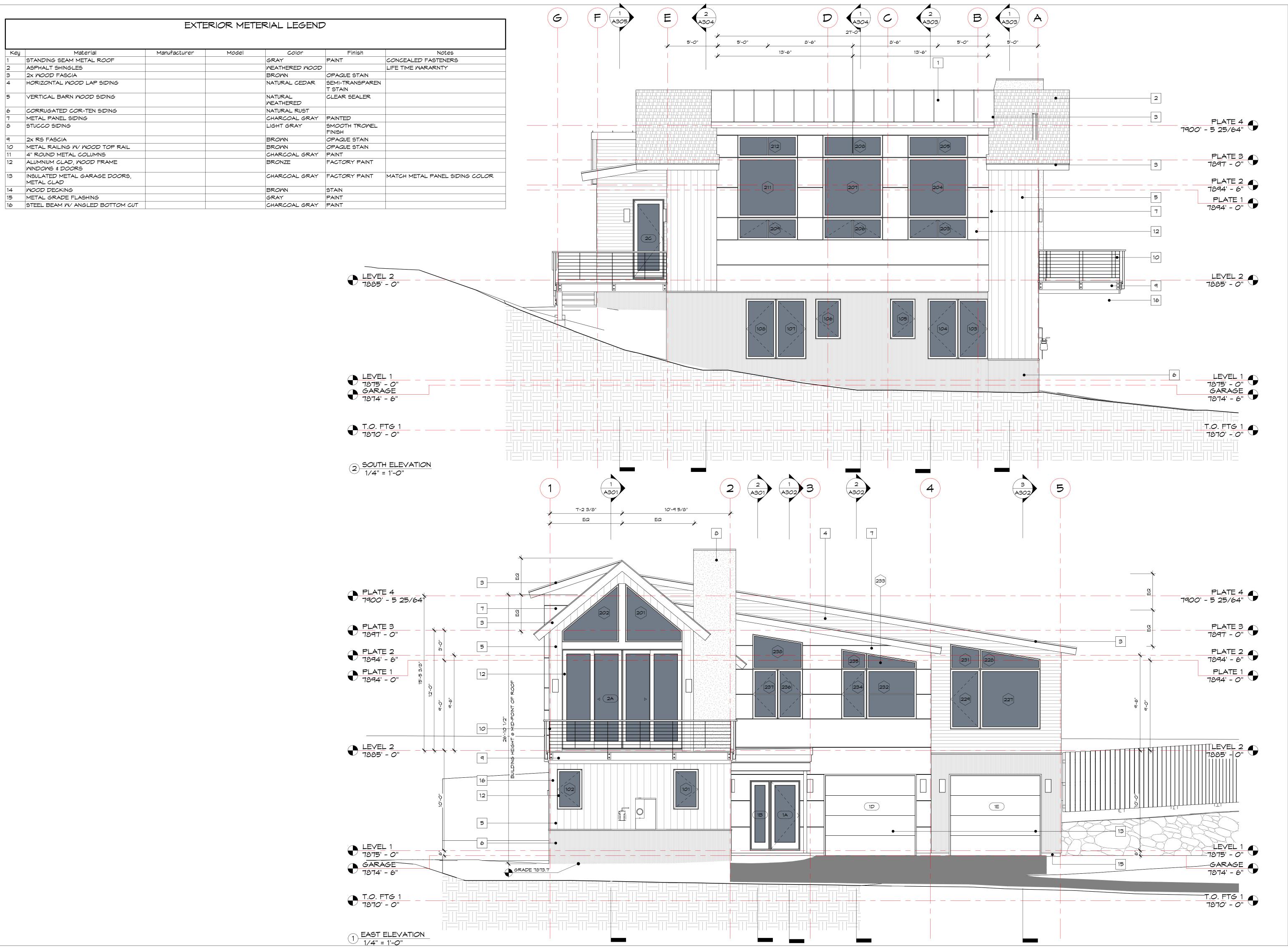
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Designed by:	mpp
Drawn by:	mpp
Checked by:	mpp

ROOF PLAN





shop, inc design ddw



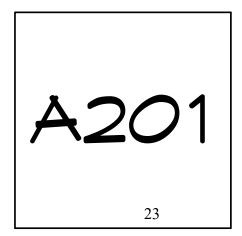
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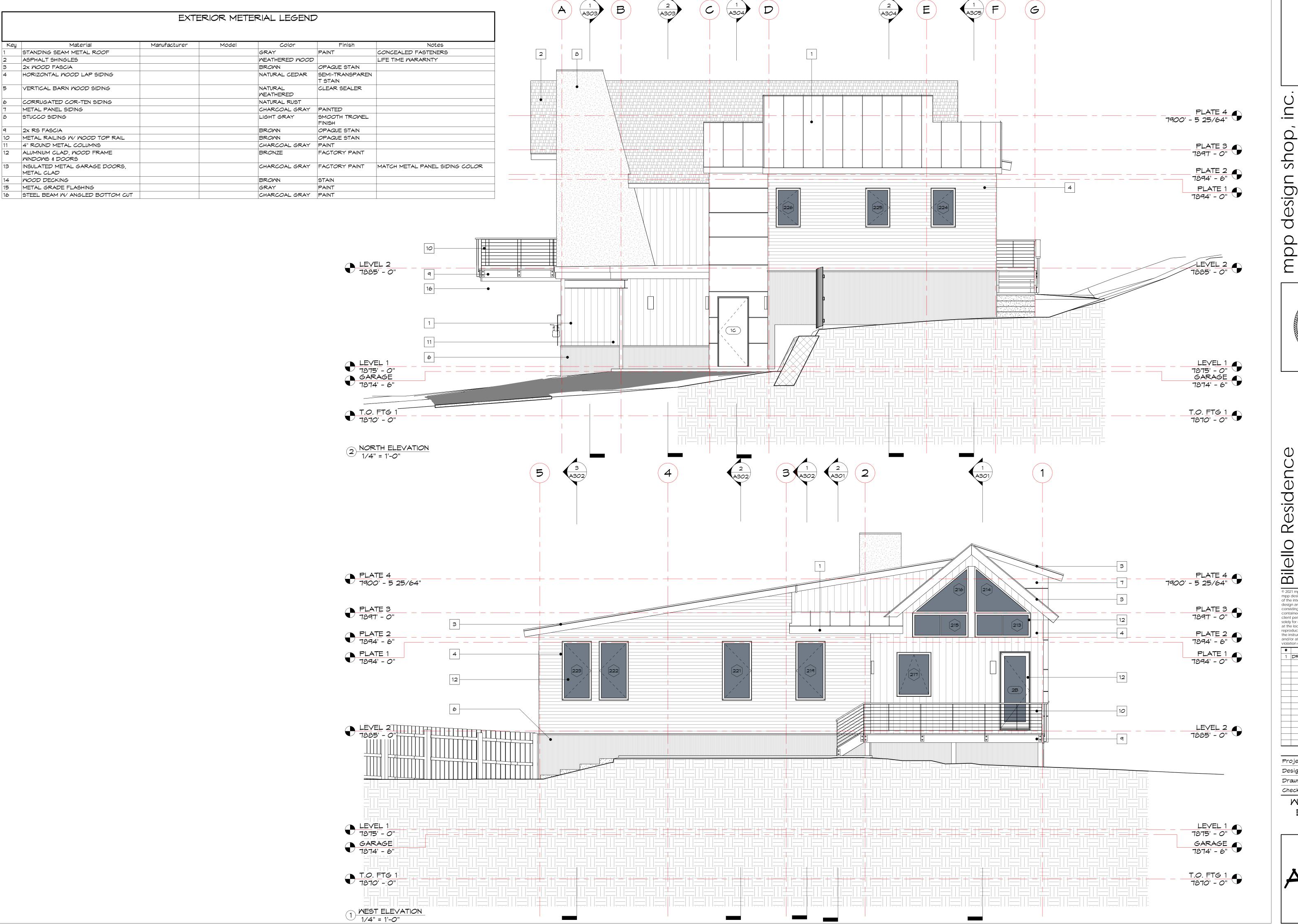
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1 DRB Submission 01/06/21

Project Number:			2007
Designed by:			трр
Drawn by:			трр

трр Checked by: EAST & SOUTH

ELEVATIONS





shop, inc design ddw

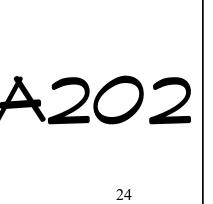
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Description	Date		
DRB Submission	01/06/21		

Project Number: 2007 mpp mpp Designed by: Drawn by: Checked by:

MEST & NORTH ELEVATIONS



EXTERIOR DOOR SCHEDULE Mark Type Description Width Height R							
Mark Type Description Width Height R A 1 ENTRY 3' - 0" 7' - 0" <=0.3 1 2 ENTRY SIDE-LITE 2' - 0" 7' - 0" <=0.3 1 3 SOLID PANEL 3' - 0" 7' - 0" <=0.3 1 4 OVERHEAD GARAGE 3' - 1 7/16" 7' - 11 1/2" <=0.3	EXTERIOR DOOR SCHEDULE						
1 ENTRY 3'-0" 7'-0" <=0.3 2 ENTRY SIDE-LITE 2'-0" 7'-0" <=0.3 3 SOLID PANEL 3'-0" 7'-0" <=0.3 1							
1 3 2 ENTRY SIDE-LITE 2' - 0" 7' - 0" <=0.3 1 2 3 SOLID PANEL 3' - 0" 7' - 0" <=0.3 1 3 4 OYERHEAD 3' - 1 7/16" 7' - 11 1/2" <=0.3 GARAGE	Comments						
1 3 2 ENTRY SIDE-LITE 2' - 0" 7' - 0" <=0.3 1 2 3 SOLID PANEL 3' - 0" 7' - 0" <=0.3 1 3 4 OYERHEAD 3' - 1 7/16" 7' - 11 1/2" <=0.3 GARAGE							
1 2 3 SOLID PANEL 3' - 0" 7' - 0" <=0.3 1 3 4 OVERHEAD 3' - 1 7/16" 7' - 11 1/2" <=0.3 GARAGE							
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3 SOLID PANEL 3' - 0" 7' - 0" <=0.3 1							
1 3 4 OVERHEAD 3' - 1 7/16" 7' - 11 1/2" <=0.3 GARAGE							
3 4 OVERHEAD 3' - 1 7/16" 7' - 11 1/2" <=0.3 GARAGE							
GARAGE							
C 4 OVERHEAD 3' - 1 7/16" 7' - 11 1/2" <=0.3							
GARAGE							
2							
4 5 4-PANEL SLIDER 12' - 0" 10' - 0" <=0.3							
1							
6 GLASS FRENCH 9' - 0" 8' - 0" <=0.3							
6 GLASS FRENCH 9' - 0" 8' - 0" <=0.3							

TOTAL EXTERIOR DOOR COUNT: 8

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3 22 FIXED TRAP 5' - 0" 1' - 7" <=0.3	33	22	FIXED TRAP	5' - 0"	1' - 7"	<=0.3	

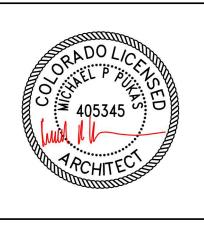
TOTAL MINDOM COUNT: 42

FENESTRATION NOTES

- 1. IRC 303.1.3: U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH THE NERG, TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE
- THE NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE.

 2. ALL EXTERIOR WINDOWS U-FACTOR TO BE: <=0.3, U.O.N.
- ALL EXTERIOR MINDOMS U-FACTOR TO BE: <-0.3, U.O.N.
 ALL EXTERIOR MINDOMS FRAME TO BE: MOOD FRAME, ALUMINUM CLAD, U.O.N.
- 4. ALL EXTERIOR WINDOWS GLAZING TO BE: LOW-E, AIR FILLED INSULATED, U.O.N.

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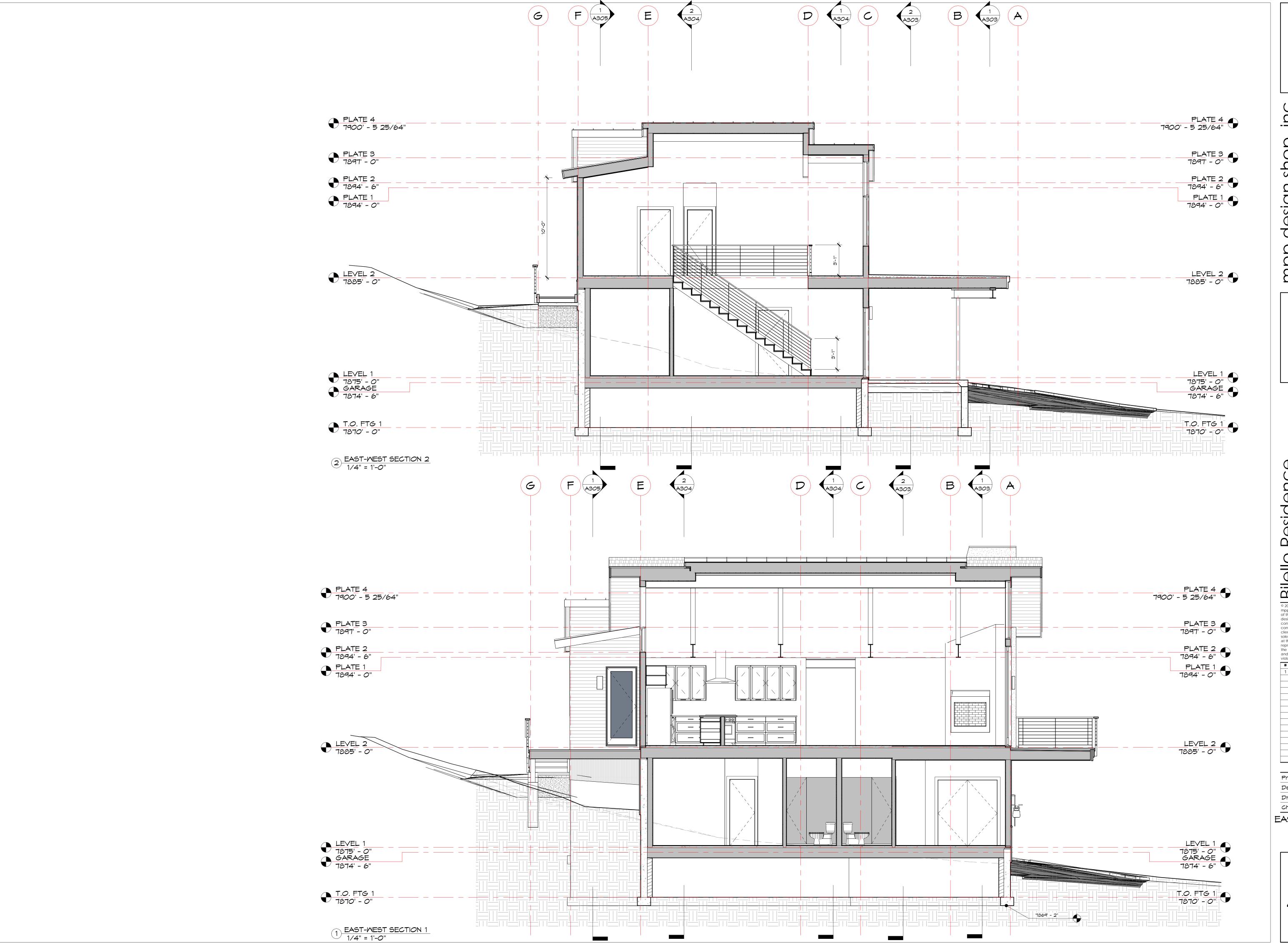
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#	Description	Date

Checked by:	трр
Drawn by:	трр
Designed by:	трр
Project Number:	2007

MINDOM & DOOR SCHEDULE





mpp design shop, inc.

PO Box 288 Gypsum, CO 81637 (970) 390-4931 nppdesignshop.com

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Description Date

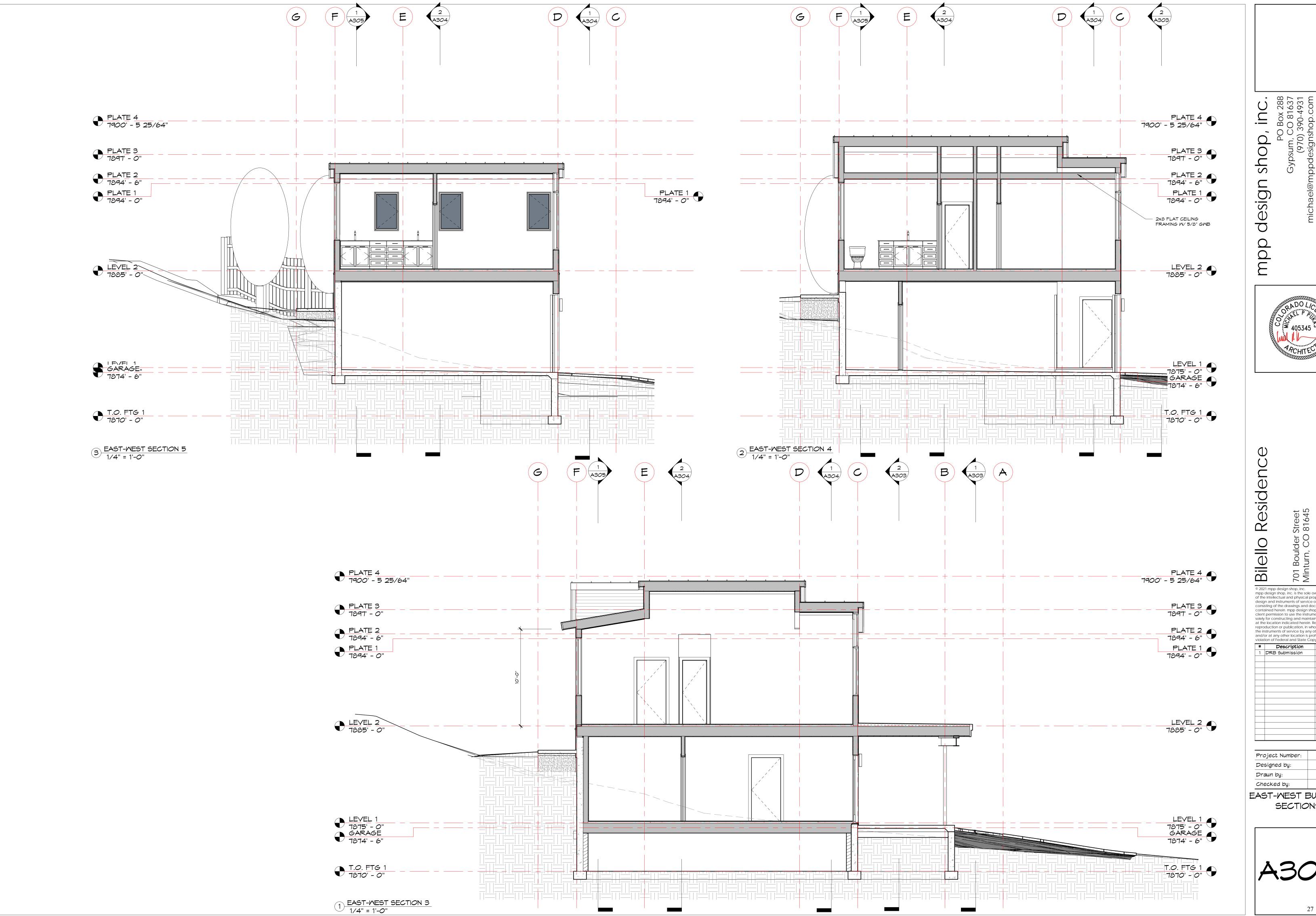
1 DRB Submission 01/06/21

Project Number: 2007 Designed by: mpp
Drawn by: mpp
Checked by: mpp

EAST-WEST BUILDING

SECTIONS





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Description Date

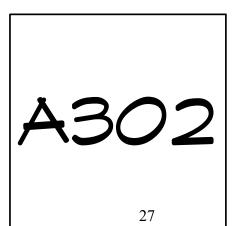
1 DRB Submission 01/06/21

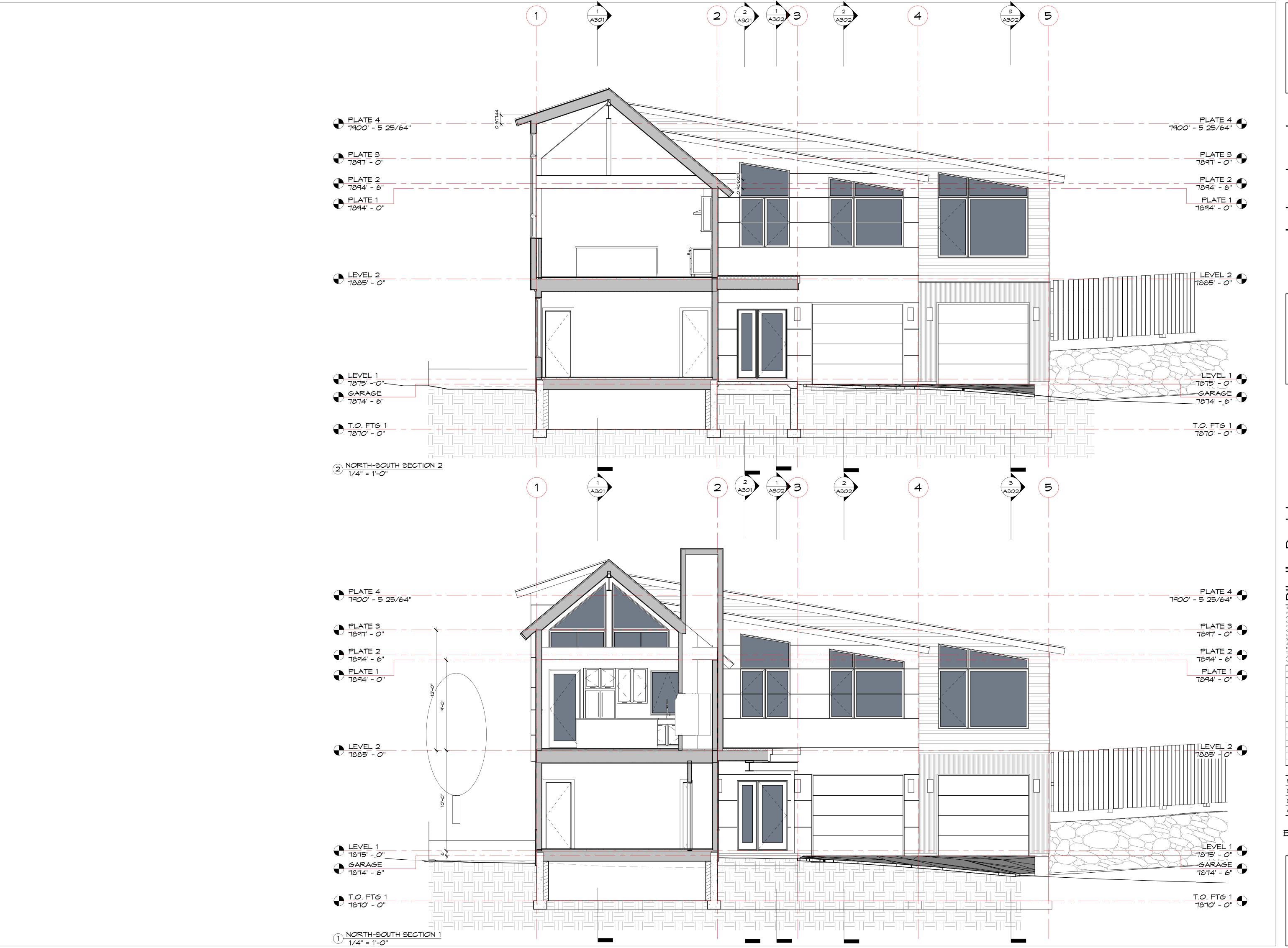
Description	Date
RB Submission	01/06/2

Project Number: 2007 Designed by: mpp
Drawn by: mpp
Checked by: mpp

EAST-WEST BUILDING

SECTIONS







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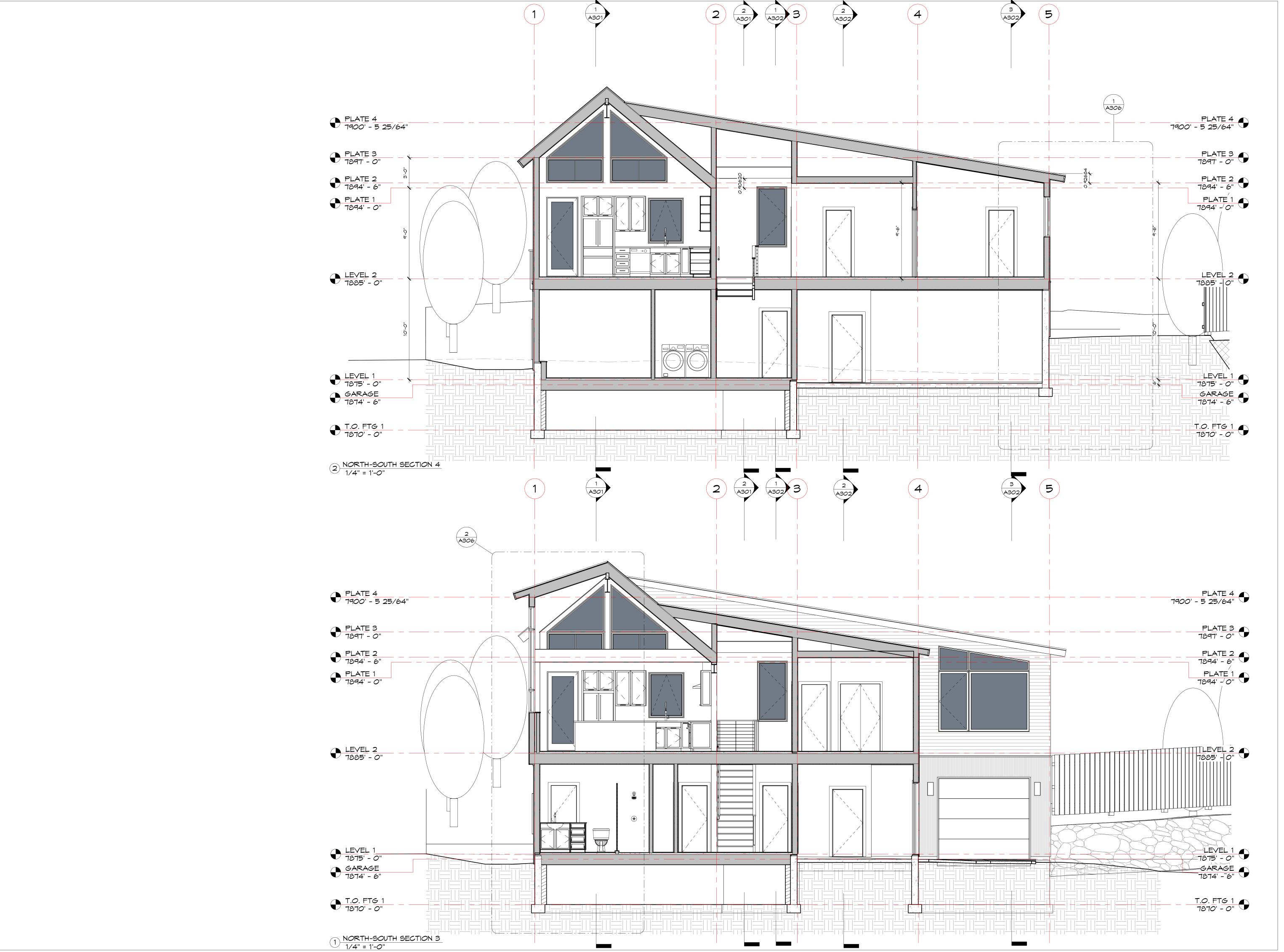
Description Date

1 DRB Submission 01/06/21

roject Number:	200
Pesigned by:	mp
Prawn by:	mp
hecked bu:	mr

NORTH-SOUTH
BUILDING SECTIONS







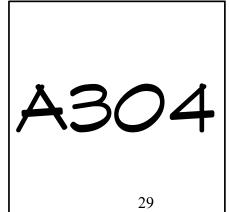
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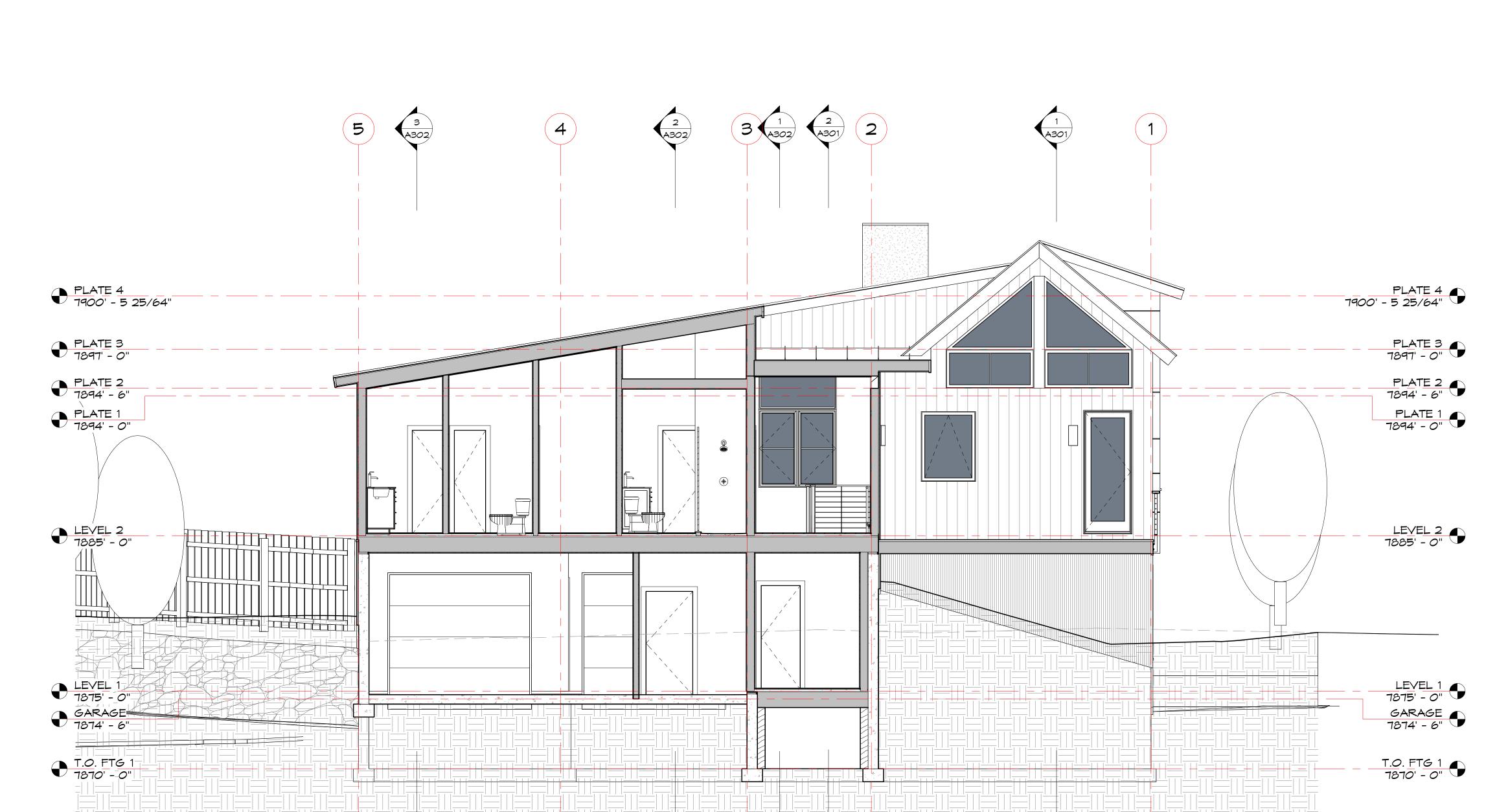
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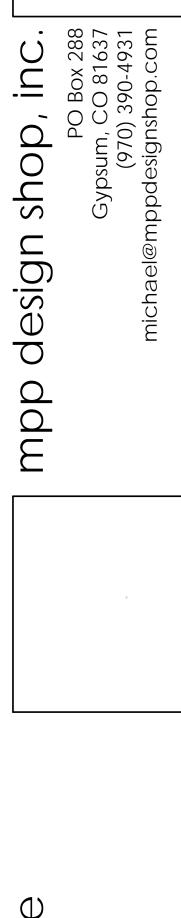
roject Number:	200
Pesigned by:	mp
Prawn by:	mp
checked by:	mp

NORTH-SOUTH BUILDING SECTIONS





1 NORTH-SOUTH SECTION 5 1/4" = 1'-0"



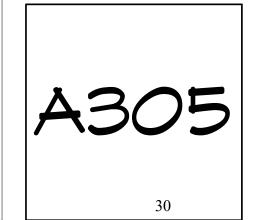
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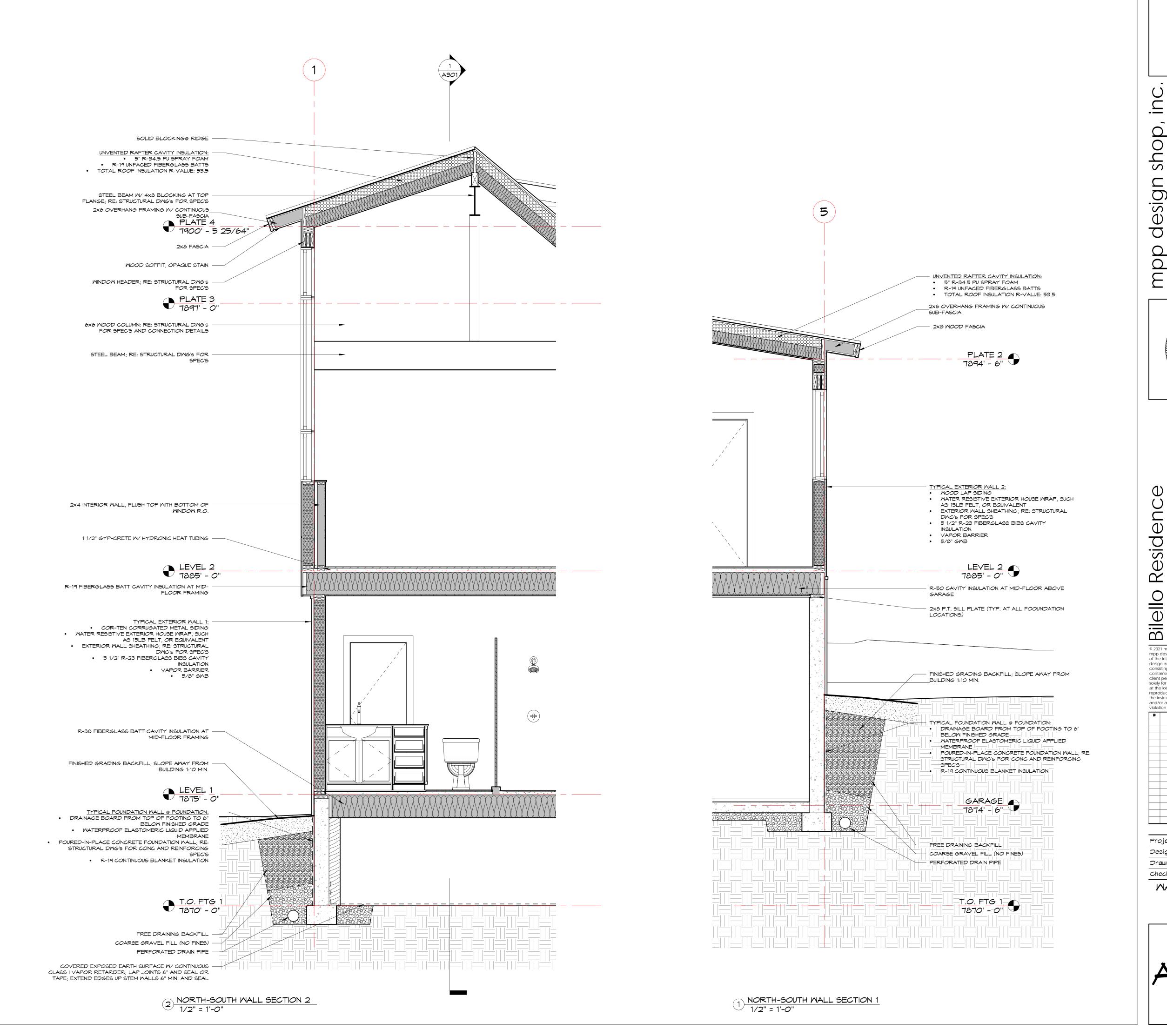
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#	Description	Date
1	DRB Submission	01/06/2
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Checked by:	трр	
NORTH-SOUTH		
BUILDING SECTIONS		





mpp design shop, inc.

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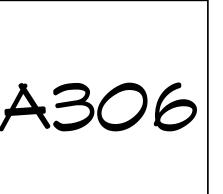
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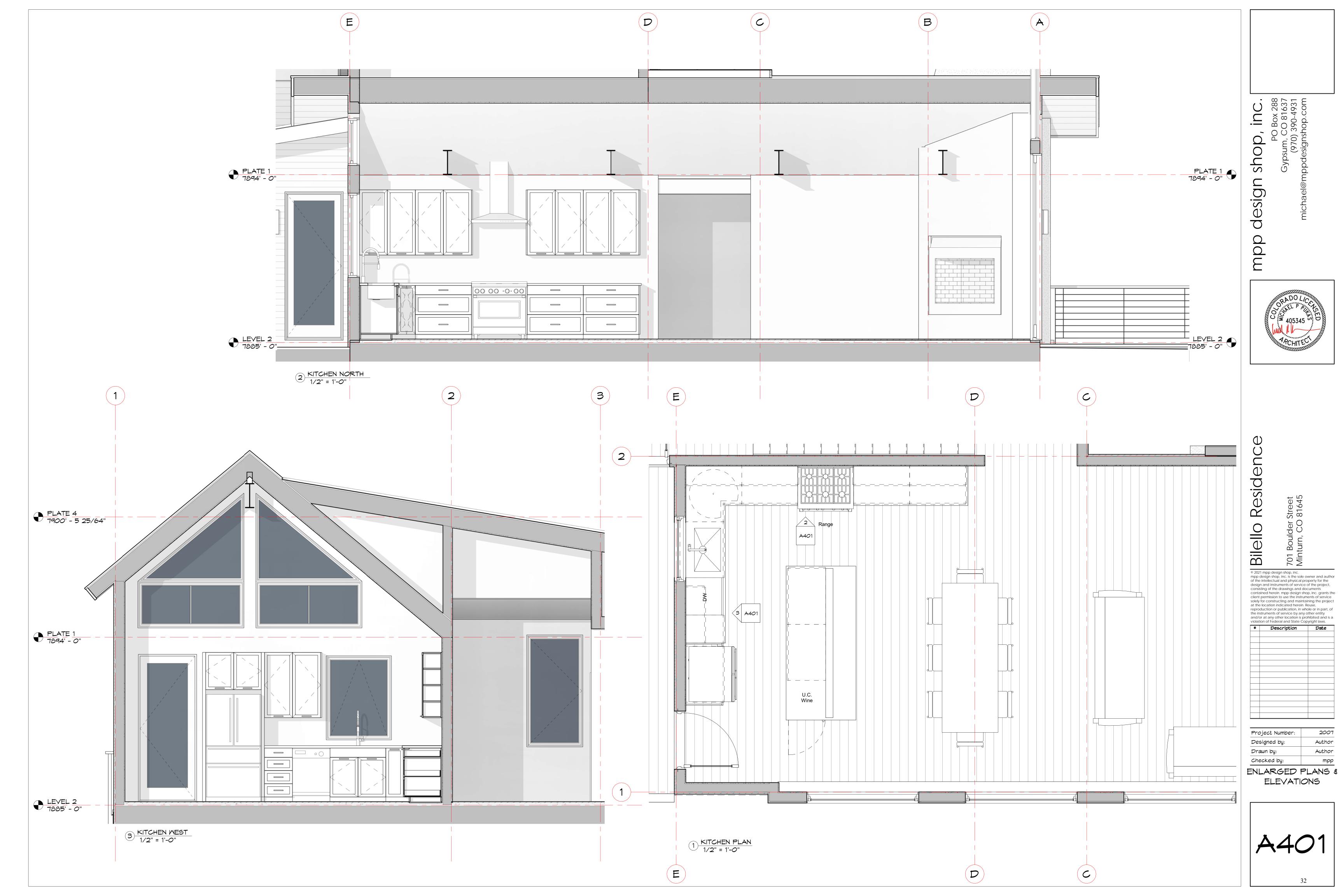
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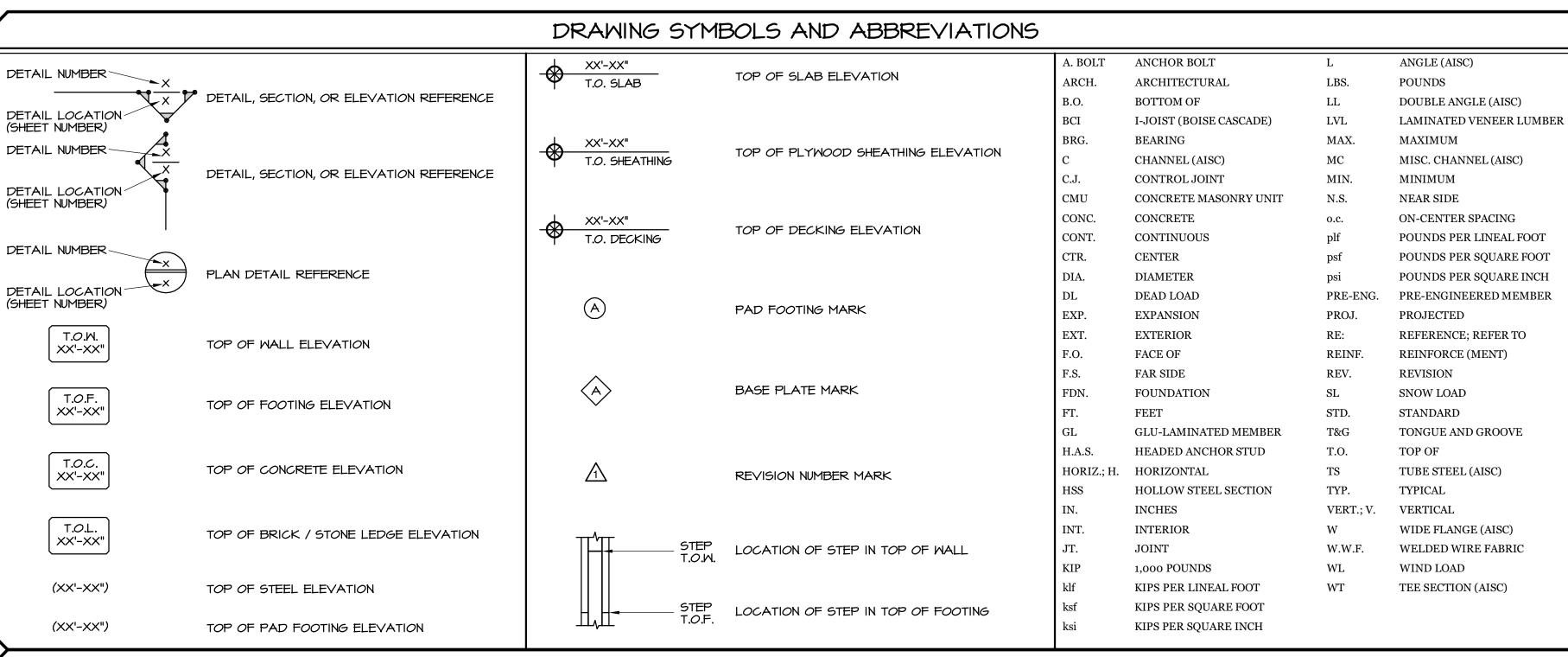
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WALL SECTIONS

VALL SLOTIONS







GENERAL STRUCTURAL NOTES

STRUCTURAL DESIGN CRITERIA

A. Roof Live Load:

These General Structural Notes apply to these Structural Drawings and supplement the project Specifications. Refer to the Project Manual for additional requirements.

. This project is located in Minturn, Colorado and has been designed in accordance with the 2015 Edition of the International Residential Code (including applicable amendments and supplements).

Uniform Snow

100 psf

. Design Loads:

			1
В.	Floor Live Loads:	Residential Light Storage Stairs & Corridors Balconies & Decks	40 psf 125 psf 100 psf 100 psf
C.	Wind Analysis:	Basic Wind Speed Exposure	90 mph (3-second gu 'C'
D.	Seismic Analysis:	Seismic Design Category	'B'
E.	Frost / Fdn. Depth:	48" minimum below ext bottom of footing elevati	

4. Structural Design References:

American Concrete Institute (ACI); ACI 301, ACI 318, ACI 530 American Institute of Steel Construction (AISC) American Institute of Timber Construction (AITC) American Iron and Steel Institute (AISI) American Plywood Association (APA) American Society of Civil Engineers (ASCE); ASCE 7 American Society for Testing and Materials (ASTM) American Welding Society (AWS) National Design Specification for Wood Construction (NDS) International Residential Code (IRC)

COORDINATION:

Written dimensions take precedence over scaled dimensions. All dimensions noted within the Structural Drawings shall be verified with the Architectural Drawings. Refer to Mechanical, Electrical, Plumbing, and Architectural Drawings for openings not noted within the Structural Drawings. Any dimensional liscrepancies shall be noted in writing for review by the Architect and Structural Engineer.

Shop drawings shall be prepared by the fabricator. Copying of these Construction Documents for use as shop drawings will not be permitted.

The Contractor shall verify existing conditions prior to commencement of work, and shall notify the Architect and Structural Engineer for any interpretation or clarification.

Field Modifications to Structural Members:

The Contractor is responsible for securing the Architect's and Structural Engineer's approval prior to any cutting, notching, drilling or other modifications which may affect the integrity of the structure. When such modifications have been approved, they are to be completed in accordance with applicable building codes and manufacturer's instructions.

. Duty of Cooperation:

ssuance of these documents presupposes further cooperation among the Owner, Contractor, Architect and Structural Engineer. Building design and construction are complex, and every contingency cannot be anticipated. Although the Structural Engineer(s) have performed their services with due care and liligence, they cannot guarantee perfection. Any ambiguity or discrepancy discovered through the use of hese documents shall be promptly reported to the Architect and Structural Engineer for further clarification. Failure to do so may compound misinterpretation and increase construction costs, and such failure shall relieve the Structural Engineer of responsibility from consequences which may arise.

Changes to the Work:

ubstitution of noted structural products or "approved equivalent" products will be acceptable only with the written approval of the Structural Engineer. Changes to the Contract Documents made without approval are unauthorized and shall relieve the Structural Engineer of responsibility from consequences which may arise.

Jobsite Safety:

These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the jobsite safety of all personnel, work, materials, utilities, equipment and adjacent properties in accordance with accepted codes, regulations and industry practices.

STRUCTURAL CONCRETES

. Concrete has been designed and shall be constructed in accordance with the American Concrete Institute (ACI). Refer to the "Field Observations" paragraph of these General Structural Notes for observation requirements. All concrete shall be of stone aggregate, unless noted otherwise. Refer to the Project Manual and Specifications for additional requirements (durability, color, finish, etc.). **The use of** | Engineer prior to installation. Refer to the Manufacturer Installation Guide for further construction any concrete additive containing chlorides is prohibited.

. Minimum 28-day compressive strength shall be as follows:

A.	Foundation Walls	3,000 psi
B.	Footings	3,000 psi
C.	Slabs on Grade	4,000 psi
D.	Topping Slabs	4,000 psi
E.	All other concrete	3,000 psi

. Reinforcing is to be new billet steel ASTM A615 Grade 60 (field bent or welded bars shall be ASTM A706, Grade 60). No welding of reinforcement is permitted unless detailed. No splices of reinforcement are permitted except as detailed or authorized by Structural Engineer. Provide corner and bars to match all horizontal reinforcing. **Provide minimum (2)#5 bars around all sides of all openings in concrete and extend 2'-o" minimum past edges of openings.** Where permitted, use contact lap splices (40 bar diameters minimum lap). Welded wire fabric (W.W.F.) shall be in accordance with ASTM A185. Provide a minimum (1) full mesh lap at splice locations.

4. Placing of Reinforcement: Form ties are to be used for bar supports only when the clear dimensions shown on the details can be maintained. Provide wire chairs, bolsters, additional reinforcement, and accessories necessary to support reinforcement at position shown in the Structural Drawings. Support of reinforcement on wood, brick, or other unacceptable material will not be permitted.

5. The following minimum concrete cover over reinforcing shall be provided unless noted otherwise:

A.	Concrete cast against and permanently exposed to earth	3 inches
B.	Concrete exposed to earth or weather (#5 bars and smaller)	1-½ inches
C.	Piers, Beams and Columns	1-1/2 inches

STRUCTURAL STEEL:

Structural steel, including embedded angles, plates or other sections has been designed and shall be detailed and erected in accordance with the American Institute of Steel Construction (AISC), ASD Specifications and Code of Standard Practice. Steel detailing and erection shall accommodate provisions of AISC and OSHA standards (including OSHA Steel Erection Standard Part 1926, Subpart "R").

Grade B), 50 ksi for wide flange members (ASTM A572, Grade 50), and 36 ksi for all others (ASTM A36). above.

3. Connections: Use standard framed beam connections meeting requirements of the AISC Manual of Steel Construction (ASD). Use 3/4" diameter minimum A325N bolts or welded equivalent. Minimum welds are per AISC, and not less than 3/16" continuous fillet using E70XX electrodes (unless noted otherwise). Welding of rebar anchors to angles or plates shall be completed to develop a minimum 150% of the yield strength of the reinforcing bar. Headed stud anchors shall conform to AWS D1.1 and shall be automatically end welded in the shop (unless noted otherwise). See specifications for testing requirements.

STRUCTURAL TIMBER:

Structural Timber has been designed and shall be constructed in conformance with provisions of the NDS Specification for Stress Grade Lumber and its Fastenings. The Contractor shall not cut, notch, or otherwise modify timber members without the written consent of the Structural engineer. Provide cross-bridging at 8'-o"o.c. maximum, and provide solid blocking between joists at all bearing supports.

2. Framing Lumber (minimum requirements) shall be as follows:

Wall Studs	Hem-Fir (HF) Construction Grade
Floor Joists (2x members)	Hem-Fir (HF) #2 Grade or Better
Floor Beams	Douglas-Fir (DF) #1 Grade Beam & Stringer
Roof Rafters (2x members)	Hem-Fir (HF) #2 Grade or Better
Roof Beams	Douglas-Fir (DF) #1 Grade Beam & Stringer

Posts / Columns Douglas-Fir (DF) #1 Grade Post & Timber G. T&G Wood Decking Douglas-Fir (DF) Commercial Grade

. Wall, roof, and floor sheathing shall meet the minimum requirements of the APA and AITC. Provide thicknesses and fasten to framing members as noted in the Structural Drawings. Panels are to be oriented to span along their strong axis, and all panel joints are to be staggered.

4. Pre-fabricated structural connectors shall be as manufactured by Simpson Strong-Tie Company or approved equivalent.

STRUCTURAL TIMBER (CONT.):

I-joists (BCI) shall be as manufactured by Boise Cascade Corporation or approved equivalent. Provide member size and series as noted in the Structural Drawings. The Supplier shall furnish shop drawings showing all joist members, bridging, blocking, and miscellaneous accessories for review by the Structural

. Laminated Veneer Lumber (LVL) shall be as manufactured by Boise Cascade Corporation or approved equivalent. Provide member size as noted in the Structural Drawings (Fb = 2,800 psi minimum). Refer to the Manufacturer Installation Guide for further construction requirements.

7. Glue-Laminated (GL) members shall Visually Graded Western Species, conforming to combination 24F-V4 (multiple span beams shall be 24F-V8) strength and stiffness requirements, unless otherwise noted. Ship members to the jobsite stored in manufacturer's protective wrapping. Refer to Architectural drawings for appearance grade requirements.

8. Pre-Engineered wood roof trusses shall be designed by a registered Professional Engineer licensed in the State of Colorado. Calculated live load deflections of all trusses shall not exceed 1/240 of the span length. Shop drawings and calculations bearing the seal and signature of the design engineer shall be submitted for the review of the Structural Engineer. These submittals shall indicate the design loads, locations of all trusses, connection plate sizes and capacities, and the size and grade of lumber to be used. Shop drawing review by the Structural Engineer must be completed prior to truss fabrication. The truss nanufacturer shall indicate and provide blocking at bearing locations and lateral bridging as required for truss stability.

FOUNDATIONS:

The structure shall be founded upon spread footings placed upon APPROVED undisturbed natural soilsr compacted structural fill with an **ASSUMED** maximum allowable bearing pressure of 2,500 psf.

Retaining walls have been designed in accordance with the following **ASSUMED** design values:

A.	Coefficient of Friction	0.40
В.	Lateral Earth Pressure	50 pcf
C.	Passive Pressure	300 pcf

Provide 1 ½" void below all non-bearing partitions constructed upon slabs on grade.

4. The soil design pressures and coefficients noted above are assumed values and must be verified by a qualified soils engineer prior to foundation construction. Once these values have been verified, the Structural Engineer must be informed and allowed sufficient time . Minimum yield strengths (Fy) are 35 ksi for pipes (ASTM A53, Grade B), 46 ksi for tubes (ASTM A500, to re-evaluate the foundation system if these values differ from the assumptions listed

> The Soils Engineer shall review all foundation excavations prior to the placement of formwork or reinforcement. All structural fill shall be observed and tested by the Soils Engineer during the grading and fill placement process.

FIELD OBSERVATIONS:

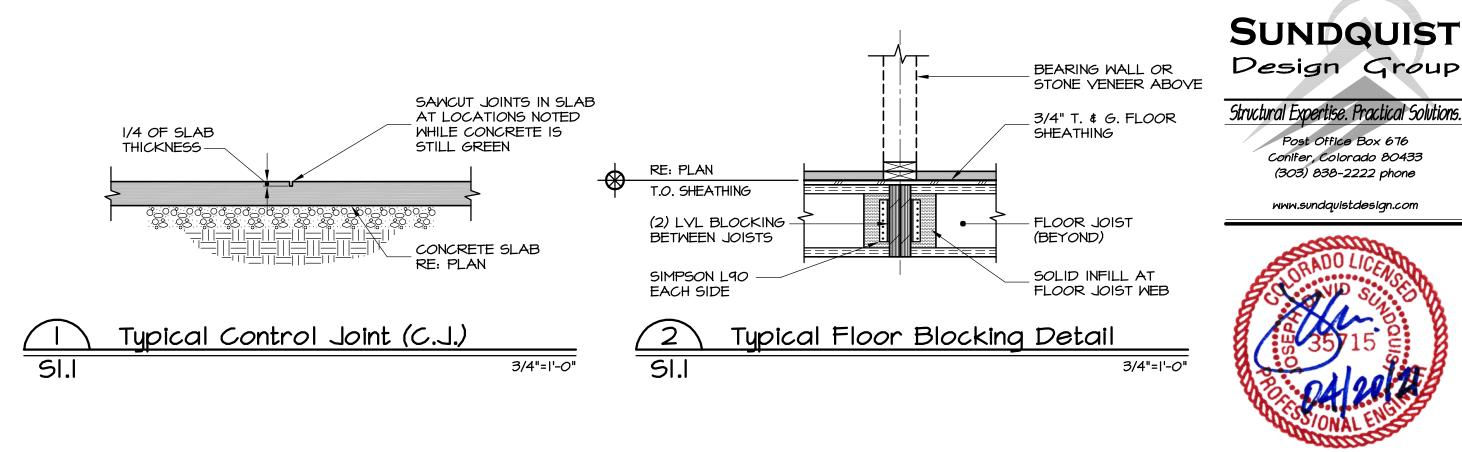
The Contractor shall inform the Structural Engineer at least 72 hours prior to casting any concrete so as to allow the Structural Engineer the opportunity to review the placement of reinforcement and

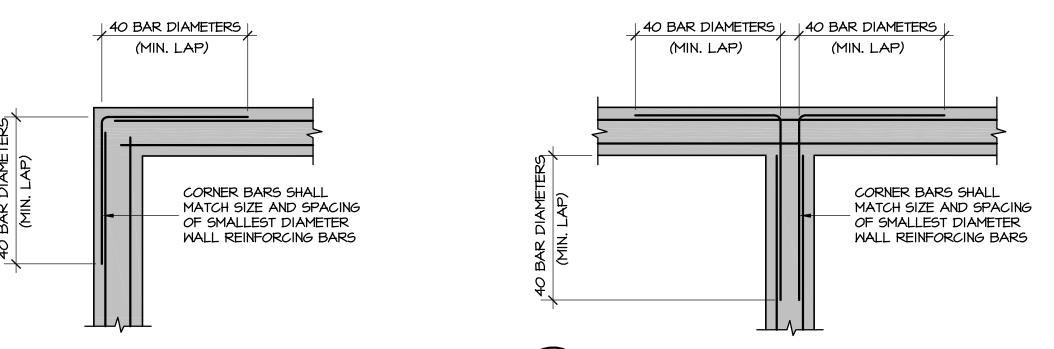
Contact Sundquist Design Group, Inc. at (303) 838-2222.

SPECIAL INSPECTIONS:

. It is the responsibility of the Contractor to coordinate all structural inspections as required by governing building codes and the Construction Documents. A qualified independent testing company is to provide Special Inspections for portions of the Work, as indicated in the Construction Documents and as required by local jurisdictions.

. The Special Inspector shall be responsible for completing, maintaining, and resubmitting all special inspection logs and forms required by Local Building Officials.





3/4"=1'-0"



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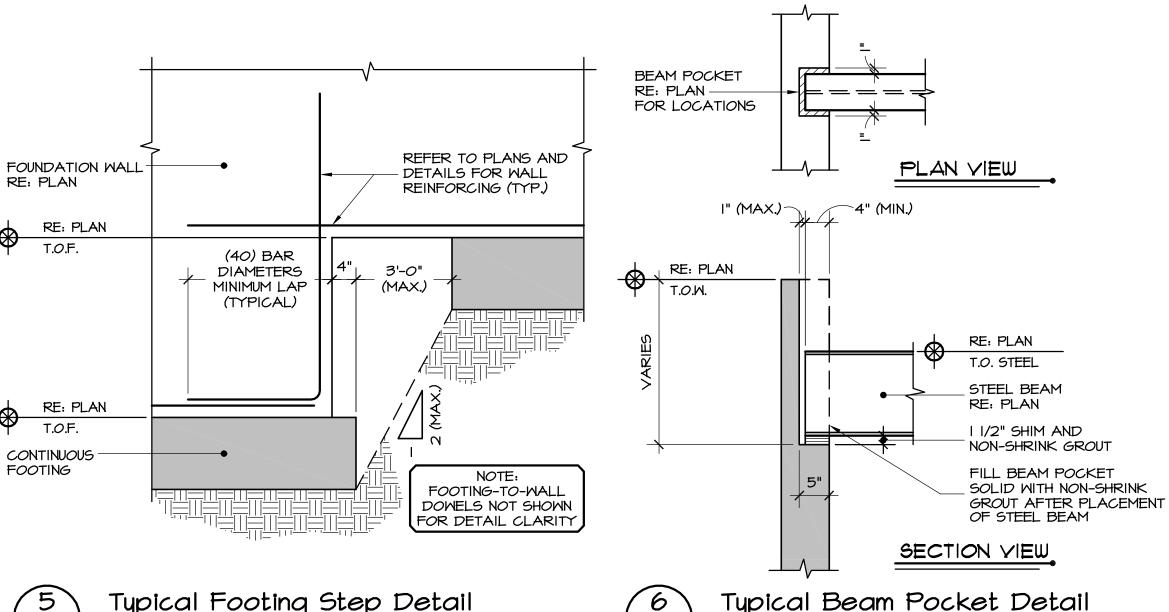
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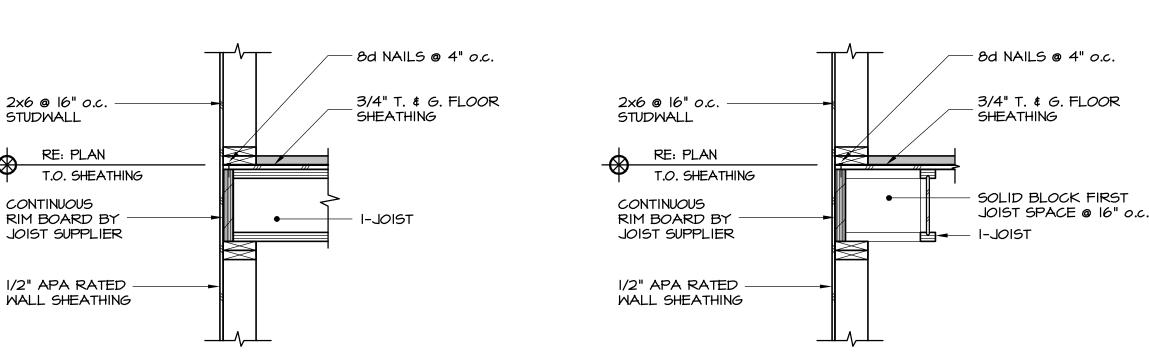




Tupical Corner Reinforcing



Tupical Intersection Reinforcing





Typical Floor Framina Detail

Drawn By • JDS Checked By Date • Issue 02/01/21 • Review Set 04/15/21 • Review Set 04/20/21 • Construction

SDG Project No. • 20-059

• 04/20/2021

Title • General Notes and Standard Details



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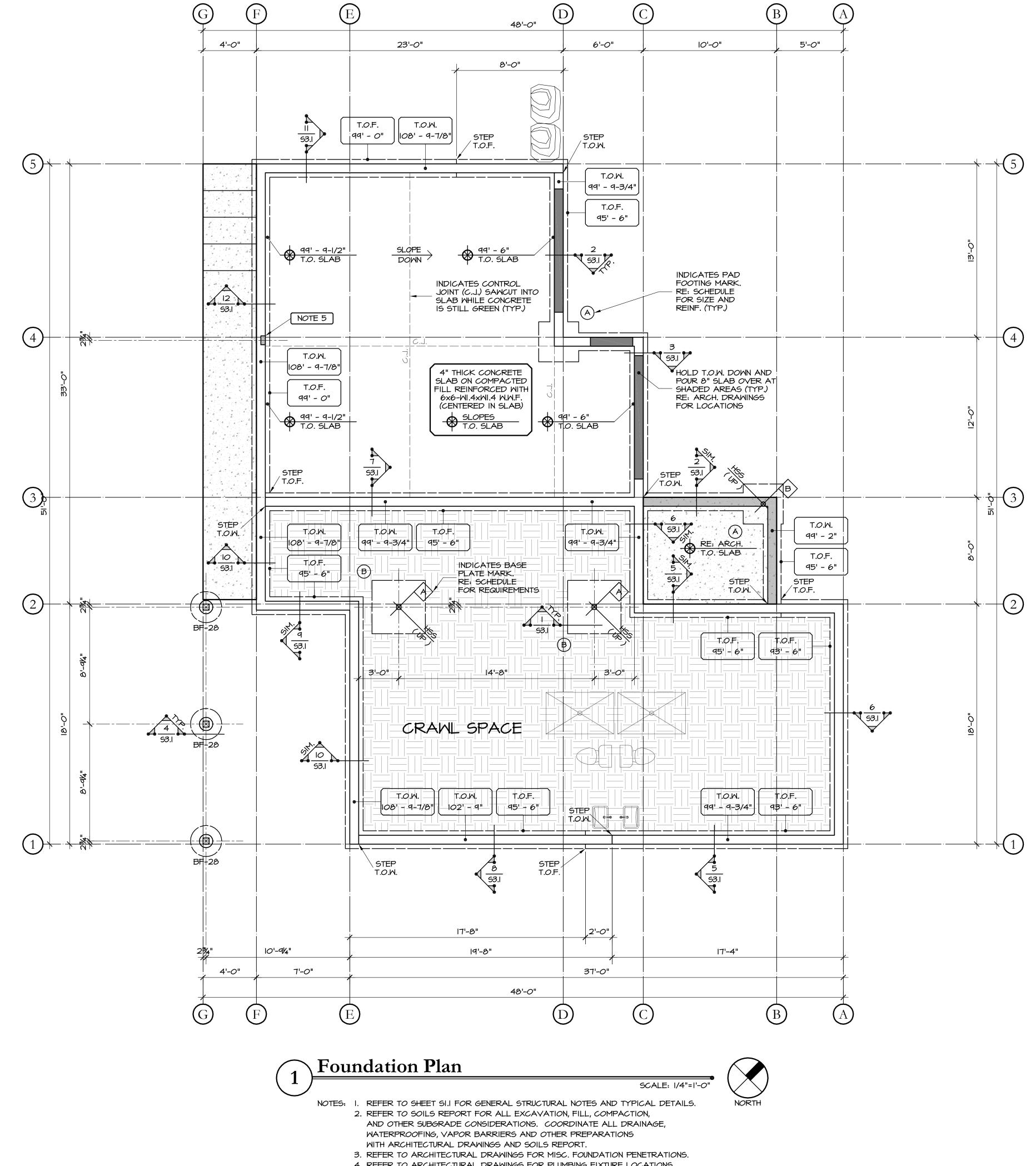
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Checked By	•	JDS

Date • Issue 02/01/21 • Review Set 04/15/21 • Review Set 04/20/21 • Construction

Title • Foundation Plan



PAD FOOTING SCHEDULE

B BASE PLATE THICKNESS = 3/4"

BASE PLATE SCHEDULE

| 1/2" | (TYP.)

A BASE PLATE THICKNESS = 3/4"

3/16"

(4) 3/4" ANCHOR BOLTS (TYP.) HSS COLUMN

& COLUMN AND BASE PLATE

(4) 3/4" ANCHOR BOLTS (TYP.) HSS COLUMN RE: PLAN

& COLUMN AND

BASE PLATE

RE: PLAN

MARK	FOOTING DIMENSIONS Plan Size Depth		REINFORCING
A	3'-0" × 3'-0"	0'-10"	(4) # 5 Bars Each Way
В	4'-0" × 4'-0"	1'-0"	(5) # 5 Bars Each Way
0			
(D)			

NOTES: I. PAD FOOTINGS ARE TO BE CENTERED BELOW COLUMN CENTERLINES (U.N.O.). 2. PROVIDE 3" CLEAR DISTANCE FROM BOTTOM OF FOOTING TO REINFORCING. 3. REFER TO PLAN FOR TOP OF FOOTING ELEVATIONS.

- 4. REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
- 5. REFER TO DETAIL 6/SI.I FOR TYPICAL BEAM POCKET REQUIREMENTS. 6. G.C. IS TO VERIFY THAT A MINIMUM FROST DEPTH OF 48" HAS BEEN ACHIEVED
- FOR THE FOUNDATION WALLS AND EXTERIOR PIERS. 7. G.C. TO COORDINATE UFER GROUND LOCATION (CEE).



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04/15/21	Review Set	
04/20/21	• Construction	

Framing Plan

Title • Lower Level Floor

TYPICAL WALL HEADER NOTES

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL's (MINIMUM) OR (3) 2x10's WITH A SINGLE 2x6 TRIMMER AND A SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

1	I-JOIST HANGER SCHEDULE				
	SINGLE I-JOIST				
1	JOIST HEIGHT	TOP FLANGE MODEL	FACE MOUNT MODEL		
	11-7/8" BCI 6000 / 60	ITT35II.88	IUS2.37/II.88		
	11-7/8" BCI 90	ITT4II.88	IUS3.56/II.88		

LYL BEAMS AND HEADER HANGER SCHEDULE				
I-PLY : I-3/4" VERSA-LAM LVL				
MEMBER TOP FLANGE FACE MOUN MODEL MODEL				
11-7/8"	MITII.88	HUII		
2-PLY: I-3/4" VERSA-LAM	2-PLY: I-3/4" VERSA-LAM LVL			
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL		
II-7/8"	HWU3.56/11.88	HHUS410		
3-PLY : I-3/4" VERSA-LAM LVL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL		
11-7/8"	HMU5.50/11.88	HHUS5.50/I0		
4-PLY : I-3/4" VERSA-LAM LVL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL		
11-7/8"	HMU7.25/11.88	HHUS7.25/10		

TYPICAL SHEATHING NAILING NOTES				
APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS
FL00R5	3/4" T. & G. APA RATED STURD-I-FLOOR	6"o.c.	10"o.c.	8d RING SHANK NAILS (ALT. IOd COMMON) GLUED WITH CONST. ADHESIVE
WALLS	I/2" APA RATED C-C, C-D	6"o.c.	12"o.c.	8d COMMON NAILS
ROOFS	5/8" APA RATED EXPOSURE I RATED 40/20	6"o.c.	12"o.c.	IOd COMMON NAILS

NOTES: I. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE. 2. REFER TO THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ADDITIONAL SHEATHING REQUIREMENTS. 3. EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED AT WALL PANELS ONLY.

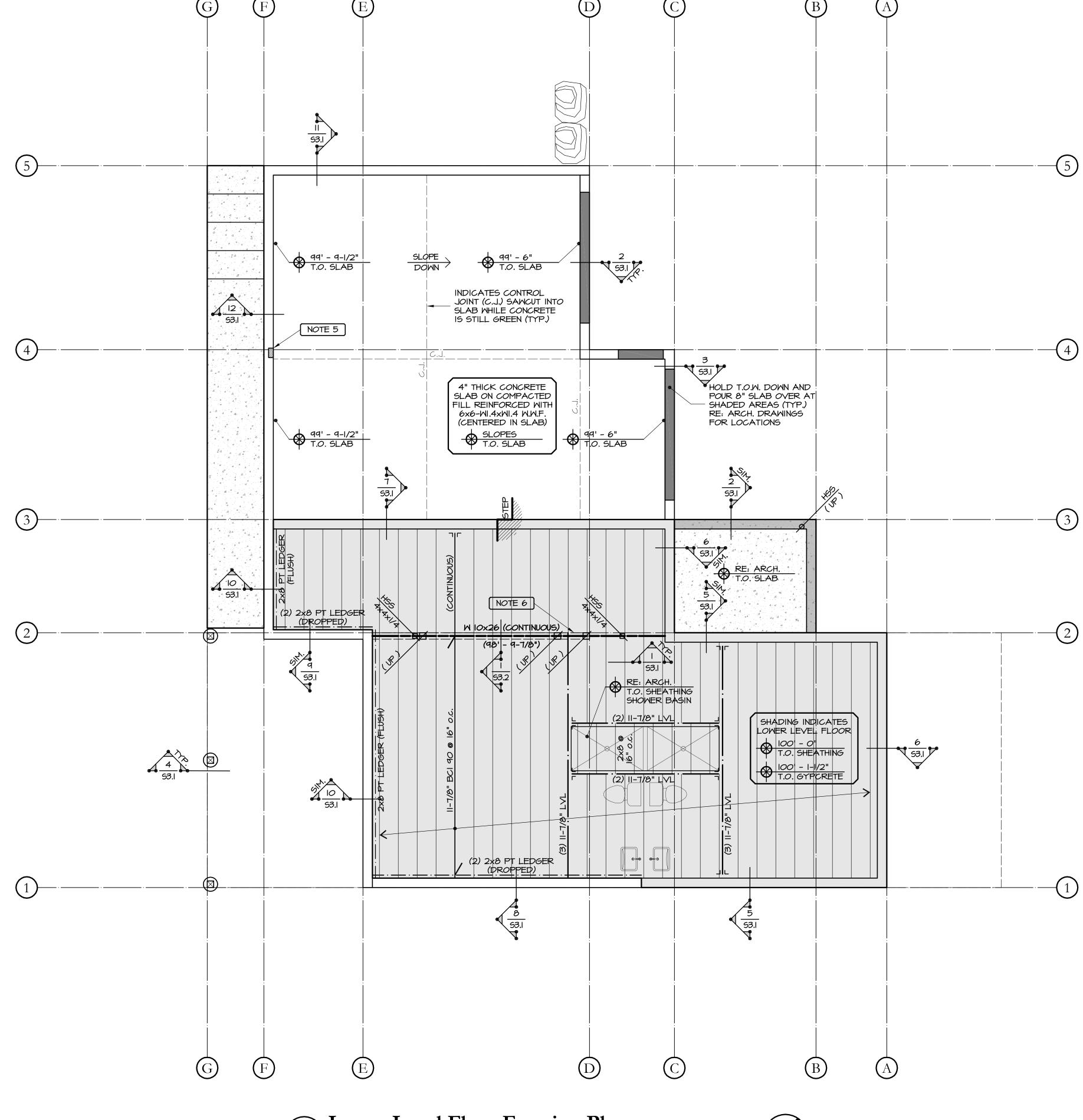
TYPICAL FRAMING PLAN NOTES PLAN NOTATIONS: GL: GLU-LAMINATED BEAM BCI: I-JOIST LVL: LAMINATED VENEER BEAM BEAM BEARING CONDITION: INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.) HEADER BEARING CONDITION: INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.) T = TRIMMER STUDS K = KING STUDS MISCELLANEOUS CONDITIONS: INDICATES COLUMN / STUDS INDICATES COLUMN / STUDS POSTING DOWN TO FRAMING FROM A LEVEL ABOVE,

MEMBER NOTED ON THE

CURRENT FRAMING LEVEL

POSTING DOWN TO THE

CURRENT FRAMING LEVEL



Lower Level Floor Framing Plan

- SCALE: 1/4"=1'-0" NOTES: I. REFER TO SHEET SI.I FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
 - 2. REFER TO ARCHITECTURAL DRAWINGS FOR MISC. FLOOR PENETRATIONS. 3. ALL FLOOR BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
 - 4. REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
 - 5. REFER TO DETAIL 6/SI.I FOR TYPICAL BEAM POCKET REQUIREMENTS.
 - 6. INDICATES 2x6 @ 16" o.c. BEARING WALLS ABOVE.

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04/20/21	 Construction
	•

Title • Upper Level Floor and

Low Roof Framing Plan

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE

I-JOIST HANGER SCHEDULE			
E MOUNT 10DEL			
2.37/11.88			
3.56/11.88			

TYPICAL WALL HEADER NOTES

HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL's (MINIMUM) OR (3) 2xIO's WITH A SINGLE 2x6 TRIMMER AND A SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

LVL BEAMS AND HEADER HANGER SCHEDULE				
I-PLY : I-3/4" VERSA-LAM LVL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL		
11-7/8"	MITII.88	HUII		
2-PLY: I-3/4" VERSA-LAM	1 LYL			
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL		
11-7/8"	HMU3.56/11.88	HHUS410		
3-PLY : I-3/4" VERSA-LAM LVL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL		
11-7/8"	HMU5.50/11.88	HHUS5.50/10		
4-PLY : I-3/4" VERSA-LAM LVL				
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL		
11-7/8"	HMU7.25/11.88	HHUS7.25/IO		

TYPICAL SHEATHING NAILING NOTES				
APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS
FL00RS	3/4" T. & G. APA RATED STURD-I-FLOOR	6"o.c.	10"o.c.	8d RING SHANK NAILS (ALT. IOd COMMON) GLUED WITH CONST. ADHESIVE
WALLS	I/2" APA RATED C-C, C-D	6"o.c.	12"o.c.	8d COMMON NAILS
ROOFS	5/8" APA RATED EXPOSURE I RATED 40/20	6"o.c.	12"o.c.	IOd COMMON NAILS
NOTES: I. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.				

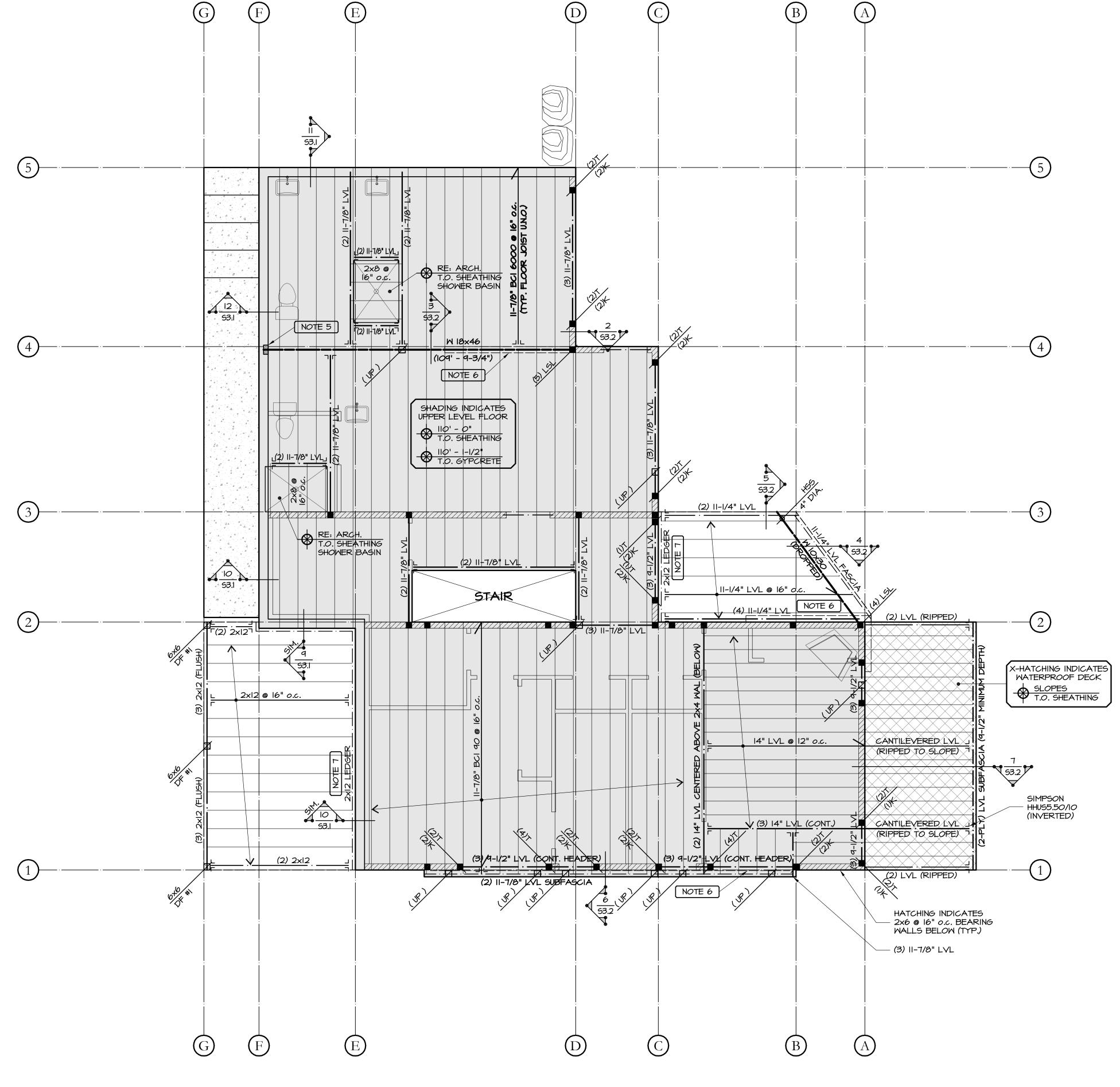
NOTES: I. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.

2. REFER TO THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ADDITIONAL SHEATHING REQUIREMENTS. 3. EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED AT WALL PANELS ONLY.

TYPIC	AL FRAMING PLAN NOTES	
PLAN NOTATIONS: GL: GLU-LAMINATED BEAM BCI: I-JOIST LVL: LAMINATED VENEER BEAM BEAM BEARING CONDITION:		
(9) (p) (1) (1) (1) (1) (1) (1) (1) (1) (1) (1	INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)	
HEADER BEARING CONDITION:		
INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.) T = TRIMMER STUDS K = KING STUDS		
MISCELLANEOUS CONDITIONS:		
INDICATES COLUMN / STUDS INDICATES COLUMN / STUDS FROM A LEVEL ABOVE, POSTING DOWN TO FRAMIN		

POSTING DOWN TO THE CURRENT FRAMING LEVEL MEMBER NOTED ON THE

CURRENT FRAMING LEVEL



Upper Level Floor & Low Roof Framing Plan SCALE: 1/4"=1'-0"

- NOTES: I. REFER TO SHEET SI.I FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
 - 2. REFER TO ARCHITECTURAL DRAWINGS FOR MISC. FLOOR PENETRATIONS. 3. ALL LYL FLOOR AND ROOF BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
 - 4. REFER TO ARCHITECTURAL DRAWINGS FOR PLUMBING FIXTURE LOCATIONS.
 - 5. REFER TO DETAIL 6/SI.I FOR TYPICAL BEAM POCKET REQUIREMENTS.
 - 7. ATTACH LEDGER TO WALL/RIM WITH (2) ROWS OF 5"-LONG LEDGER-LOCK

SCREWS SPACED @ 16" o.c. (MAX.).

6. INDICATES 2x6 @ 16"o.c. BEARING WALLS ABOVE.



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	•

Title • High Roof Framing Plan

S2.4

TYPICAL WALL HEADER NOTES

ALL DOOR, WINDOW AND OTHER BEARING WALL PENETRATIONS ARE TO BE HEADERED WITH INSULATED (2) 1-3/4" x 9-1/2" LVL's (MINIMUM)
OR (3) 2x10's WITH A SINGLE 2x6 TRIMMER AND A
SINGLE 2x6 KING STUD AT EACH END (UNLESS NOTED OTHERWISE).

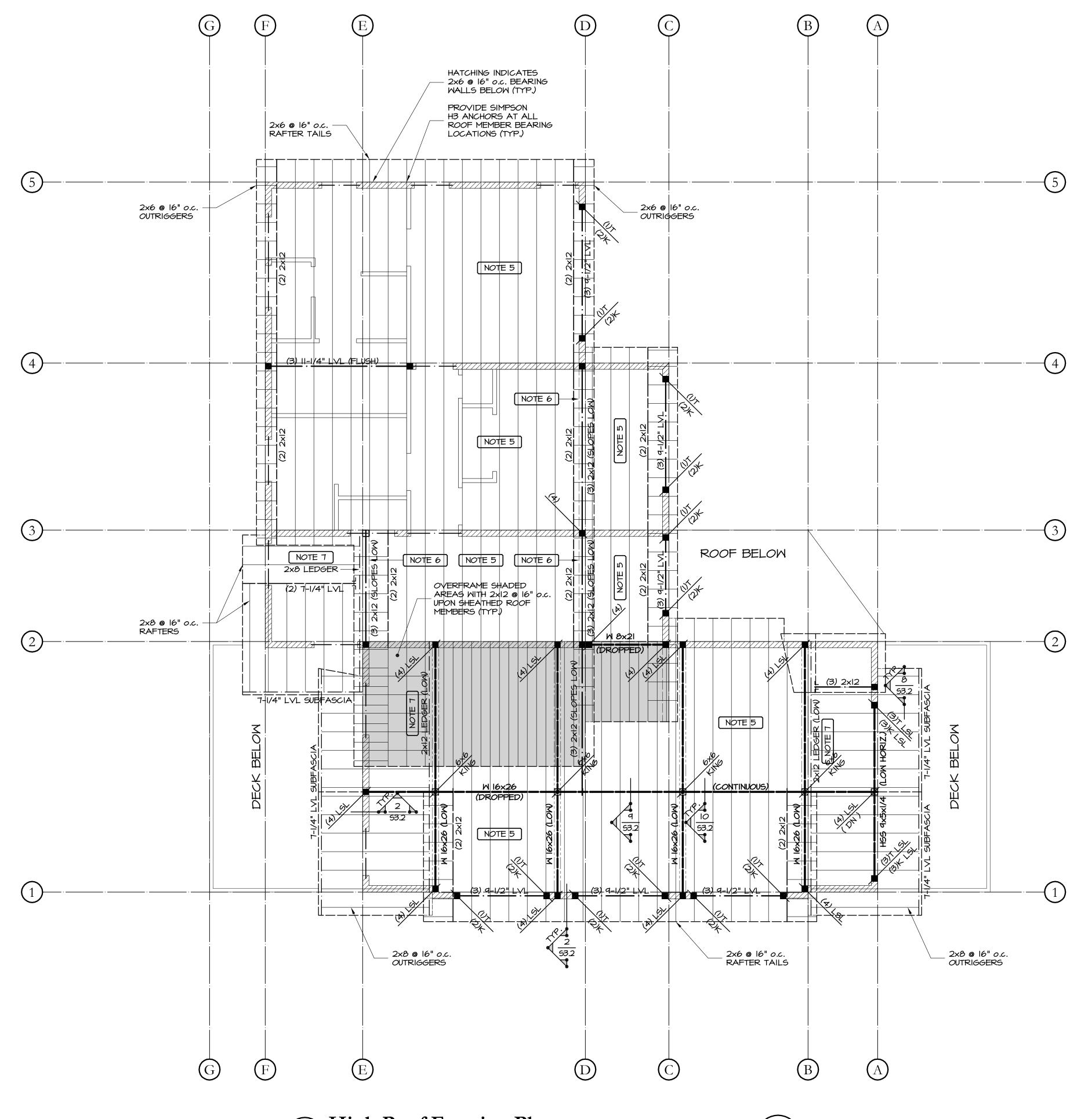
I-JOIST HANGER SCHEDULE				
SINGLE I-JOIST				
JOIST HEIGHT	TOP FLANGE MODEL	FACE MOUNT MODEL		
11-7/8" BCI 6000 / 60	ITT35II.88	IUS2.37/II.88		
 11-7/8" BCI 90	ITT4II.88	IUS3.56/II.88		

LVL BEAMS AND HEADER HANGER SCHEDULE		
I-PLY : I-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	MITII.88	HUII
2-PLY : I-3/4" VERSA-LAM	1 LYL	-
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HMU3.56/11.88	HHUS4IO
3-PLY : I-3/4" VERSA-LAM L	.VL	
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HWU5.50/11.88	HHUS5.50/10
4-PLY: I-3/4" VERSA-LAM LVL		
MEMBER	TOP FLANGE MODEL	FACE MOUNT MODEL
11-7/8"	HMU7.25/11.88	HHUS7.25/10

TYPICAL SHEATHING NAILING NOTES				
APPLICATION	SHEATHING	PANEL EDGE NAILING	INTERMEDIATE (FIELD) NAILING	ATTACHMENTS
FL00RS	3/4" T. & G. APA RATED STURD-I-FLOOR	6"o.c.	10"0.c.	8d RING SHANK NAILS (ALT. IOd COMMON) GLUED WITH CONST. ADHESIVE
WALLS	I/2" APA RATED C-C, C-D	6"o.c.	12"o.c.	8d COMMON NAILS
ROOFS	5/8" APA RATED EXPOSURE I RATED 40/20	6"o.c.	12"o.c.	IOd COMMON NAILS
NOTES: I. USE REQUIREMENTS SHOWN ABOVE UNLESS NOTED OTHERWISE.				

 REFER TO THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ADDITIONAL SHEATHING REQUIREMENTS.
 EDGE NAILING PERPENDICULAR TO FRAMING MEMBERS REQUIRED AT WALL PANELS ONLY.

TYPIC	AL FRAMING PLAN NOTES
PLAN NOTATIONS:	GL: GLU-LAMINATED BEAM BCI: I-JOIST
BEAM BEARING CON	LVL: LAMINATED VENEER BEAM NDITION:
(L)14.0)	INDICATES TOTAL NUMBER OF GANG STUDS TO BE LOCATED AT BEAM BEARING LOCATIONS. ALL GANG STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.)
HEADER BEARING C	CONDITION:
7), to,	INDICATES NUMBER OF MULTIPLE TRIMMER AND KING STUDS TO BE LOCATED AT HEADER BEARING LOCATIONS. MULTIPLE TRIMMER AND KING STUDS ARE TO TRACK DOWN TO FOUNDATION WALLS (U.N.O.) T = TRIMMER STUDS K = KING STUDS
MISCELLANEOUS CO	NDITIONS:
FROM A L	S COLUMN / STUDS EVEL ABOVE, DOWN TO THE FRAMING LEVEL POSTING DOWN TO FRAMING MEMBER NOTED ON THE CURRENT FRAMING LEVEL



High Roof Framing Plan

- SCALE: I/4"=1'-0"

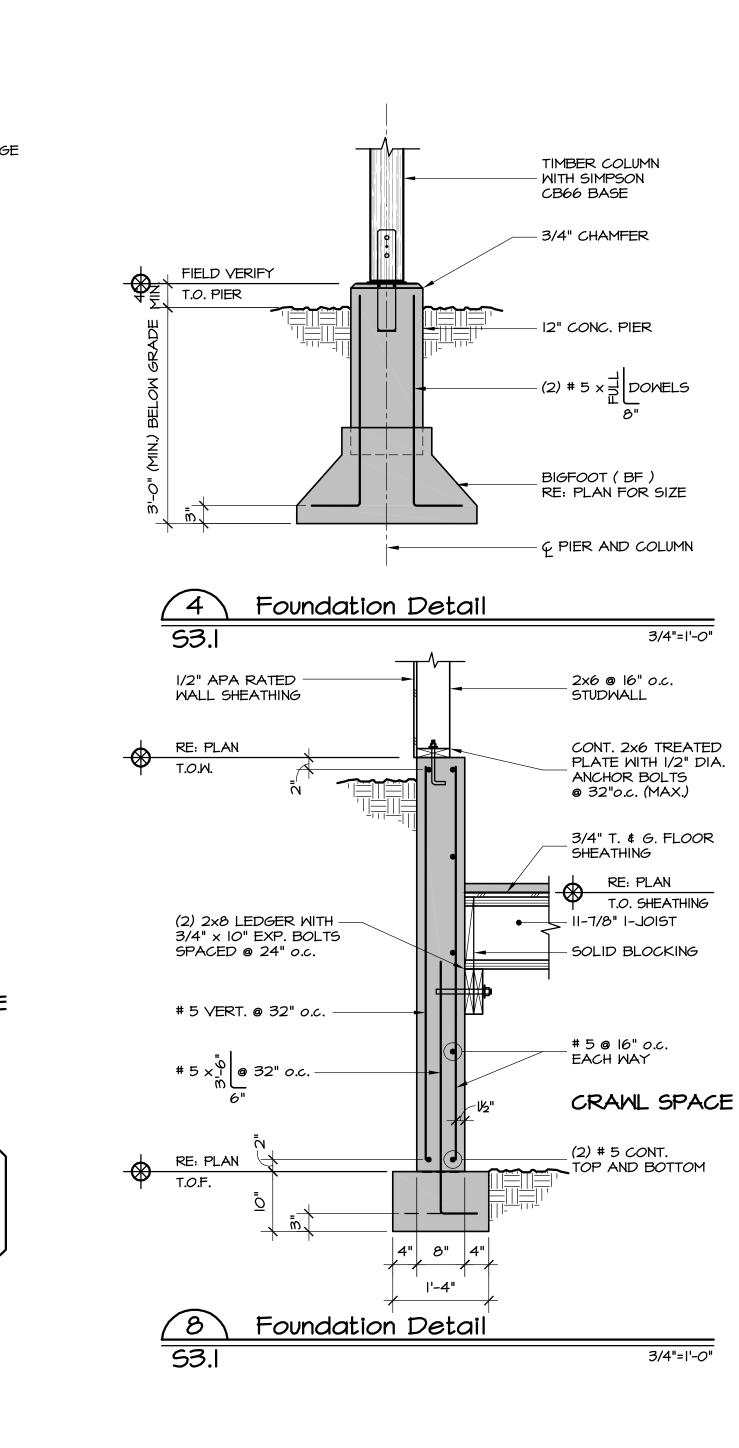
 NOTES: I. REFER TO SHEET SI.I FOR GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.

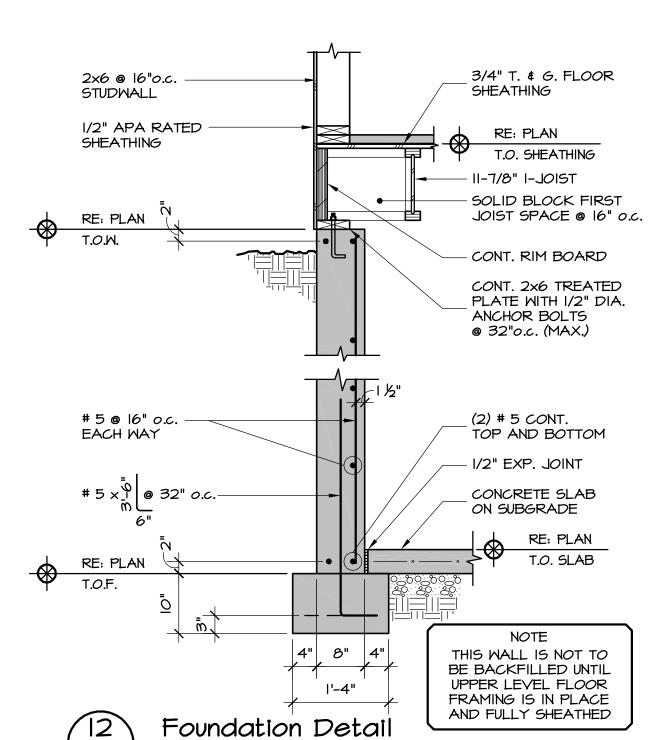
 2. REFER TO ARCHITECTURAL DRAWINGS FOR MISC. ROOF PENETRATIONS.
 - 3. ALL LYL ROOF BEAMS ARE FLUSH-FRAMED (UNLESS NOTED OTHERWISE).
 4. ALL HEAVY TIMBER ROOF BEAMS ARE TO BE DROPPED (UNLESS NOTED OTHERWISE).
 - 5. ALL ROOF RAFTERS ARE 2x12 . 16" o.c. (U.N.O.).
 - 6. INDICATES 2x6 @ 16"o.c. KNEEWALL DOWN TO LOWER ROOF PLANE.

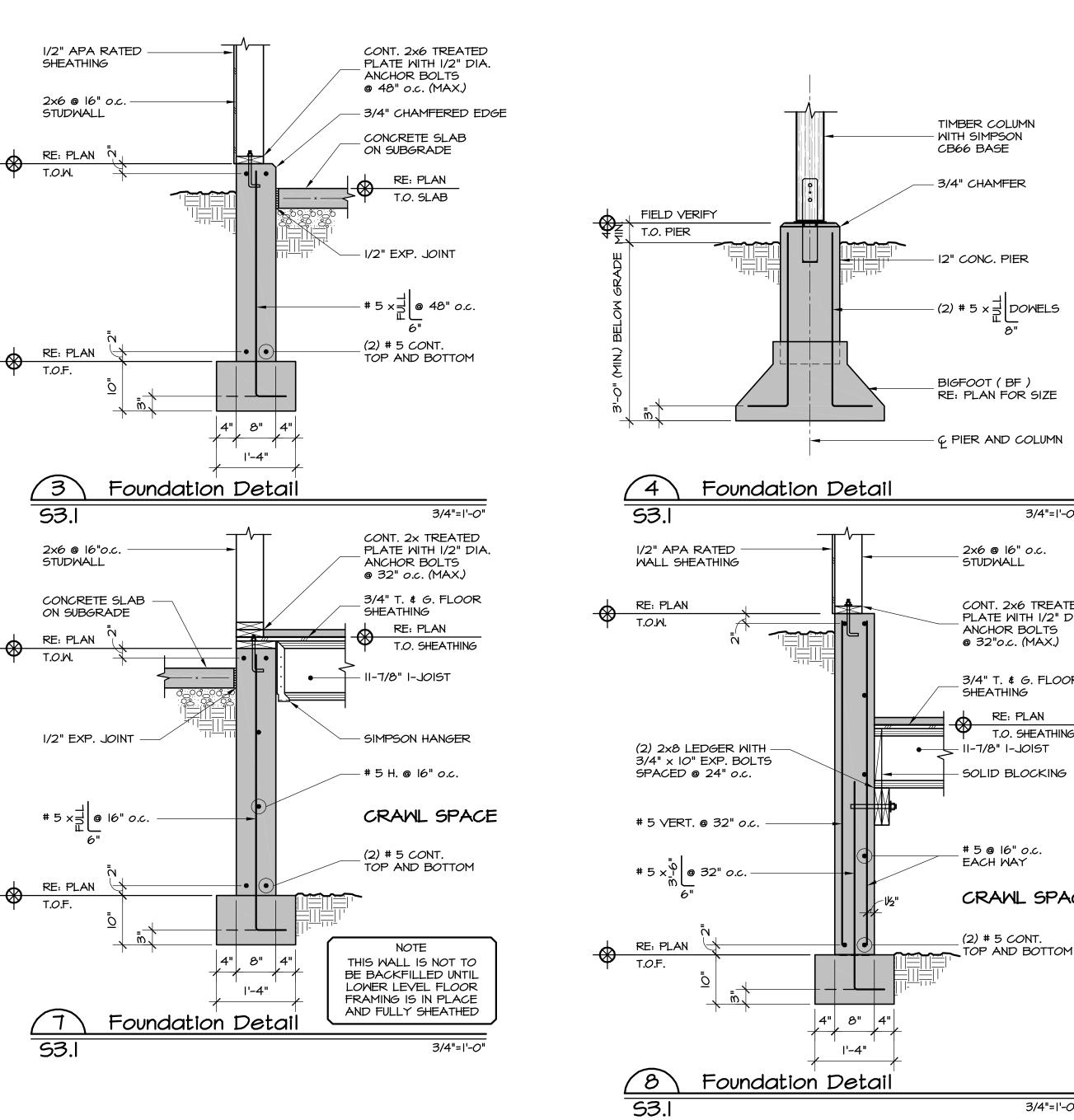
 7. ATTACH LEDGER TO WALL/RIM WITH (2) ROWS OF 5"-LONG LEDGER-LOCK
 - SCREWS SPACED @ 16" o.c. (MAX.).

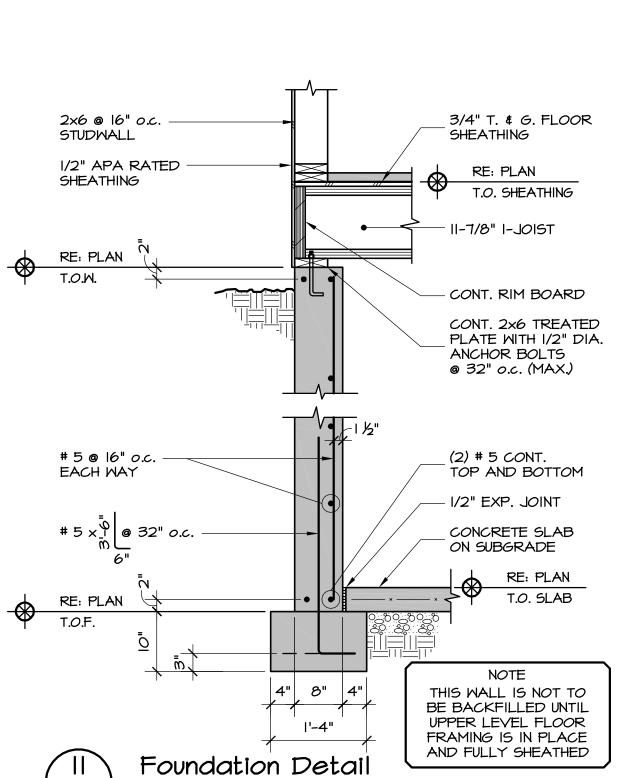
02.2



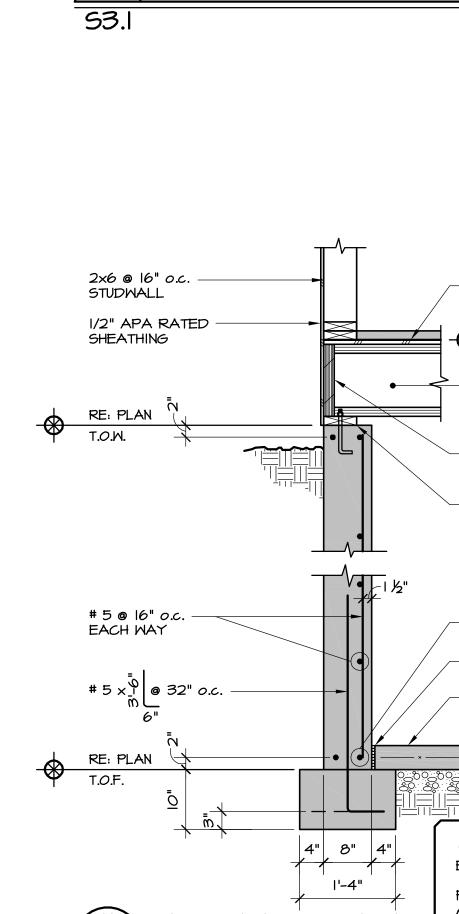








3/4"=1'-0"



(2) # 5 BARS

2'-6"

(MIN.)

EXT. PAVING -

1/2" EXP. JOINT

I/2" APA RATED

5 x \(\begin{array}{c} | \oldsymbol{0} | \oldsymbol{0} | \oldsymbol{0} | \oldsymbol{0} \cdots \(\oldsymbol{0} \).

RE: PLAN

2x6 @ 16" o.c.

I/2" APA RATED

STUDWALL

SHEATHING

#5@16"o.c.

5 x 1 0 16 0.c.

TOP AND BOTTOM

|4"| 8" |4"

Foundation Detail

(2) # 5 CONT.

RE: PLAN T.O.F.

EACH WAY

T.O.W.

T.O.F.

SHEATHING

2x6 @ 16"o.c.

STUDWALL

RE: PLAN

RE: ARCH.

RE: PLAN

T.O.F.

RE: PLAN

T.O. STEEL

3/16"

CRAWL SPACE

HSS COLUMN WITH

(4) 3/4" x 8"-LONG

EXPANSION BOLTS

1/2" APA RATED -

SHEATHING

2x6 @ 16"o.c.

STUDWALL

RE: PLAN

RE: PLAN

2x6 @ 16" o.c.

1/2" APA RATED

STUDWALL

SHEATHING

RE: PLAN

#5@16"o.c.

5 x 1 0 16 o.c.

TOP AND BOTTOM

|4"| 8" |4"|

Foundation Detail

(2) # 5 CONT.

RE: PLAN T.O.F.

EACH WAY

T.O.F.

BASE PLATE -

(RE: SCHEDULE)

STEEL BEAM

1/2" CAP PLATE WITH

(4) 3/4" DIA. BOLTS

STIFF N.S.

1 1/2" SHIM AND

NON-SHRINK GROUT

G FOOTING AND COLUMN

CONT. 2x TREATED

3/4" T. & G. FLOOR

RE: PLAN

T.O. SHEATHING

ANCHOR BOLTS

SHEATHING

- 11-7/8" 1-JOIST

- SIMPSON HANGER

CRAWL SPACE

-#5H.@16"o.c.

(2) # 5 CONT.

TOP AND BOTTOM

THIS WALL IS NOT TO

BE BACKFILLED UNTIL

LOWER LEVEL FLOOR FRAMING IS IN PLACE AND FULLY SHEATHED

SHEATHING

- 11-7/8" 1-JOIST

3/4"=1'-0"

3/4" T. & G. FLOOR

RE: PLAN

CONT. RIM BOARD

CONT. 2x6 TREATED

PLATE WITH 1/2" DIA.

3/4" T. & G. FLOOR

RE: PLAN

SOLID BLOCKING

(2) 2x8 LEDGER WITH - 3/4" x 10" EXP. BOLTS

CRAWL SPACE

3/4"=1'-0"

THIS WALL IS NOT TO

BE BACKFILLED UNTIL

UPPER LEVEL FLOOR FRAMING IS IN PLACE

AND FULLY SHEATHED

SPACED @ 24" o.c.

T.O. SHEATHING

SHEATHING

- 11-7/8" 1-JOIST

ANCHOR BOLTS @ 16"o.c. (MAX.)

T.O. SHEATHING

@ 32" o.c. (MAX.)

PLATE WITH 1/2" DIA.

3/4"=1'-0"

RE: PLAN

93/16"V

REFER TO FOUNDATION PLAN

I'-4"

Foundation Detail

AND FOOTING SCHEDULE

Foundation Detail

WALL BLOCKOUT FOR SLAB POUR

(2) # 5 BARS

l'-4"

I'-4"

Foundation Detail

Foundation Detail

(2) # 5 BARS

2'-6"

(MIN.)

CONCRETE SLAB

2'-0"

5 × ∃ | @ 48" o.c.

TOP AND BOTTOM

3/4"=1'-0"

CONT. 2×6 TREATED

PLATE WITH I/2" DIA.

ANCHOR BOLTS

SHEATHING

- 11-7/8" I-JOIST

-#5H.@16"o.c.

(2) # 5 CONT.

TOP AND BOTTOM

THIS WALL IS NOT TO

BE BACKFILLED UNTIL

LOWER LEVEL FLOOR

FRAMING IS IN PLACE AND FULLY SHEATHED

SHEATHING

3/4"=1'-0"

3/4" T. & G. FLOOR

RE: PLAN

11-7/8" I-JOIST

T.O. SHEATHING

SOLID BLOCK FIRST

- CONT. RIM BOARD

CONT. 2x6 TREATED

PLATE WITH 1/2" DIA.

3/4" T. & G. FLOOR

RE: PLAN

2x8 LEDGER WITH

- 1/2" x 6" EXP. BOLTS SPACED @ 48" o.c.

- 11-7/8" I-JOIST

THIS WALL IS NOT TO

BE BACKFILLED UNTIL

UPPER LEVEL FLOOR

AND FULLY SHEATHED

3/4"=1'-0"

FRAMING IS IN PLACE

T.O. SHEATHING

SHEATHING

ANCHOR BOLTS @ 16"o.c. (MAX.)

JOIST SPACE @ 16" o.c.

CRAWL SPACE

@ 32" o.c. (MAX.)

3/4" T. & G. FLOOR

RE: PLAN

T.O. SHEATHING

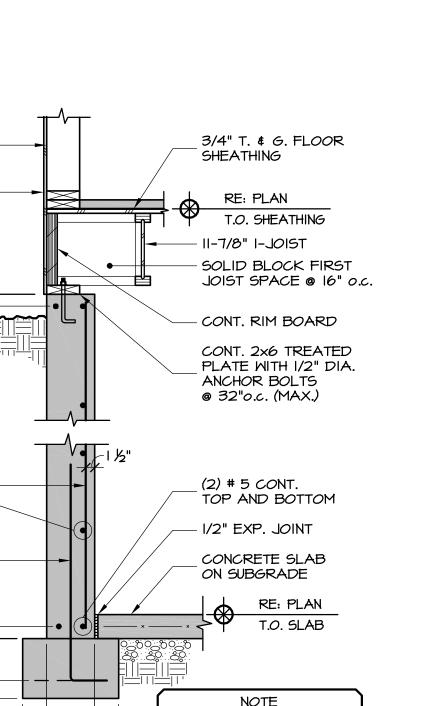
(2) # 5 CONT.

RE: PLAN

T.O. SLAB

ON SUBGRADE

VIEW A-A



3/4"=1'-0"

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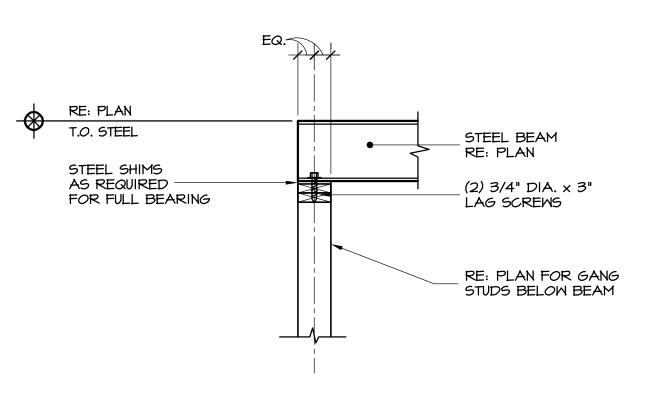
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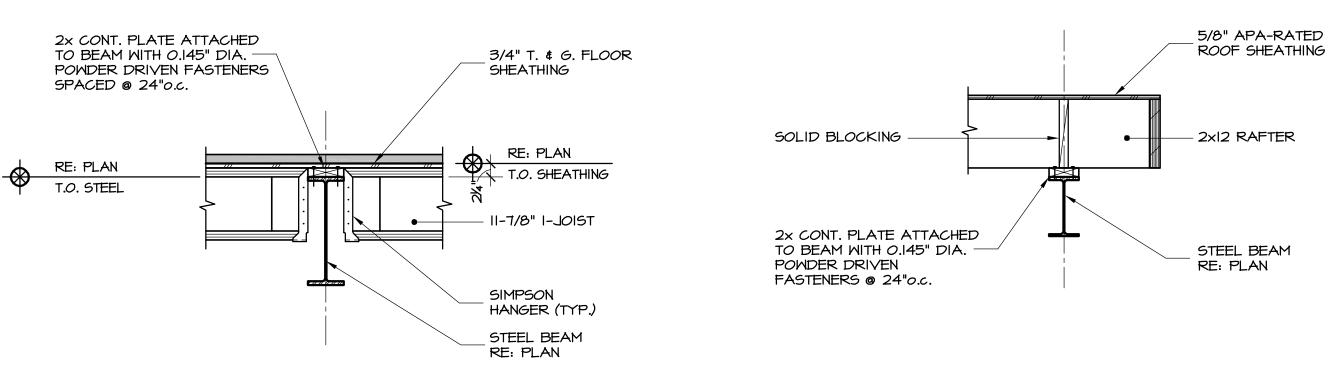
• 04/20/2021 SDG Project No. • 20-059 • SDG Drawn By Checked By • JDS

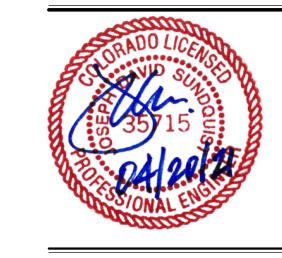
> Date • Issue 04/15/21 • Review Set 04/20/21 • Construction

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FASTENERS @ 24"o.c.







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Framing Detail 3/4"=1'-0"

Framing Detail 3/4"=1'-0"

2x6 @ 16" o.c.

I/2" APA RATED SHEATHING

LVL FASCIA -RE: PLAN

HANGER

INVERTED SIMPSON -

STUDWALL

Framing Detail

Framing Detail

Framing Detail

8 Framing Detail 53.2

- I/2" END PLATE

STEEL BEAM RE: PLAN

KING STUDS

(RE: PLAN)

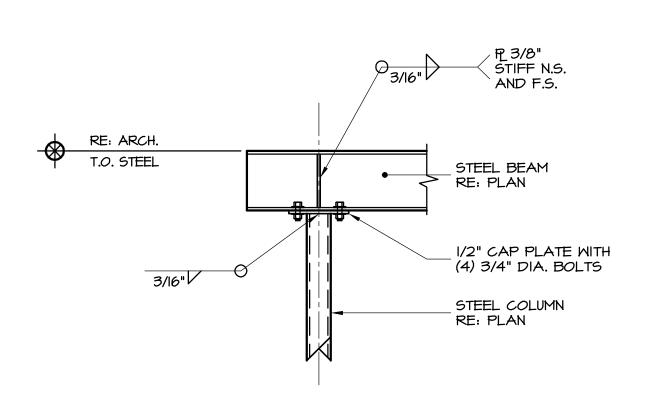
TRIMMERS

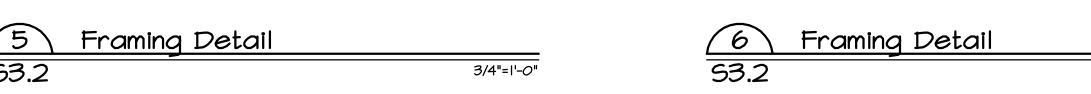
(RE: PLAN)

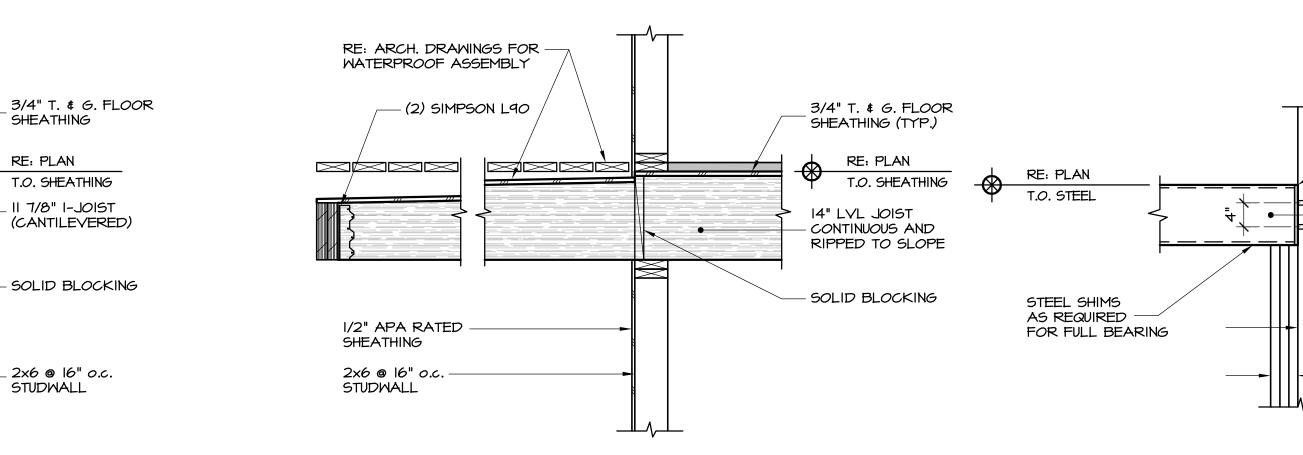
(4) I/2" DIAMETER

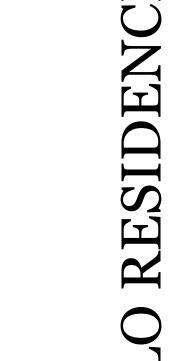
THREADED RODS

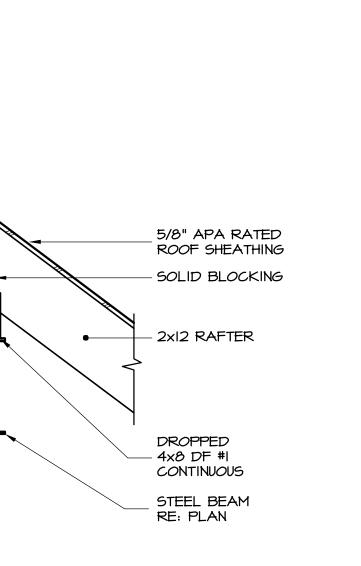
3/4"=1'-0"







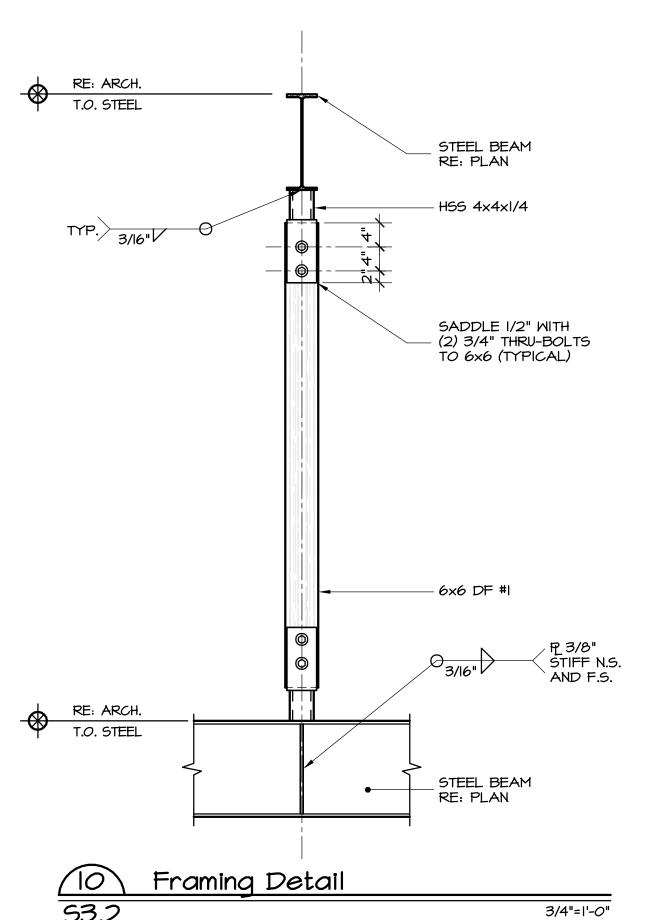


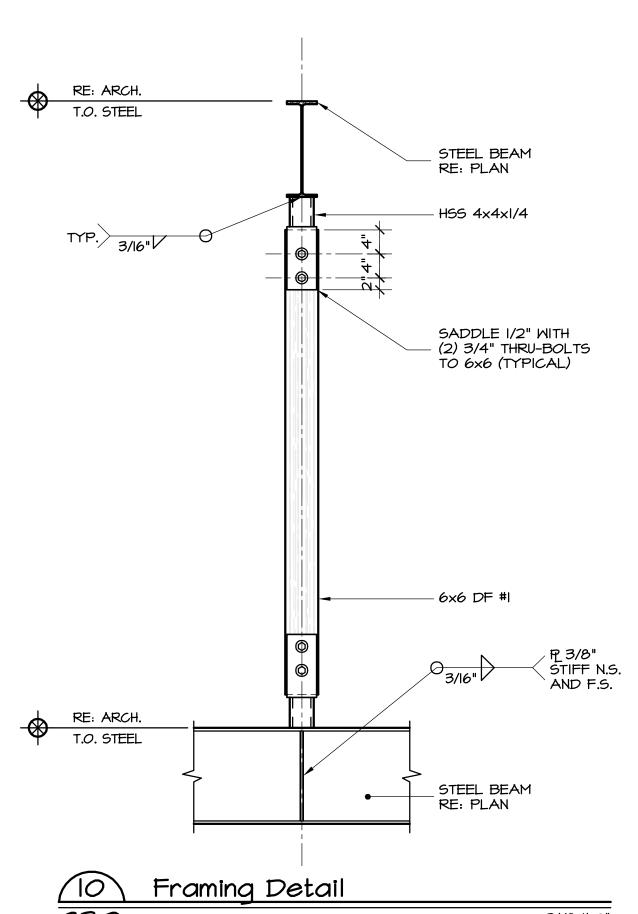




RE: ARCH.

I/2" THREADED RODS -SPACES @ 48" o.c.





Date	• 04/20/2021
SDG Project No.	• 20-059
Drawn By	• SDG
Checked By	• JDS

• Issue
Review Set
• Construction
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Title • Framing Details

Minturn Planning Department Minturn Town Center 302 Pine Street Minturn, Colorado 81645



Minturn Planning Commission

Chair – Lynn Teach Jeff Armistead Elliot Hovey Tom Priest Chris Manning Jena Skinner

To: Planning Commission

From: Scot Hunn, Planning Director

Madison Harris, Planner I

Date: May 7, 2021

Re: 482 Eagle River Street – Hutton New Residence Modification to Approved Plans

Emily and Steve Hutton, owners of 482 Eagle River Street, received approval from the DRB on March 10, 2021 for a new single family residence located on their property.

The project is currently going through the building permit process and the Applicant has determined that the plans, as approved, require minor modifications to certain aspects of window mullions, sizing, and grouping; an added fence at the side of the property; the front porch was raised and material changed; and the building height increased.

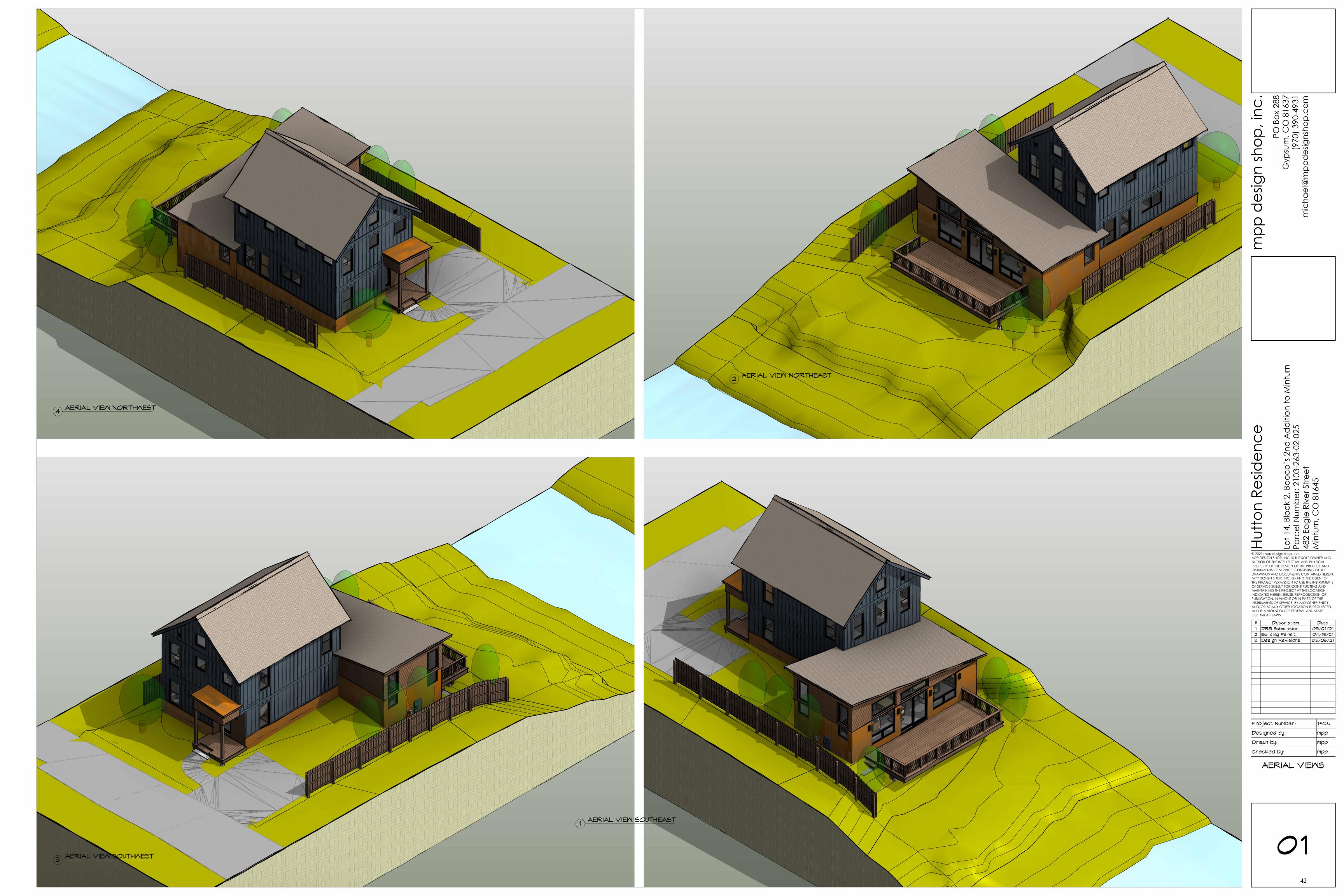
The Applicant has provided plans showing the modifications and staff has confirmed that the proposed increase in building height will result in a maximum height (measured from the adjacent existing grade to the mid-point of the roof element) of 27 feet and 1.44 inches. Allowable height in the Old Town Mixed Use Zone District is 28 feet. Per an email from the Applicant to staff on April 28, 2021 the following is a description of the changes:

- The trees between this property, Lot 14, and Lot 15 to the north have been removed. (Sheet AS1)
 - It was our initial intention to keep the trees as much as possible, as was indicated
 on the design review application drawings. However, as we started to discuss
 actual construction practices, it became clear the trees were too close to the
 foundation to survive excavation of the foundation.
 - The owner, Steve Hutton, discussed the situation with the neighbor of Lot 15. They have a written agreement between them that the trees would be taken down. The owner of Lot 15 requested the trees be taken down as soon as possible, because he didn't want to see them taken down when there was foliage on them.
- 6' wood fences have been added to the north and south property lines (Sheets 01, 02, AS1)
 - The existing wood fence on Lot 13 to the south currently encroaches on this lot.
 Steve Hutton and the owner of Lot 13 have a verbal agreement that the existing fence will be taken down, and a new fence will be constructed during construction of the new house.
 - The fence complies with planning code as shown on the building permit application drawings.

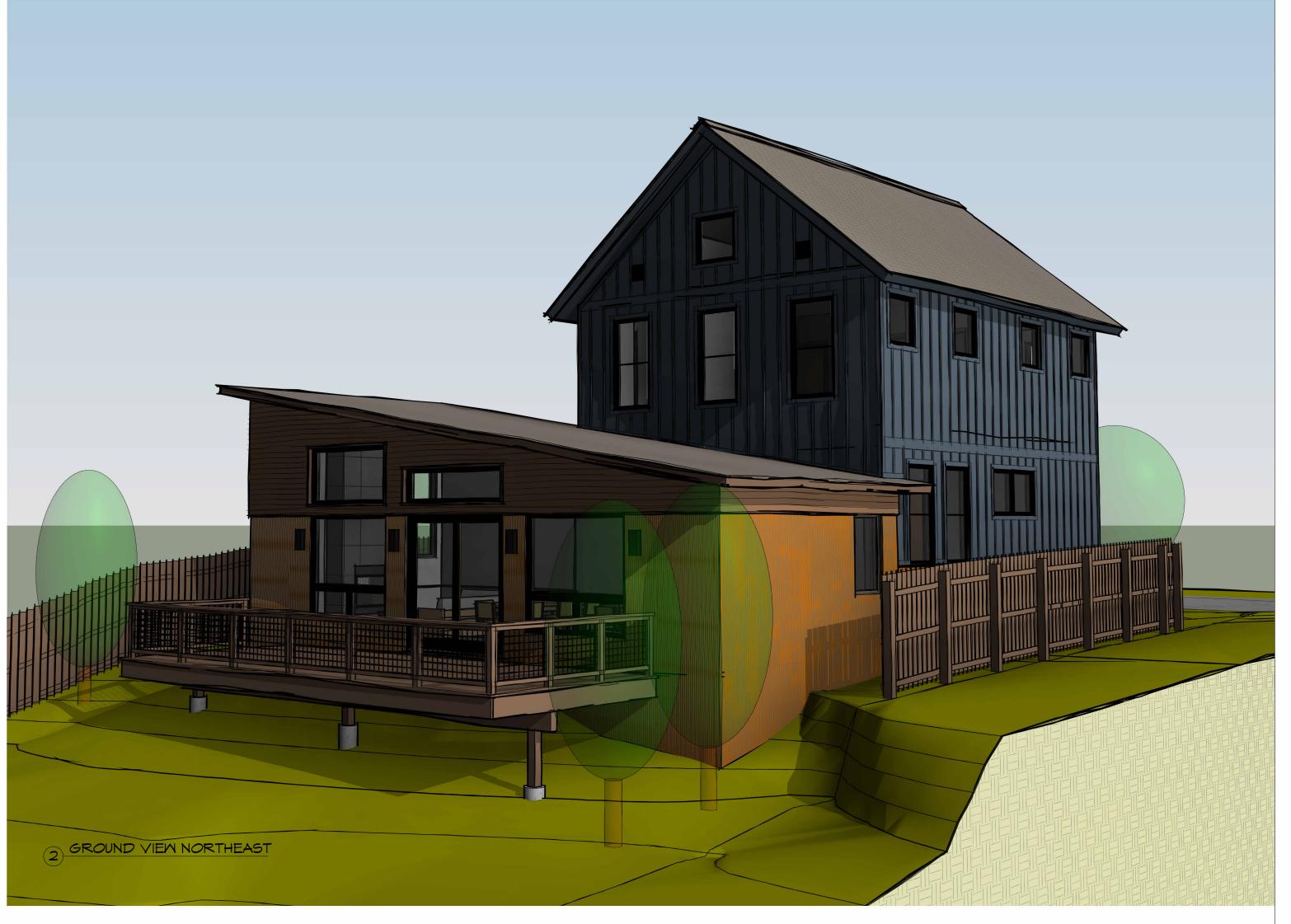
- The windows on the north wall of the upper level at the bedrooms have been revised from casement windows to awning windows. (Sheet A202)
 - Egress windows on the east and west sides are still provided and remain unchanged.
- Gable end vents on the east and west sides have been added to provide ventilation for the attic truss bays (Sheets A201, A202)
- A ridge vent has been added to the main ridge. (Sheets A105, A201, A202)
- The windows on the east wall of the great room have been revised in size to reflect the manufacturer's actual catalogue sizes, and the configuration remains unchanged. (Sheet A202)

Staff believes that the proposed modifications are minor in nature and will not change the project's conformance with the applicable standards of Chapter 16 – *Zoning*, or Appendix 'B' – *Design Standards and Guidelines* of the Minturn Municipal Code.

Staff is recommending approval without conditions.











mpp design shop, inc.

HOTO Service solely for construction or publication in Date of 100 kg and 100 # Description Date
1 DRB Submission 03/01/21
2 Building Permit 04/15/21
3 Design Revisions 05/06/21

Pro	oject Number:	1908
Des	signed by:	трр
Dra	awn by:	трр
Che	ecked by:	трр

GROUND VIEWS

GENERAL NOTES

- ALL WORK SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL CODES, LAWS, PERMITS AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.
- 2 THESE DOCUMENTS ARE NOT INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. THE GENERAL CONTRACTOR (G.C.) SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. 3 IT IS THE RESPONSIBILITY OF THE G.C. TO BRING TO THE ATTENTION OF THE ARCHITECT ANY
- CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE CONTRACT DOCUMENTS (CD'S). AND TO NOTIFY THE ARCHITECT AT ONCE IF ANY DISCREPANCIES APPEAR IN THE CD'S, OR BETWEEN THE CD'S AND EXISTING CONDITIONS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE
- 4 SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATE METHOD AND/OR
- 5 DIMENSIONS: A) ALL DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.; B) ALL PLAN DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUD, AND CENTER LINE OF COLUMN/BEAM, U.O.N.; C) FLOOR TO FLOOR DIMENSIONS ARE FROM TOP OF PLYWOOD SUBSURFACE TO TOP OF PLYWOOD SUBSURFACE, U.O.N.; D) VERIFY IN FIELD (V.I.F.) ALL EXISTING CONDITIONS DIMENSIONS, LOCATIONS AND SITE CONDITIONS PRIOR TO NEW CONSTRUCTION.
- 6 THE G.C. SHALL SUBMIT SAMPLES OF ANY MATERIALS PROPOSED FOR SUBSTITUTION TO THE ARCHITECT FOR REVIEW AND APPROVAL BEFORE THE WORK IS TO BE PERFORMED. WORK SHALL CONFORM TO THE APPROVED SAMPLES.
- 7 THE G.C. SHALL SUBMIT REQUIRED SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL BEFORE THE WORK IS TO BE PERFORMED. WORK SHALL CONFORM TO THE APPROVED SHOP DRAWINGS.
- 8 THE G.C. SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER. 9 THE G.C. SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND
- WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL 10 THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED. EACH SUB-CONTRACTOR SHALL
- REMOVE ALL TRASH AND DEBRIS AS OF RESULT OF HIS/HER OPERATION UPON COMPLETION OF 11 THE G.C. SHALL PERFORM ALL PHASES OF CONSTRUCTION SUCH THAT ALL NEW CONSTRUCTION FITS FLUSH AND SEAMLESSLY WITH ADJACENT EXISTING CONDITIONS, AND SHALL NOT ENDANGER
- ANY EXISTING CONDITIONS OR OTHER WORK. 12 THE G.C. SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, RECESSED ITEMS, AND ALL OTHER ITEMS AS
- 13 ALL CONSTRUCTION, STAGING, CONTRACTOR PARKING AND MATERIALS STORAGE SHALL BE CONFINED TO THE LIMITS OF THE EXISTING DRIVEWAY AND THE IMMEDIATE PERIMETER OF THE EXISTING BUILDING. ALL ACTIVITY PERFORMED AS PART OF THIS PROJECT SHALL BE CONTAINED ON THE PROJECT PROPERTY
- 14 CHANGES TO THESE CONTRACT DOCUMENTS SHALL BE NOTED IN THE FIELD AND MAINTAINED
- ON-SITE FOR THE DURATION OF THE PROJECT FOR CONSTRUCTION OBSERVATION. 15 AS-BUILT DRAWINGS WILL BE PROVIDED TO THE TOWN/COUNTY, IF REQUIRED.
- 16 UTILITY METER LOCATIONS TO BE APPROVED BY UTILITY COMPANIES. 17 ALL INTERIOR NON-BEARING WALLS TO BE 2x4, U.O.N.
- 18 ALL INTERIOR BEARING WALLS TO BE 2x6, U.O.N. SEE STRUCTURAL DWG'S FOR SPEC'S
- 19 ALL EXTERIOR WALLS TO BE 2x6, U.O.N. SEE STRUCTURAL DWG'S FOR SPEC'S 20 ALL HORIZONTAL FRAMING DIMENSIONS ARE TO THE FACE OF WOOD FRAMING, U.O.N.
- 21 ALL VERTICAL FRAMING DIMENSIONS ARE FROM THE T.O. PLYWOOD, U.O.N.
- 22 ALL HORIZONTAL DIMENSIONS FOR OPENINGS ARE TO THE CENTER LINE OF R.O.
- 23 ALL VERTICAL DIMENSIONS FOR OPENINGS ARE TO THE TOP OF R.O.

GENERAL SITE NOTES

THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL IN CONFORMANCE WITH

- 2 THE CONSTRUCTION LIMIT LINE IS THE CONTRACT LINE. DO NOT DISTURB ANY EXISTING TREES OR VEGETATION DESIGNATED TO REMAIN OR LOCATED OUTSIDE OF THE CONSTRUCTION LIMIT LINE WITHOUT APPROVAL OF THE OWNER AND THE TOWN/COUNTY.
- 3 THE GENERAL CONTRACTOR SHALL VERIFY EXISTING SITE INFORMATION, INCLUDING STRUCTURES, UTILITIES, PROPERTY LINES, LIMITS OF ROADWAYS, AND CURBS AND GUTTERS THAT MAY AFFECT THE SCOPE OF WORK PRIOR TO BEGINNING SITE CONSTRUCTION.
- 4 EXISTING UTILITIES ARE INDICATED FOR INFORMATION ONLY AND NOT INTENDED TO SHOW EXACT LOCATION. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, OR ANYTHING NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE GENERAL CONTRACTOR SHALL LOCATE ALL UTILITIES AND MAINTAIN THE LOCATION DURING ALL PHASES OF THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES OR STRUCTURES AND ANY INJURIES THEREFROM RESTORATION OF ANY UTILITIES DAMAGED BY THE GENERAL CONTRACTOR SHALL BE AT THE GENERAL CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER
- 5 CONFORM TO EAGLE RIVER WATER AND SANITATION DISTRICT SPECIFICATIONS FOR SEMER CONSTRUCTION. PROVIDE SEMER CLEANOUT WITH LOCATION TO BE REVIEWED BY TOWN
- 6 THE GENERAL CONTRACTOR SHALL PROVIDE DRAWINGS SHOWING PROPOSED UTILITY SERVICE CONNECTIONS FOR THE ENGINEER'S REVIEW PRIOR TO CONSTRUCTION.
- 7 ROAD CUTS AND ANY OTHER CONSTRUCTION IN ROAD RIGHT-OF-WAY SHALL CONFORM TO TOWN
- 8 ALL COMPACTION SHALL BE IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY THE GEOTECHNICAL ENGINEER.
- 9 PROVIDE WRITTEN NOTIFICATION OF ALL DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.

ENGINEER

- 10 CONTRACTOR(S) SHALL TAKE ALL NECESSARY STEPS AS REQUIRED TO PROPERLY PROTECT AND MAINTAIN HIS WORK FOR THE DURATION OF THIS CONTRACT. 11 THESE DRAWINGS DO NOT SPECIFY SAFETY MATERIALS, EQUIPMENT, METHODS OR SEQUENCING,
- TO PROTECT PERSONS AND PROPERTY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DIRECT AND IMPLEMENT SAFETY OPERATIONS AND PROCEDURES TO PROTECT THE OWNER, OTHER CONTRACTORS, THE PUBLIC AND OTHERS.
- 12 ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES 13 CONTRACTOR(S) SHALL EMPLOY A LICENSED SURVEYOR TO ESTABLISH ALL WORK LINES.
- 14 CONTRACTOR(S) SHALL STAKE OUT ALL AREAS, INCLUDING WALKS, PAVEMENTS, WALLS, POOLS AND FENCES AND SHALL OBTAIN THE APPROVAL OF THE ARCHITECT PRIOR TO PROCEEDING
- 15 CONFLICTS OR DISCREPANCIES WITH GRADES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY AND PRIOR TO PROCEEDING WITH WORK.
- 16 ALL FINISHED GRADES SHALL PROVIDE FOR NATURAL RUNOFF OF WATER WITHOUT LOW SPOTS OR POCKETS. SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM 2.5% GRADIENT UNLESS 17 GRADUALLY ROUND OFF TOPS AND TOES OF ALL PLANTED SLOPES, UNLESS SHOWN OTHERWISE
- IN GRADING DETAILS. 18 GRADE AWAY FROM ALL BUILDINGS AT A MINIMUM SLOPE OF 10% IN UNPAVED AREAS AND
- MINIMUM SLOPE OF 2% IN PAVED AREAS. 19 CLEANOUTS SHALL BE PROVIDED FOR ALL CHANGES IN LINES AND/OR GRADE OR THE SANITARY
- 20 CONFORM TO TOWN/COUNTY STANDARDS FOR WATER CONSTRUCTION. MAINTAIN 10 FEET MINIMUM SEPARATION BETWEEN WATER AND SEMER UNDERGROUND SERVICE PIPES. MAINTAIN
- SEVEN FEET MINIMUM COVER AT UNDERGROUND WATER SERVICE AND ASSOCIATED LINES. NEW CURB STOPS AND SERVICE LINES SHALL BE INSTALLED FOR EACH UNIT. CURB STOPS SHALL LOCATED ON THE PROPERTY LINE IN A SPOT APPROVED BY THE TOWN PUBLIC WORKS
- 21 IF UTILITY CONNECTION POINTS ARE NOT KNOWN AT THE TIME OF BUILDING PERMIT SUBMISSION, LOCATIONS TO BE COORDINATED AND APPROVED BY TOWN/COUNTY AND SERVICE PROVIDERS IN ADVANCE.

ENERGY CODE NOTES

GC TO COMPLY WITH ALL REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE, THE 2015 INTERNATIONAL RESIDENTIAL CODE, AND THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE, AS WELL AS ANY AMENDMENTS ADOPTED BY THE TOWN'S AND/OR COUNTY'S MUNICIPAL CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO;

TINUOUS/FRAMING CAVITY

FENESTRATION U-FACTOR	0.32
FENESTRATION U-FACTOR	0.52
CEILING R-VALUE	49
MOOD FRAME WALL R-VALUE	20+5 OR 13+
MASS WALL R-VALUE	19/21
FLOOR R-VALUE	38
BASEMENT WALL R-VALUE	15/19 - CONT
SLAB R-VALUE AND DEPTH	10 4FT

CLIMATE ZONE

SLAB R-VALUE AND DEP 15/19 - CONTINUOUS/FRAMING CAVITY CRAML SPACE WALL R-VALUE HEATED SLAB ON GRADE R-VALUE

ABBREVIATIONS ABBREVIATIONS

\$	AND	FND	FOUNDATION
@	AT	FO	FACE OF
AB	ANCHOR BOLT	FP	FIRE PROTECTION
AC	AIR CONDITIONING	FPG	FIREPROOFING
ACC	ACCESSIBLE	FR	FIRE RESISTANT
ACOUST	ACOUSTICAL	FRC	FIBER REINFORCED
ACT	ACOUSTIC CEILING TILE		CONCRETE
AD	AREA DRAIN	FRT	FIRE RETARDANT TREATED
LDA	ADJACENT	FT	FEET/FOOT
AFF	ABOVE FINISHED FLOOR	FTG	FOOTING
AFG	ABOVE FINISHED GRADE	FURN	FURNITURE
AGGR	AGGREGATE	FURR	FURRING
ALT	ALTERNATE	FMC	FABRIC WALL COVERING
ALUM	ALUMINUM	FMP	FABRIC WRAPPED PANEL
ANOD	ANODIZED		
ADJ AFF AFG AGGR ALT ALUM	ADJACENT ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AGGREGATE ALTERNATE ALUMINUM	FT FTG FURN FURR FWC	FEET/FOOT FOOTING FURNITURE FURRING FABRIC WALL COVERING

ACOUSTICAL PANEL CEILING

APPROX APPROXIMATE

ASPHALT

ATTENTION

BOARD

BITUMINOUS

BUILDING

BLOCKING

BLOCK

AUTOMATIC

AUDIOVISUAL

ARCHITECTURAL

ARCH

ATTN

AUTO

BD

BLDG

BLK

B0

BOT

BRG

BRKT

BSMNT

BRK

CAB

CBU

CCTV

CEM

CER

DEG

DEPT

DF

DIA

DIM

DIMS

DISP

DMPF

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EXH

EXP

EXT

FEC

FF&E

FFB

FFEL

FΗ

FIN

FIXT

FACE BRICK

FLOOR DRAIN

DEPARTMENT

CONNECTION

EQUIPMEN'

FLAT HEAD

FINISH

FLASH FLASHING

FIXTURE

FLOOR

FLUOR FLUORESCENT

FIRE DEPARTMENT

FIRE EXTINGUISHER

FLUSH FLOOR BOX

FIRE HOSE CABINET

FLOOR DRAIN OR FIRE

EXIST

DIFF

CC

BLKG

ASPH

PANEL GAUGE GALV GALVANIZED GRAB BAR GB GENERAL CONTRACT(OR) GEN GENERAL GI ASS FIBER REINFORCED GFRC CONCRETE GL GLASS GLAZING GLAZ GRAN GRANULAR GRD GROUND GRFG GLASS FIBER REINFORCED GYPSUM GALVANIZED SHEET METAL GSM GAS VALVE GYPSUM WALL BOARD GYP GYPSUM

BOTTOM OF BOTTOM BEARING BRICK BRACKET HIGH/HEIGHT BASEMENT ΗB HOSE BIBB HANDICAPPED HCHDMD HARDMOOD CHANNE HDWR HARDWARE CABINET HGT HEIGHT CATEGORY HM HOLLOW METAL CATCH BASIN HNDRL HANDRAIL CEMENT BOARD HOLD OPEN CEMENTITIOUS BACKER UNIT HORIZ HORIZONTAL CENTER TO CENTER HOUR HR CLOSED CIRCUIT TELEVISION HOSE REEL CABINET CEMENT HEATING CERAMIC HEATING VENTILATION AND HVAC CORNER GUARD AIR CONDITIONING HOT WATER

CG CHCHILLER CAST IRON CIP CAST-IN-PLACE CONTROL JOINT INSIDE DIAMETER CENTERLINE CLINCH/INCHES CLG CEILING INCAND INCANDESCENT CLR CLEAR INCLUDED/INCLUDING CNTR COUNTER INFO INFORMATION COCLEANOUT INSUL INSULATION COLUMN COL INSULATED OR INSULATION INSUL CONC CONCRETE INTERIOR COND CONDITION INTERM INTERMEDIATE CONNECTION CONN INV INVERT CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR JANITOR NAL COORD COORDINATE JC JANITOR'S CLOSET CORR CORRIDOR JST JOIST CARPET

TMIOL CERAMIC TILE CTR CENTER CTSK COUNTERSUNK KITCHEN KNOCK OUT DEMOLISH OR DEMOLITION LAM LAMINATE DEEP, DEPTH LAVATORY DOUBLE DBL

POUNDS DEGREE LONG LEG HORIZONTAL DEMOLISH OR DEMOLITION DEMO LLY LONG LEG VERTICAL DEPARTMENT LIGHT DRINKING FOUNTAIN DIAMETER DIFFUSER MAS MASONRY DIMENSION MAXIMUM DIMENSIONS MECH MECHANICAL DISPENSER MED MEDIUM DIVISION MEMBR MEMBRANE DAMP PROOFING MANUFACTURER DOMN MAN HOLE DOOR OPENING MINIMIJM DOOR

MISCELLANEOUS DRAIN MO MASONRY OPENING DOWNSPOUT MOISTURE RESISTANT DOWN SPOUT MTD MOUNTED DTL DETAIL MTG MOUNTING DISHMASHER MTL METAL DRAWING MULL MULLION DWR DRAWER (N) NEM EXISTING NORTH CONCRETE MASONRY UNIT NOT APPLICABLE EAST NOISE CRITERIA EACH NOT IN CONTRACT EXPANSION BOLT NO NUMBER EXPANSION JOINT

NOM NOMINAL ELEVATION NON NON COMBUSTIBLE ELECTRICAL ELEVATOR NTS NOT TO SCALE EMERGENCY ENCLOSURE ENGINEER OUTSIDE AIR ELECTRICAL PANEI ON CENTER 00 ETHYLENE PROPYLENE OUTSIDE DIAMETER OD DIENE M-CLASS OVERFLOW DRAIN EQUAL OFCI OWNER FURNISHED EQUIPMENT CONTRACTOR INSTALLED EXHAUS1 0FF OFFICE EXISTING 0F01 EXPANSION INSTALLED EXTERIOR OVERHEAD OPNG OPENING OPP **OPPOSITE** FIRE ALARM OVERFLOW ROOF DRAIN ORD

OWNER FURNISHED, OWNER PAINT PAV PAVING PARTICLE BOARD PC PRECAST POWER DRIVEN FASTENER FIRE EXTINGUISHER CABINET PERF PERFORATED FURNITURE, FIXTURES AND PERIM PERIMETER PERPENDICULAR PLATE FINISH FLOOR ELEVATION PLASTIC LAMINATE PLASTER PLAS PLBG PLUMBING PLF POUNDS PER LINEAR FOOT PLYMD PLYMOOD PANEL PNL PAINT OR PAINTED

PROJECT DIRECTORY

<u>Project Address</u> Lot 14, Block 2, Booco's 2nd Addition to Minturn Parcel Number: 2103-263-02-025

Steve & Emily Hutton 2471 Mt Moriah Memphis, TN 38115 (901) 490-8476

shutton@huttonis.com

Minturn, CO 81645

482 Eagle River Street

ABBREVIATIONS

POUNDS PER SQUARE FOOT

PRESSURE TREATED

POLYVINYL CHLORIDE

POLISHED

PAIR

PREFAB PREFABRICATED

POINT

PAINTED

PARTITION

QUARRY TILE

RADIUS/RISER

RESILIENT BASE

ROOF DRAIN

RECEPTACLE

REFRIGERATOR

RECESSED

REFERENCE

REGISTER

RELOCATE

REQUIRED

RESILIENT

ROOM

RATED

RATING

SOUTH

SUPPLY AIR

SOLID CORE

STORM DRAIN

SQUARE FEET/FOOT

SURFACE MOUNTED

SPRINKLER OR SPEAKER

SPRINKLER HEAD

SCHEDULE

SECTION

SHOWER

SHEET

SIMILAR

SHEET METAL

SPECIFIED OR

SPECIFICATION

STAINLESS STEEL

SOUND TRANSMISSION

STRUCT STRUCTURE OR STRUCTURAL

TOP AND BOTTOM

TONGUE AND GROOVE

TELEPHONE/TELECOM

SERVICE SINK

COEFFICIENT

STANDPIPE

SPEAKER

SQUARE

STATION

STEEL

SUBCAT SUBCATEGORY

SYSTEM

TREAD

STORAGE

STRINGER

SUSPENDED

SYMMETRICAL

TONEL BAR

TELEPHONE

TEMPORARY

TACK BOARD

TOP OF BEAM

TOP OF STEEL

TUBE STEEL

TELEVISION

TYPICAL

UNFINISHED

URINAL

VARIES

VERTICAL

VESTIBULE

TOP OF CONCRETE

UNLESS NOTED OTHERWISE

UNLESS OTHERWISE NOTED

VENTILATION AND AIR

VINYL COMPOSITION TILE

CONDITIONING

VERIFY IN FIELD

VAPOR RETARDER

VINYL WALL COVERING

WATERPROOF/WATERPROO

MATERPROOF MEMBRANE

MEATHER-STRIPPING

MELDED MIRE FABRIC

MELDED MIRE MESH

VISION PANEL

VINYL TILE

MIDE/MEST

MATER CLOSET

MITH

MITHOUT

MOOD

MINDOM

MIRE MESH

WAINSCOT

MATER VALVE

MEIGHT

THICKNESS

THROUGH

TEMPERED

TOILET

TOP OF

TEMPERATURE

RECOM RECOMMENDED

REMOVABLE

REQUIRE/REQUIRED

REVISION/REVISED

RAIN WATER LEADER

SELF ADHERED FLASHING

ROUGH OPENING

REFLECTED CEILING PLAN

REINFORCED REINFORCING

RETURN AIR

RADIUS

RUBBER

QUANTITY

PROJECT

POL

PROJ

PSF

PTD

PTN

QT

QTY

RAD

RCP

RD

REC

REF

REG

REFR

REINF

REM

REQ

REQD

RESIL

REV

RM

RO

RTD

RTG

RML

SCHED

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SPEC

SPKR

SQ

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W/O

MC

MD

MIN

MM

MS

MT

MV

MSCT

VMC

URNL

TKBD

TMPD

TB

RECPT

RB

PT

PR

<u>Architect</u> mpp design shop, inc. Michael Pukas PO Box 288 (970) 390-4931 michael@mppdesignshop.com

General Contractor K2 Mountain Consultants, LLC (970) 343-2766 chrisk@k2mc.co

<u>Structural Engineer</u> Ewing Engineering, Inc. Albert Ewing PO Box 2526 Vail CO 81658 (970) 949-5153 ewing-vail@comcast.net

Land Surveyor Archibeque Land Surveying, Ltd. Ted Archibeque PO Box 3893 Eagle CO 81631 (970) 328-6020 ted@prolandsurvey.com

SHEET INDEX

SITE PLAN - TEST BORING SITE PLAN COVER AERIAL VIEWS GROUND VIEWS 02 IMPROVEMENT SURVEY PLAT ILC TOPO TOPOGRAPHIC SURVEY AS1 SITE & LANDSCAPE PLANS LOT & BUILDING ANALYSIS A001 A101 FOUNDATION PLAN A102 BASEMENT FLOOR PLAN A103 LOWER LEVEL FLOOR PLAN A104 UPPER LEVEL FLOOR PLAN A105 ROOF PLAN **ELEVATIONS** A201 A202 ELEVATIONS BUILDING SECTIONS BUILDING SECTIONS A302 A303 BUILDING SECTIONS BUILDING & MALL SECTIONS GENERAL NOTES STRUCTURAL FOUNDATION PLAN 52 STRUCTURAL BASMENET FLOOR PLAN 53 STRUCUTRAL LOWER LEVEL FRAMING PLAN STRUCUTRAL UPPER LEVEL FRAMING PLAN STRUCUTRAL ROOF FRMAING PLAN 56 STRUCUTRAL DETAILS





ENERGY CODE COMPLIANCE NOTES

- 1. IRC 402.4.1.1: ALL AIR BARRIER AND THERMAL BARRIERS TO BE INSTALLED PER MANUFACTURER'S
- 2. IRC 402.4.5: ALL IC-RATED RECESSED LIGHTING FIXTURES TO BE SEALED AT HOUSING/INTERIOR FINISH
- AND LABELED TO INDICATE <= 2.0 CFM LEAKAGE AT 75 Pa. 3. IRC 403.6: AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOORS AIR INTAKES AND
- 4. IRC 402.4.1.2: BLOWER DOOR TEST @ 50 Pa. <=5 ACH IN CLIMATE ZONE 7
- 5. IRC 402.4.1.2: BLOMER DOOR TEST @ 50 Pa. <=3 ACH IN CLIMATE ZONE 7 6. IRC 303.2: CONDITIONED BASEMENT WALL INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- IRC 303.2: UNVENTED CRAML SPACE WALL INSULATION INSTALLED PER MANUFACTURER'S INSTRUCITONS
- 8. IRC 303.2: WALL INSULATION TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS 9. IRC 303.1.1.1, 303.2: CEILING INSULATION INSTALLED PER MANUFACURER'S INSTRUCTIONS. BLOWN INSULATION MARKED EVERY 300 FT2



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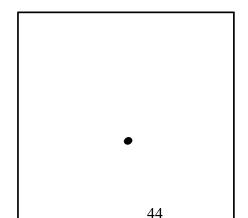
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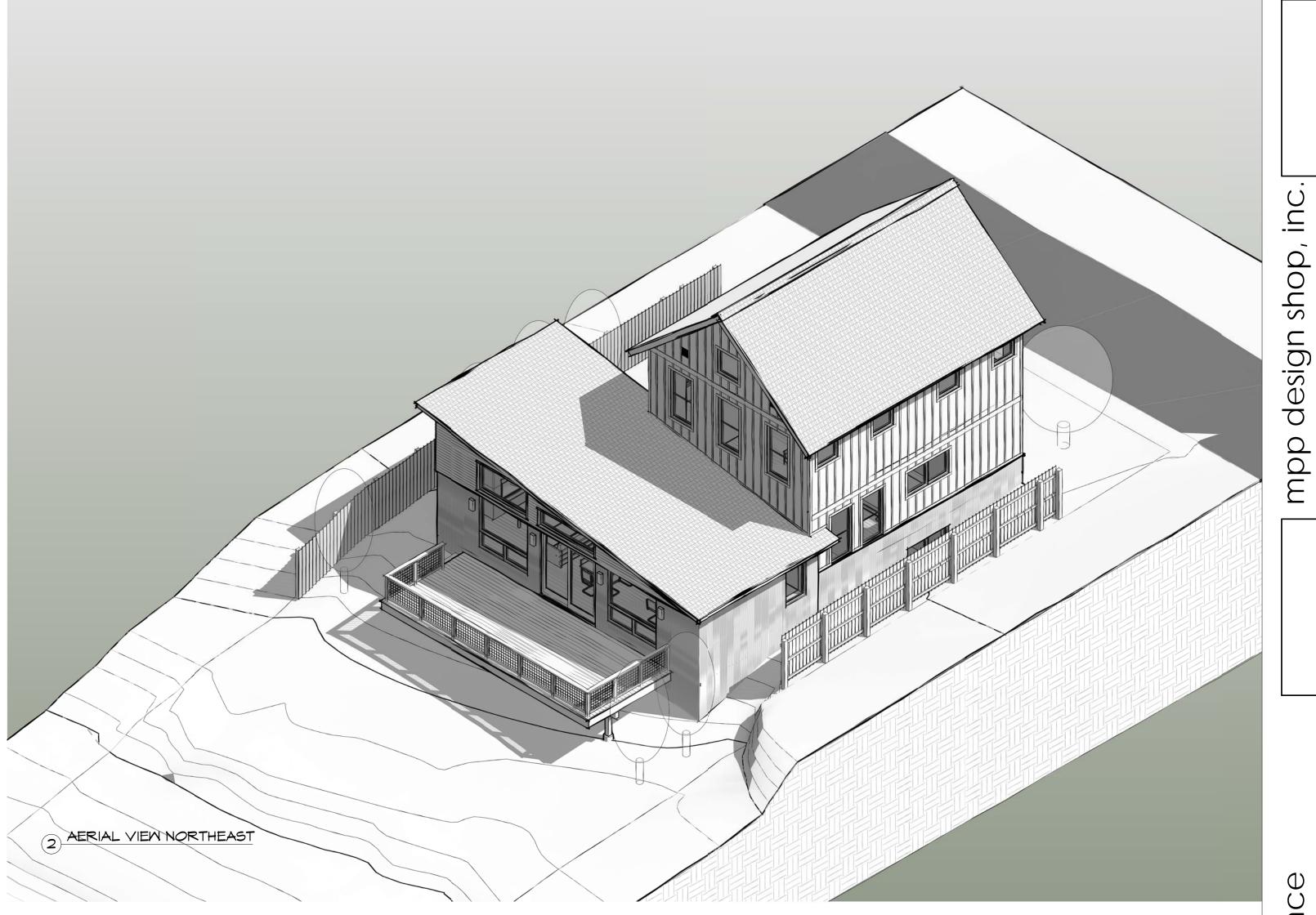
#	Description		Date
1	DRB Submission	0	3/01/21
2	Building Permit	0	4/15/21
orc	oject Number:		1908

Designed by: трр Drawn by: Checked by: трр

COVER











H CONTRIBUTION OF FEDERAL AND STATE

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Pescription Date # Description

1 DRB Submission

2 Building Permit *Date*03/01/21
04/15/21

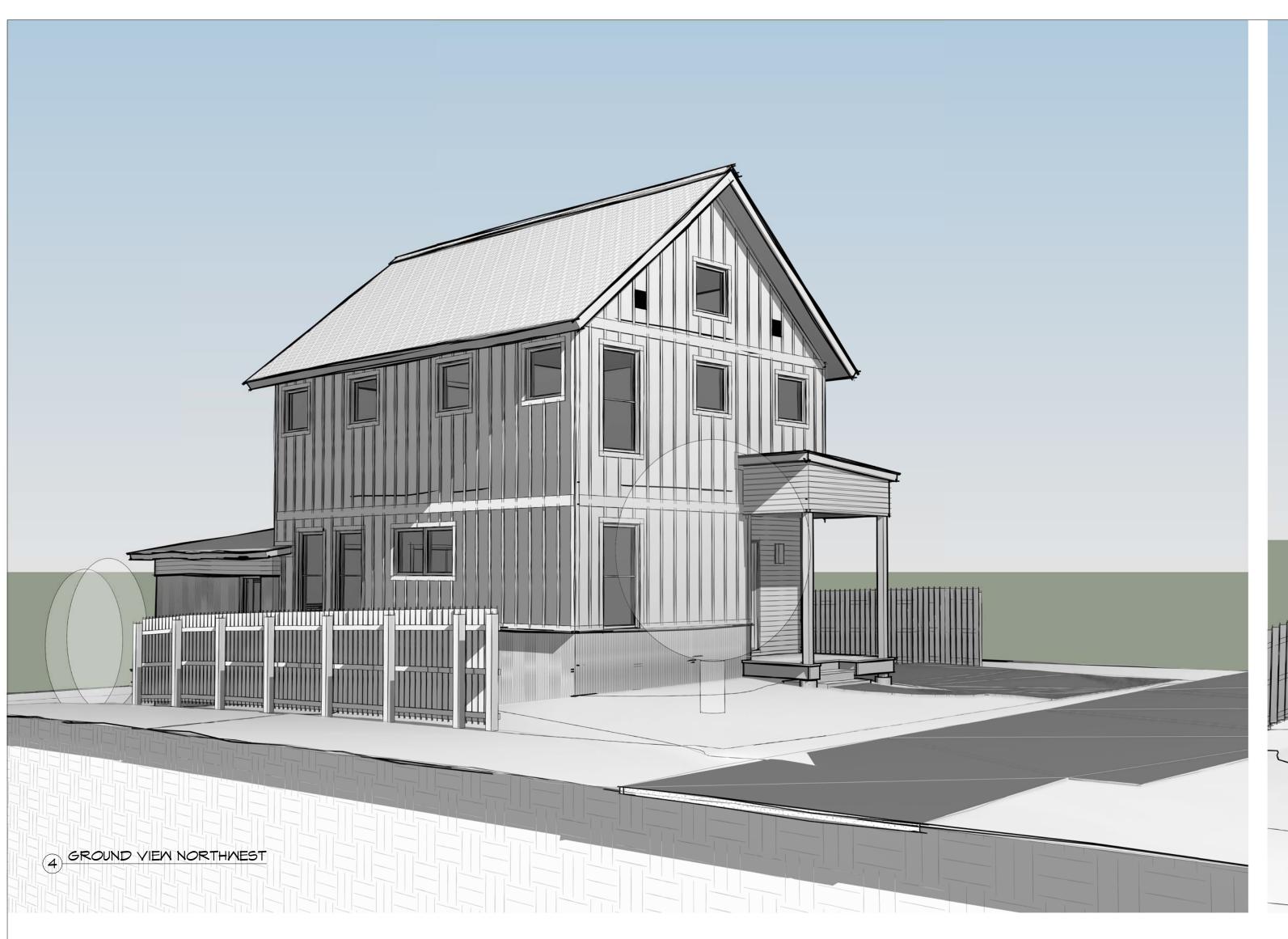
Pro	ject Number:	1908
Des	signed by:	трр

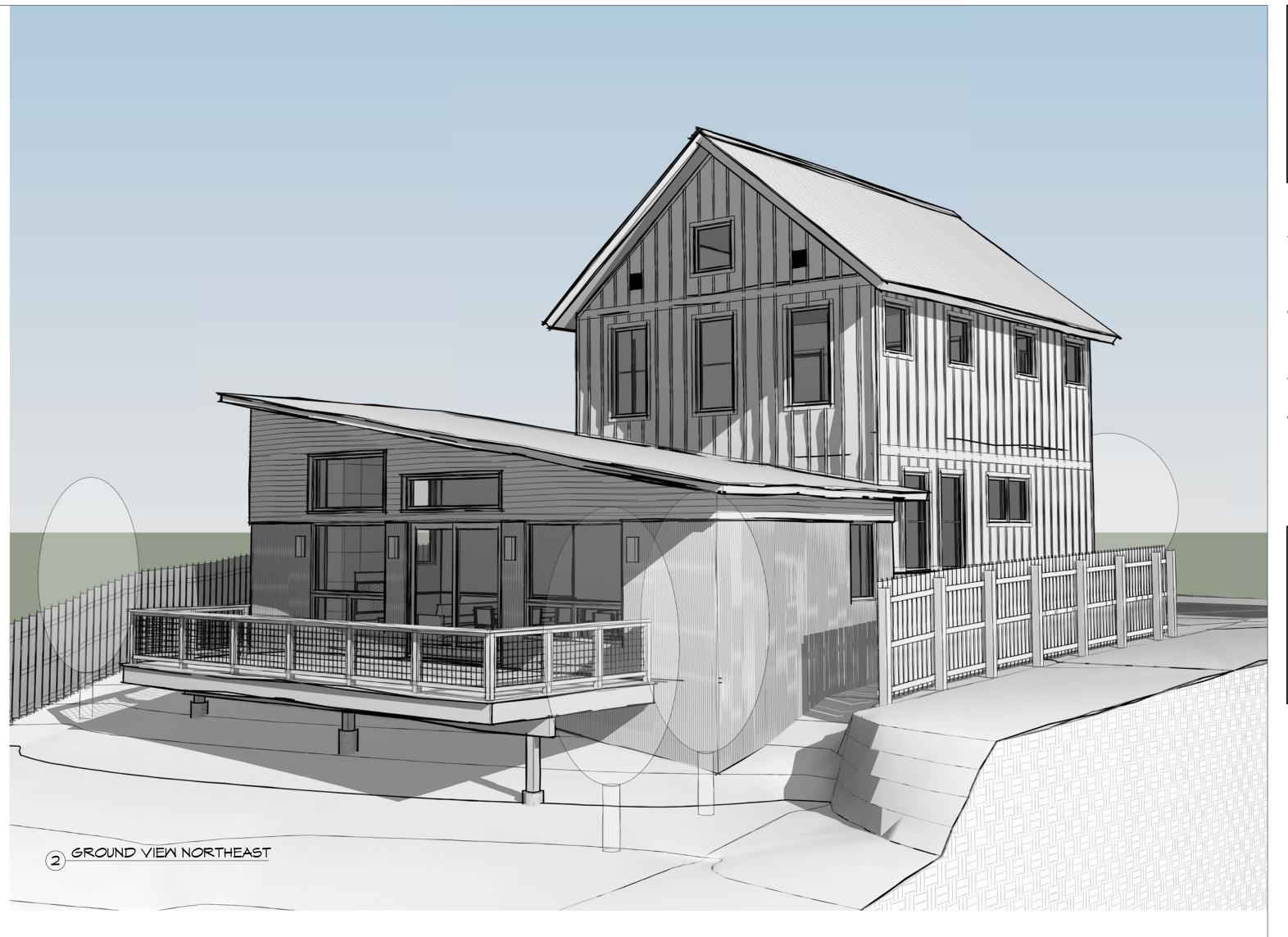
AERIAL VIEWS

Drawn by:

Checked by:

mpp









design shop, inc. ddw

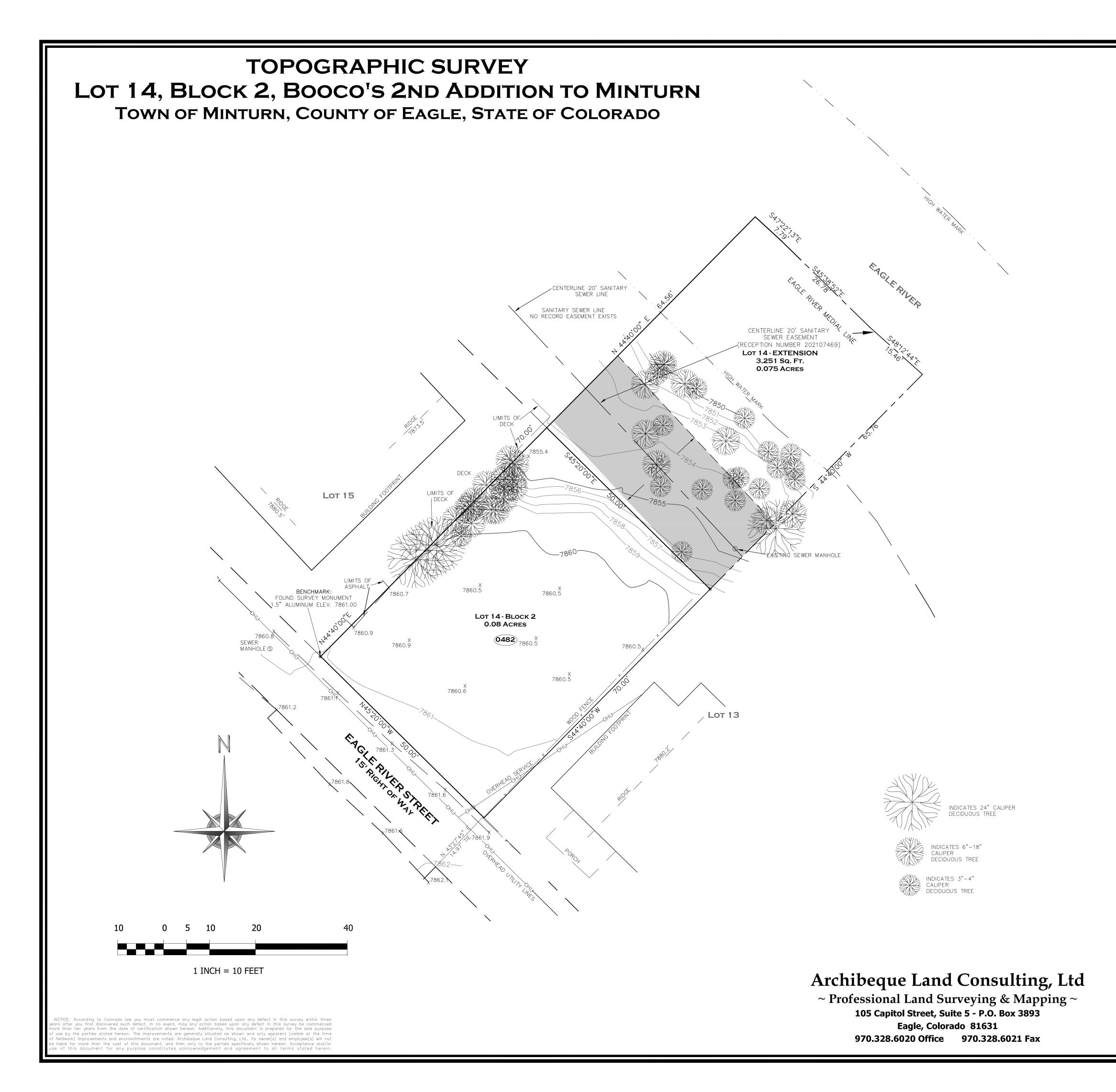
1908 Project Number: трр Designed by: mpp Drawn by: Checked by: GROUND VIEWS

Date03/01/21
04/15/21

Description

1 DRB Submission

2 Building Permit



LEGAL DESCRIPTION

PARCE

LOT 14, BLOCK 2, QUARTER SW SECTION 26 TOWNSHIP 5 RANGE 81 PARCEL IN SUBDIVISION BOOCO 2ND, COUNTY OF EAGLE, STATE OF COLORADO.

PARCEL I

A PARCEL OF LAND SITUATE IN SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, OF THE SIXTH PRINCIPLE MERIDIAN, TOWN OF MINTURN, BEING AN EXTENSION OF LOT 14, BLOCK 2, BOOCO'S 2ND ADDITION TO MINTURN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE OFFICE OF THE EAGLE COUNTY CLERK AND RECORDER, COUNTY OF EAGLE, STATE OF COLORADO, AND LYING SOUTH AND WEST OF THE MEDIAL LINE OF THE EAGLE RIVER, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AT NORTHERLY CORNER OF SAID LOT 14; THENCE N. 44°40'00"E, 64.56 FEET TO THE MEDIAL LINE OF SAID EAGLE RIVER; THENCE UPON SAID MEDIAL LINE THE FOLLOWING 3 COURSES: 1) S. 47°22'13"E, 7.79 FEET; THENCE S. 45°38'52"E, 26.78 FEET; THENCE S. 48°12'44"E, 15.46 FEET; THENCE DEPARTING SAID MEDIAL LINE S. 44°40`00"W, 65.76 FEET TO THE EASTERLY CORNER OF SAID LOT 14; THENCE UPON THE NORTHEASTERLY LINE OF SAID LOT 14 N. 45°20'00"W, 50.00 FEET TO THE POINT OF BEGINNING. COUNTY OF EAGLE, STATE OF COLORADO

NOTES:

1) Survey Date: April 2020

2) Location of Improvements, Lot lines, and Easements are based upon the Plat of Booco's Addition to the Town of Minturn & Title Commitment No V50061309 provided by Land Title, and Survey Monuments found, as shown hereon.

3) Street Address: 0482 EAGLE RIVER STREET

4) Elevation Datum: 7861.00' on the southwest property corner, this NAVD 88 Elevation was interpolated from public data sets.

5) Contour Interval: 1 foot.

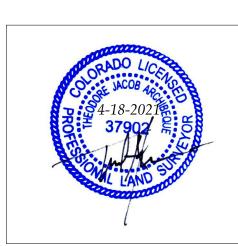
6) Utilities are shown approximately and should be field verified prior to excavation.

7) Surveyor does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.

8) This Topographic Survey was prepared for the exclusive use of Steve Hutton, and is valid only if print has original seal and signature of surveyor.

9) Lineal Units of the U.S. Survey Foot were used herein.

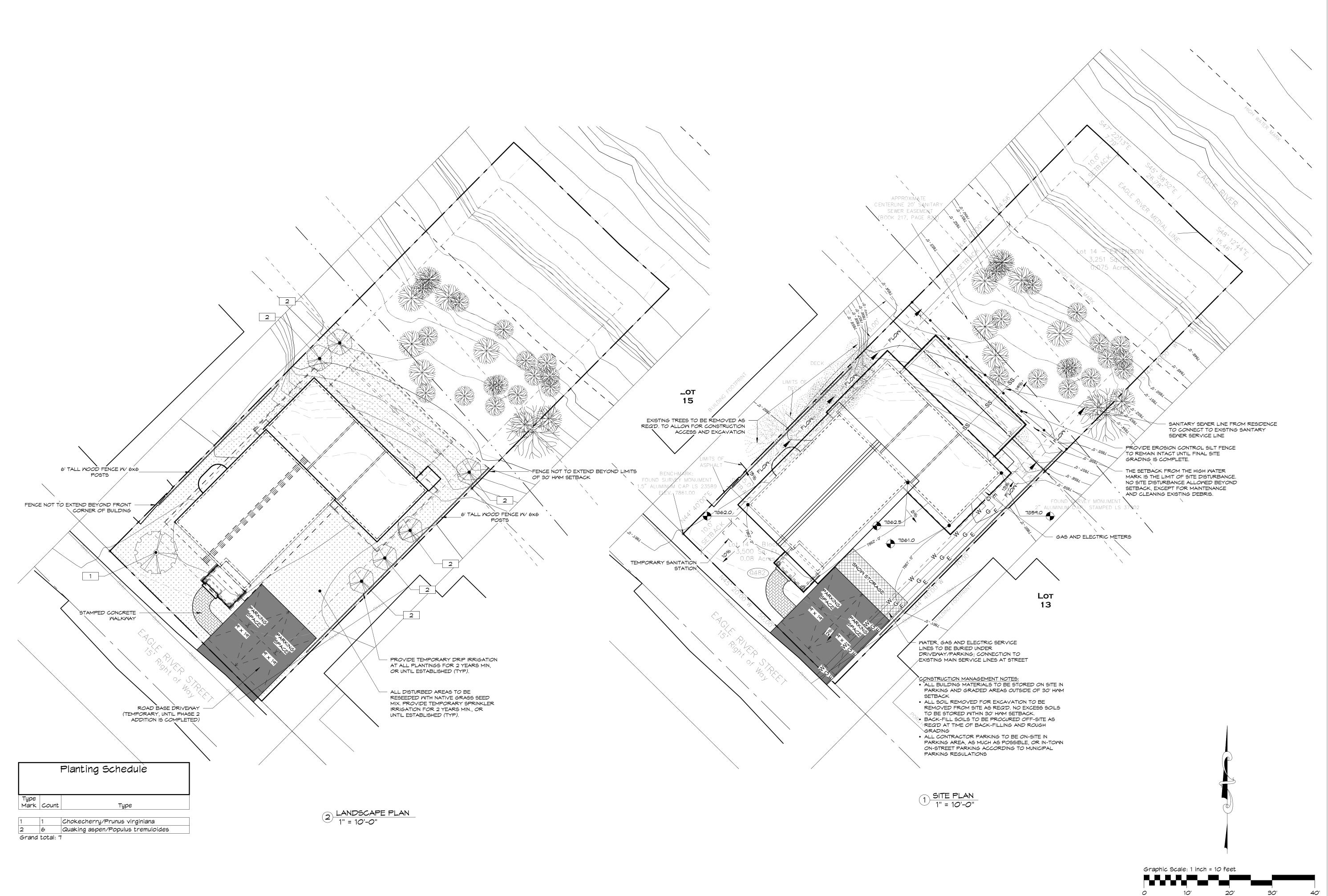
I, Theodore J. Archibeque, a Professional Land Surveyor in the State of Colorado, hereby certify that this Topographic Map was based upon my knowledge, information and belief, and was prepared by me or under my responsible charge, and that it was performed in accordance with standard care and practice used in the area at the time of the survey. This certification is not a guaranty or warranty, either expressed or implied and the Notes hereon are a part of this certification.



Theodore J. Archibeque PLS 37902 Colorado Professional Land Surveyor

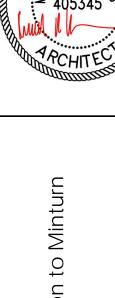
TOPOGRAPHIC SURVEY
Lot 14, Block 2, Booco's 2nd Addition to
Minturn

Town of Minturn, County of Eagle, State of Colorado



mpp design shop, inc.

ACHITEC A



Hutturn, CO 81645

Miniturn, CO 81645

Miniturn, CO 81645

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Description Date

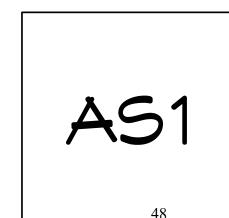
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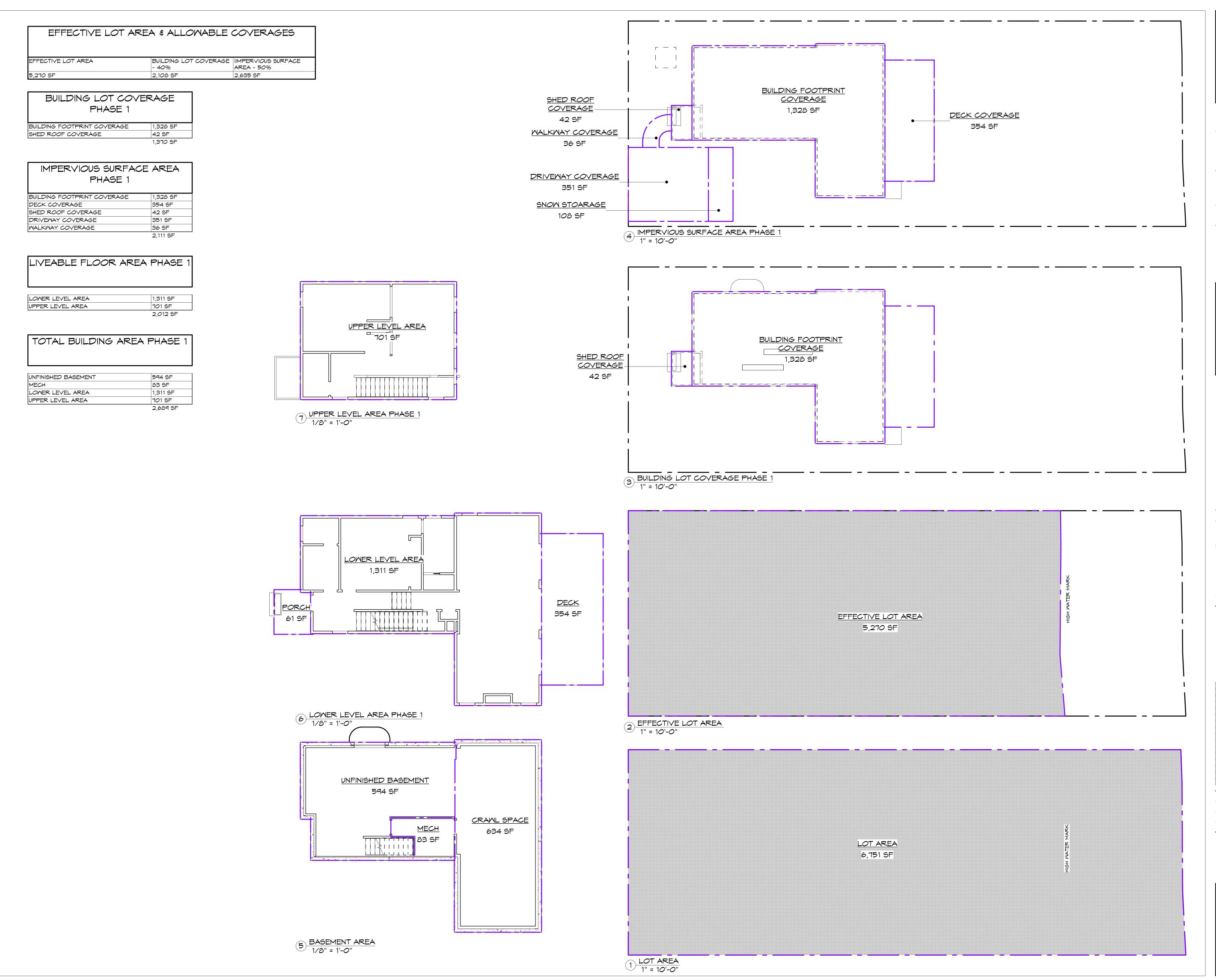
-	building Fermit	04/15/21
Pro	ject Number:	1908
Des	aigned by:	трр
Dra	awn by:	трр

Checked by: mpp

SITE & LANDSCAPE

PLANS





pp design shop, inc.

PO Box 288

Gypsum, CO 81637
(970) 390-4931

michael@mppdesignshop.com

QQUILLE P SILL P

ock 2, Booco's 2nd Addition to Minturn umber: 2103-263-02-025

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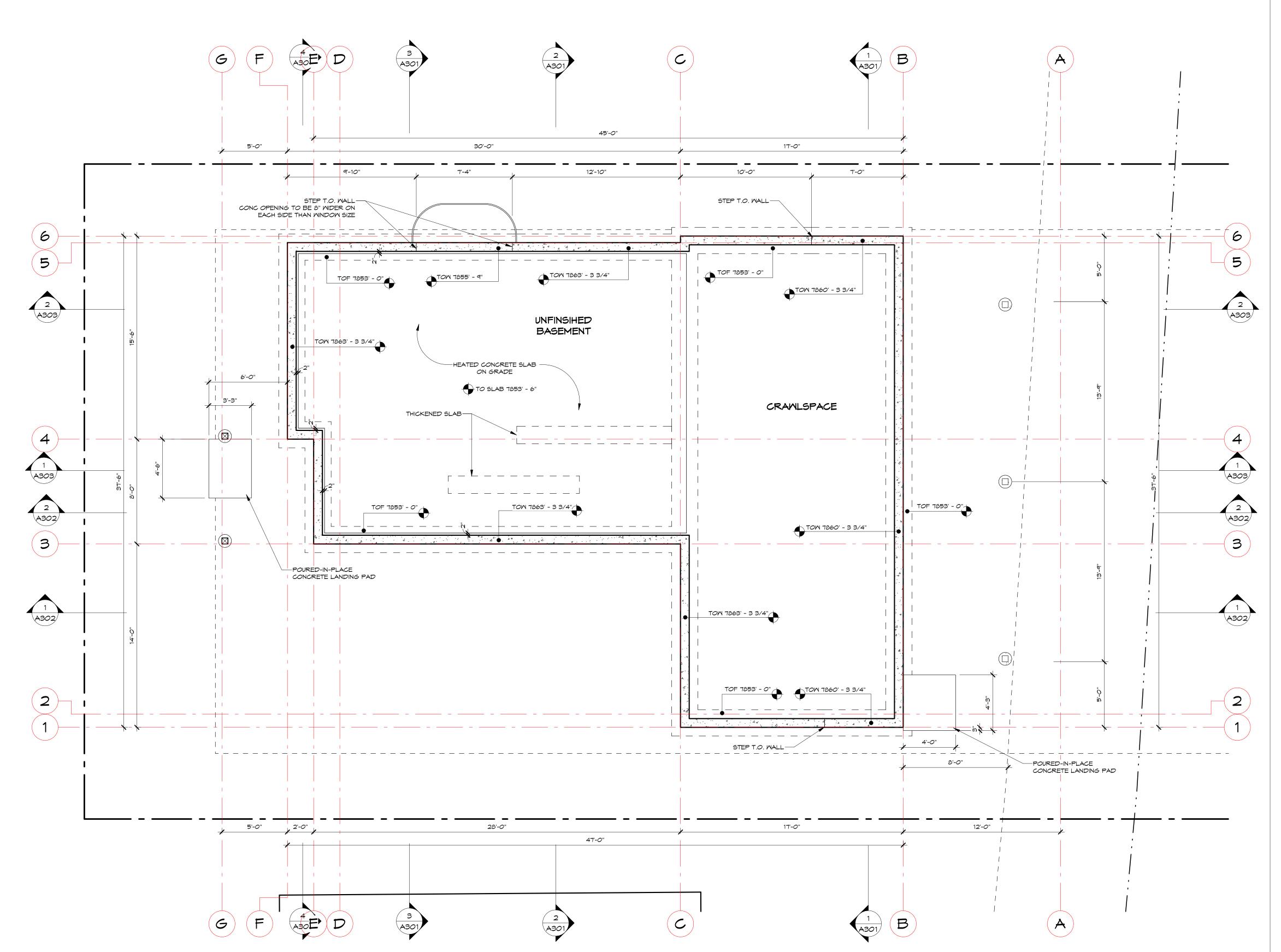
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2	Building Permit	0.	4/15/21			
Pro	oject Number:		1908			
De	signed by:		трр			

Drawn by: mpp
Checked by: mpp

LOT & BUILDING

OT & BUILDING ANALYSIS





mpp design shop, inc.
PO Box 288
Gypsum, CO 81637
(970) 390-4931

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APCHITECT

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On Residence
Block 2, Booco's 2nd Addition to Minturr
Number: 2103-263-02-025
gle River Street
1, CO 81645

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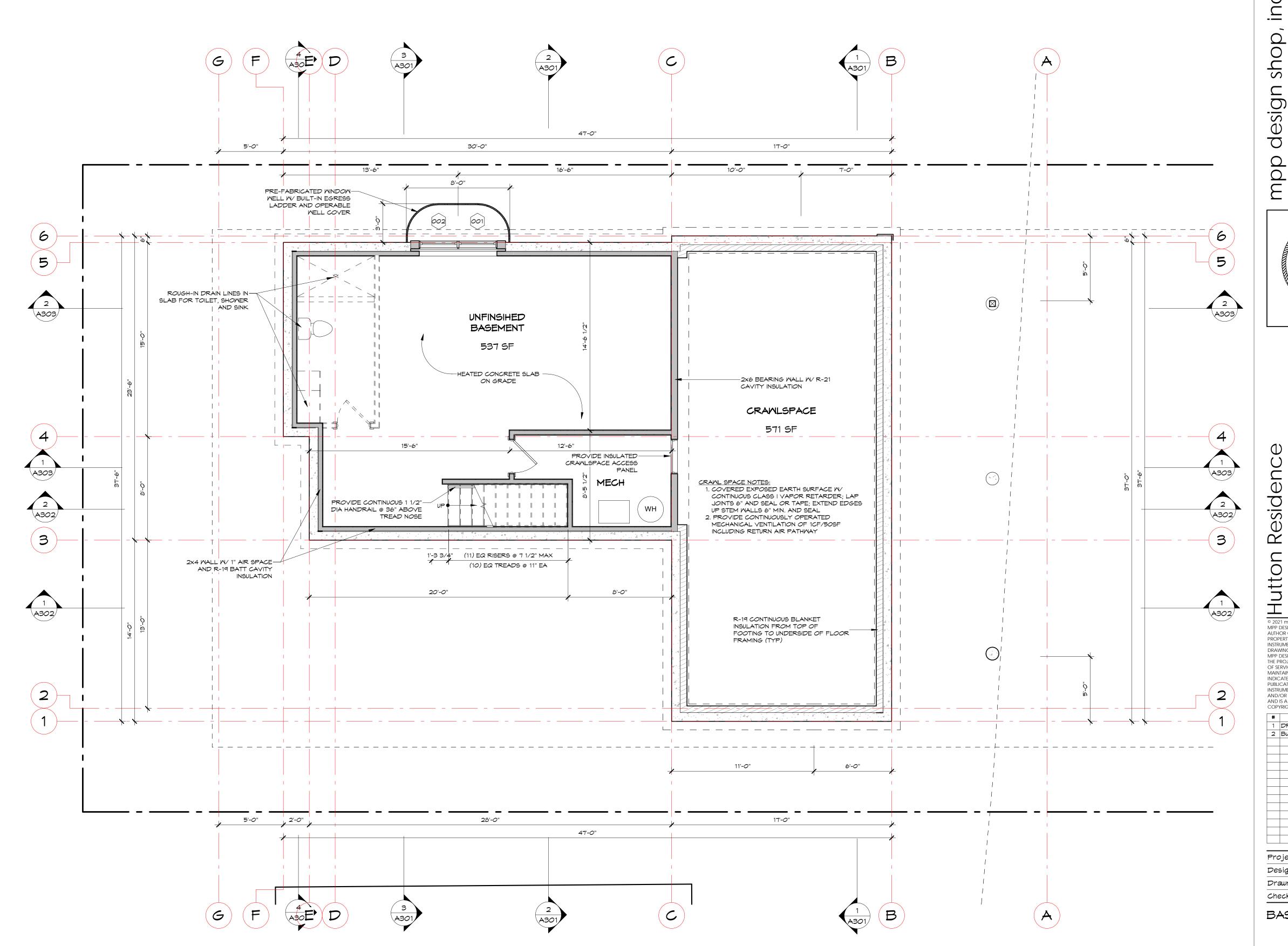
Description Date
2 Building Permit 04/15/21

Pro	ject Number:	1908
Des	signed by:	трр
Dra	awn by:	трр

checked by: mpp

FOUNDATION PLAN

A101



shop, design ddw

Booco r: 2103-; r Street 645

Hutton

Cot 14, Block

Darcel Numb

H82 Eagle Riv

Minturn, CO

Minturn, CO MPP DESIGN SHOP, INC. IS THE SOLE OWNER AND AUTHOR OF THE INTELLECTUAL AND PHYSICAL PROPERTY OF THE DESIGN OF THE PROJECT AND INSTRUMENTS OF SERVICE, CONSISTING OF THE DRAWINGS AND DOCUMENTS CONTAINED HEREIN. MPP DESIGN SHOP, INC. GRANTS THE CLIENT OF THE PROJECT PERMISSION TO USE THE INSTRUMENTS OF SERVICE SOLELY FOR CONSTRUCTING AND MAINTAINING THE PROJECT AT THE LOCATION INDICATED HEREIN. REUSE, REPRODUCTION OR PUBLICATION, IN WHOLE OR IN PART, OF THE INSTRUMENTS OF SERVICE, BY ANY OTHER ENTITY AND/OR AT ANY OTHER LOCATION IS PROHIBITED, AND IS A VIOLATION OF FEDERAL AND STATE COPYRIGHT LAWS.

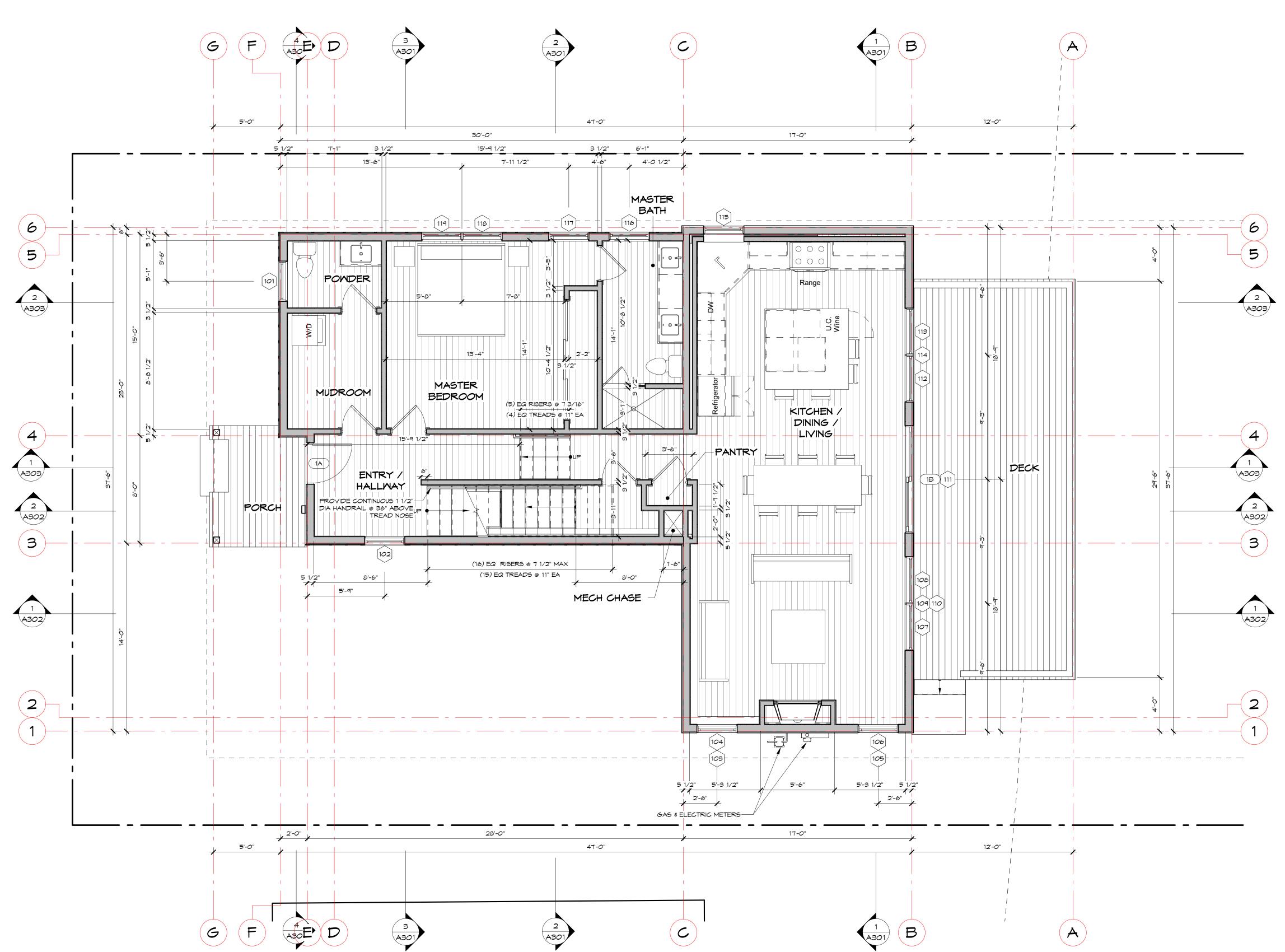
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1 DRB Submission **Date**03/01/21
04/15/21 2 Building Permit

Pro	ject Number:	1	908
Des	signed by:	r	прр
ora	awn by:	r	прр
She	ecked by:	r	прр

BASEMENT FLOOR PLAN



51



design shop, ddw

ock 2, Booco's 2nd Additi umber: 2103-263-02-025 e River Street CO 81645 Residence Hutton

Cot 14, Block

Darcel Numb

H82 Eagle Riv

Minturn, CO

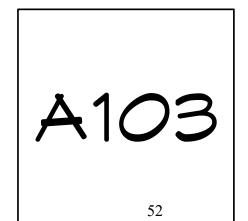
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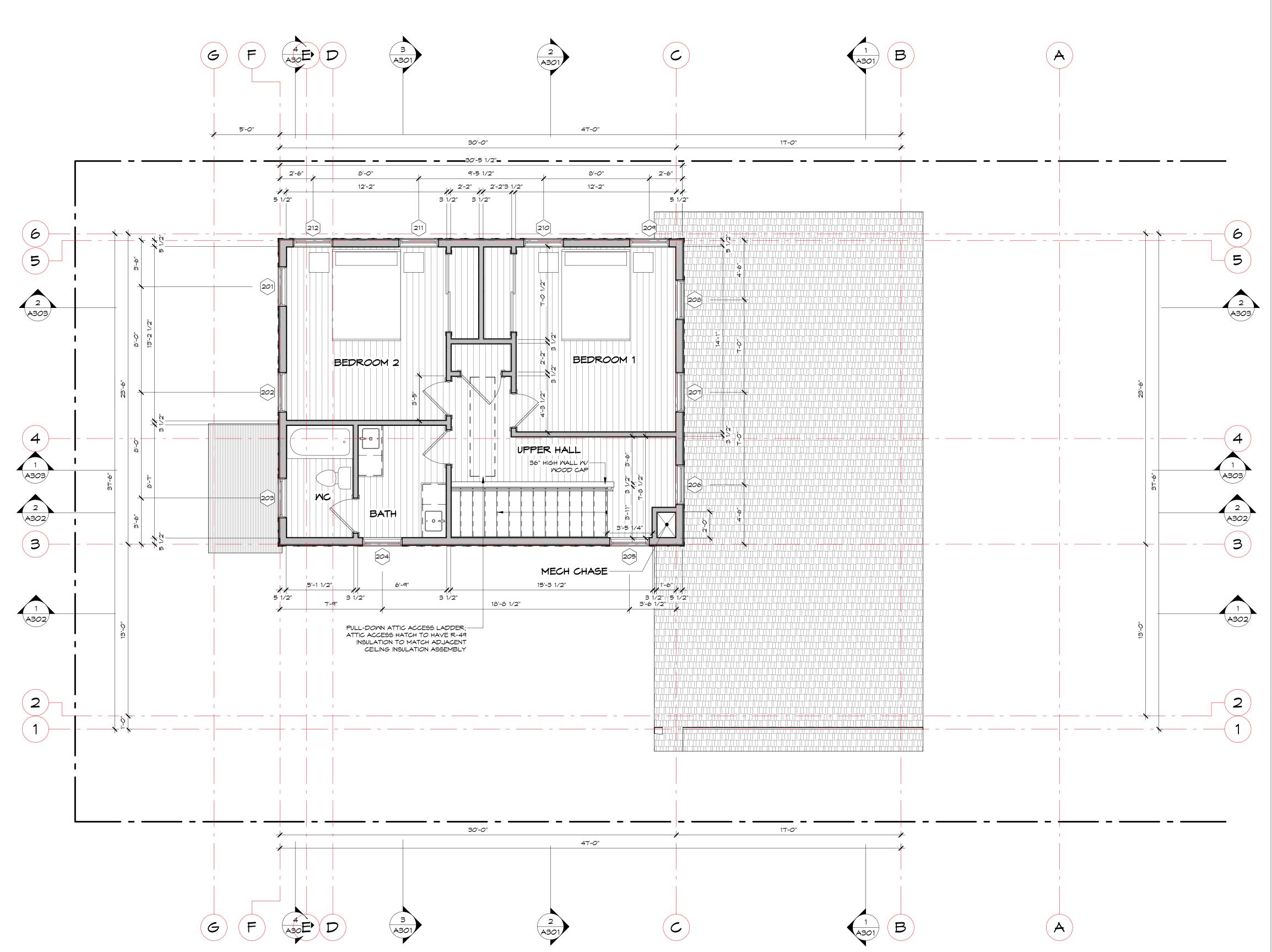
Date03/01/21
04/15/21 2 Building Permit 1908 трр трр

Description
1 DRB Submission

Project Number: Designed by: Drawn by: трр Checked by:

LOWER LEVEL FLOOR PLAN





mpp design shop, inc.
PO BOX 288
Gypsum, CO 81637
(970) 390-4931

405345 SED

lutton Residence
to 14, Block 2, Booco's 2nd Addition to Narcel Number: 2103-263-02-025
st Eagle River Street
inturn, CO 81645

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Description Date

1 DRB Submission 03/01/21

**	Description		Date		
1	DRB Submission	0	3/01/2		
2	Building Permit	0.	4/15/2		
Pro	ject Number:		1908		
Designed by: mpp					

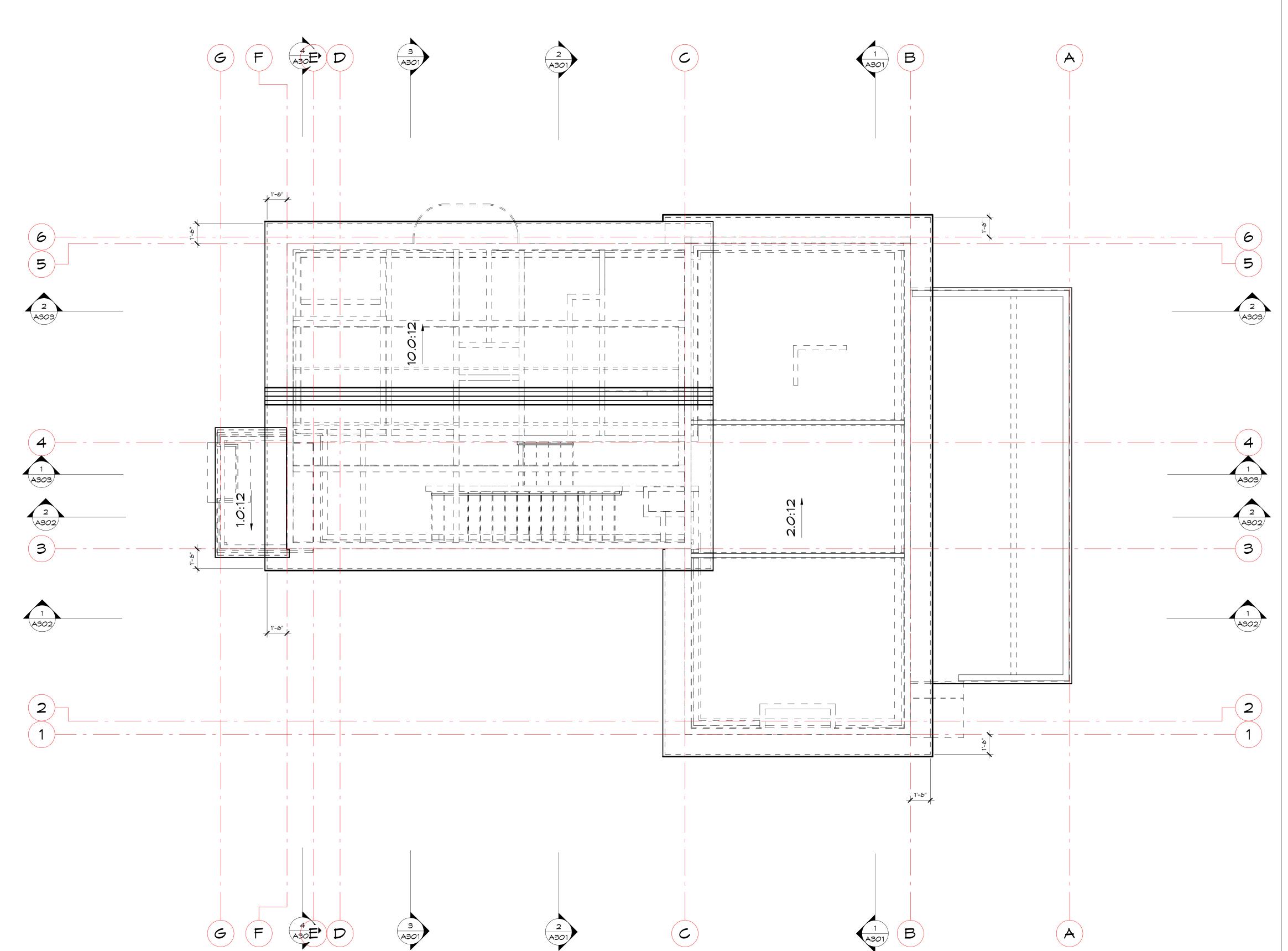
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Drawn by: mpp
Checked by: mpp

UPPER LEVEL

FLOOR PLAN

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design shop, inc ddw

Residence

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H82 Eagle Riv

Minturn, CO

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Description
1 DRB Submission
2 Building Permit

ROOF PLAN

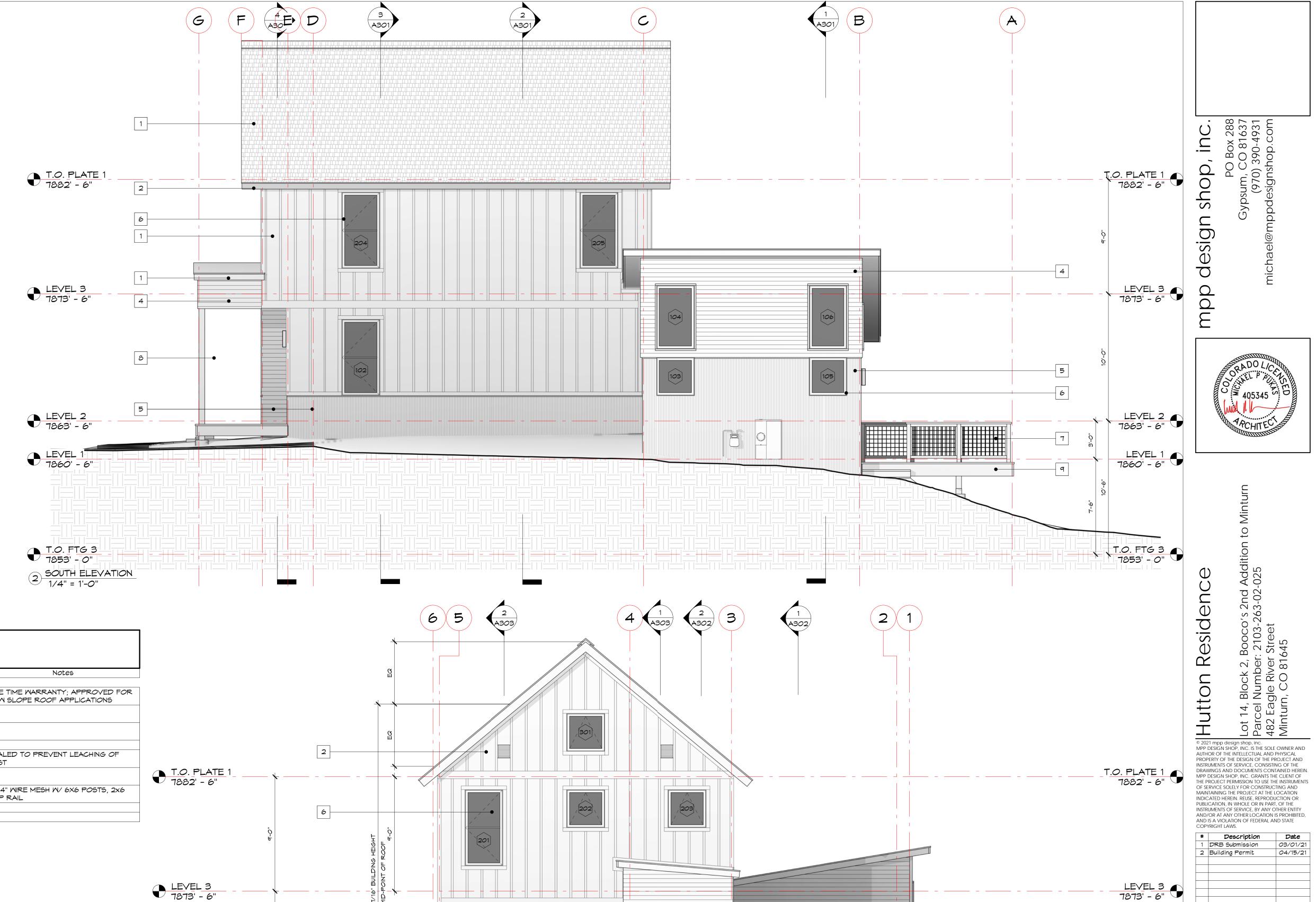
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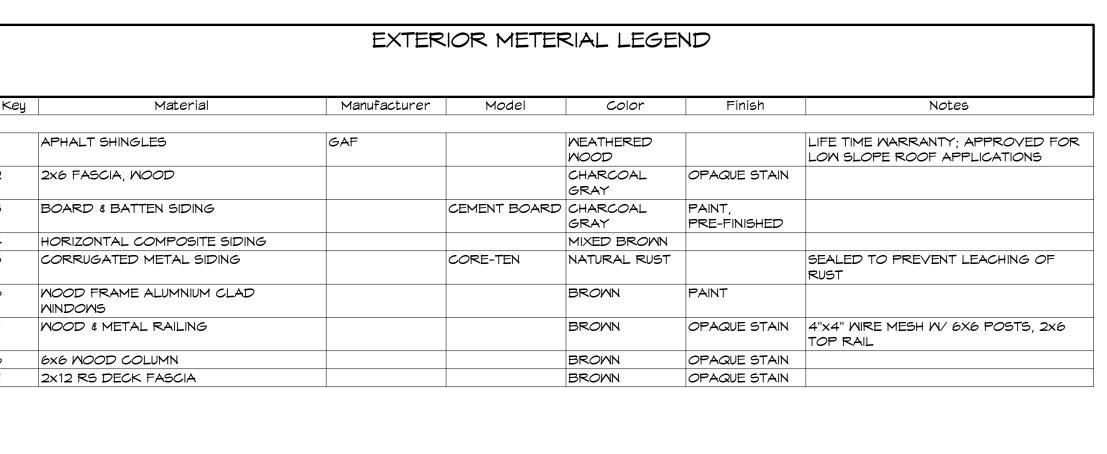
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			MIN.	DOM	SCHE	DULE		
Mark	Type #	Description	Midth	Height	U-Factor	Glass Type	Type Comments	Comments
<i>0</i> 3		4848 FIXED	3' - O"	3' - 0"	<=0.3	IG Low E II with Argon		
<i>0</i> 5		4848 FIXED	3' - 0"	3' - 0"	<=0.3	IG Low E II with Argon		
2					1			
- 201	1	CASEMENT	3' - O"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	
002	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	
01	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	
02	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	
16	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	
117	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	EGRESS
201	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	EGRESS
204	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	LOTALOS
205	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	
205	1	CASEMENT	3' - O"	6' - 0"	(=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	
206 207	1	CASEMENT	3' - O"	6' - 0"	<=0.5 <=0.3	AIR-FILLED, LON-E	2-LITE HIGH	EGRESS
201 208	1	CASEMENT	3' - 0"	6' - 0"	<=0.3	AIR-FILLED, LOW-E	2-LITE HIGH	EGRESS
12	ı	CASLMILINI	5-0	6-0	1-0.5	AIR-I ILLED, LON-L	2-LITE HIGH	LONLOS
12 115	2	CASEMENT	3' - 0"	4' - 6"	<=0.3	AIR-FILLED, LOW-E		
		CASEMENT	5-0	4-6	1=0.5	AIR-FILLED, LON-E		
1 118		AMNING	2' 0"	2' 0"	4-0.3	AIR FILLER LOIM F		
11 <i>6</i> 119	3	AMNING	3' - 0"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		
	3		3' - 0"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		
202	3	AMNING	3' - O"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		
203	3	AMNING	3' - 0"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		
209	3	AMNING	3' - 0"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		EGRESS
210	3	AMNING	3' - 0"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		EGRESS
211	3	AMNING	3' - 0"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		EGRESS
212	3	AMNING	3' - O"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		EGRESS
301	3	AMNING	3' - 0"	3' - 0"	<=0.3	AIR-FILLED, LOW-E		
302	3	AMNING	3' - <i>0</i> "	3' - 0"	<=0.3	AIR-FILLED, LOW-E		
10	1			T				
107	4	AMNING	3' - 6"	2' - 0"	<=0.3	AIR-FILLED, LOW-E		
108	4	AMNING	3' - 6"	2' - 0"	<=0.3	AIR-FILLED, LOW-E		
112	4	AMNING	3' - 6"	2' - 0"	<=0.3	AIR-FILLED, LOW-E		
113	4	AMNING	3' - 6"	2' - 0"	<=0.3	AIR-FILLED, LOW-E		
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104	5	FIXED	3' - 0"	5' - 0"	<=0.3	AIR-FILLED, LOW-E		
06	5	FIXED	3' - O"	5' - 0"	<=0.3	AIR-FILLED, LOW-E		
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109	6	FIXED	7' - 0"	4' - 6"	<=0.3	AIR-FILLED, LOW-E		
114	6	FIXED	7' - 0"	4' - 6"	<=0.3	AIR-FILLED, LOW-E		
2	1			T	1			1
110	7	FIXED	7' - 0"	3' - 6"	<=0.3	AIR-FILLED, LOW-E		
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1 111	8	FIXED	8' - 0"	2' - 0"	<=0.3	AIR-FILLED, LOW-E		



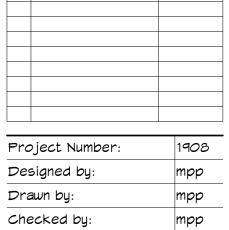


LEVEL 2 7863' - 6"

LEVEL 1 7860' - 6"

T.O. FTG 3 7853' - O"

1 MEST ELEVATION 1/4" = 1'-0"



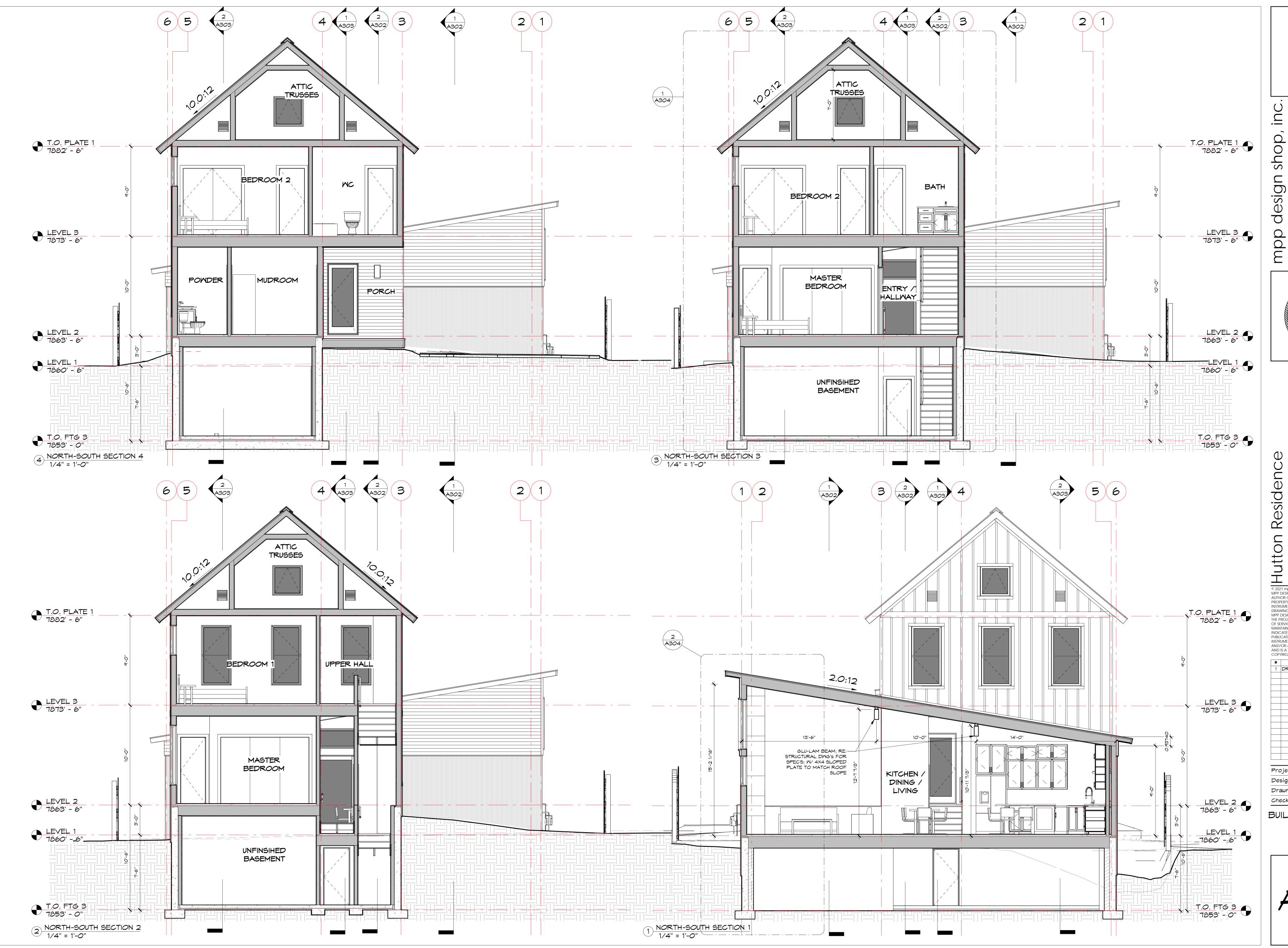
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ELEVATIONS

LEVEL 2 7863' - 6"

LEVEL 1 7860' - 6"





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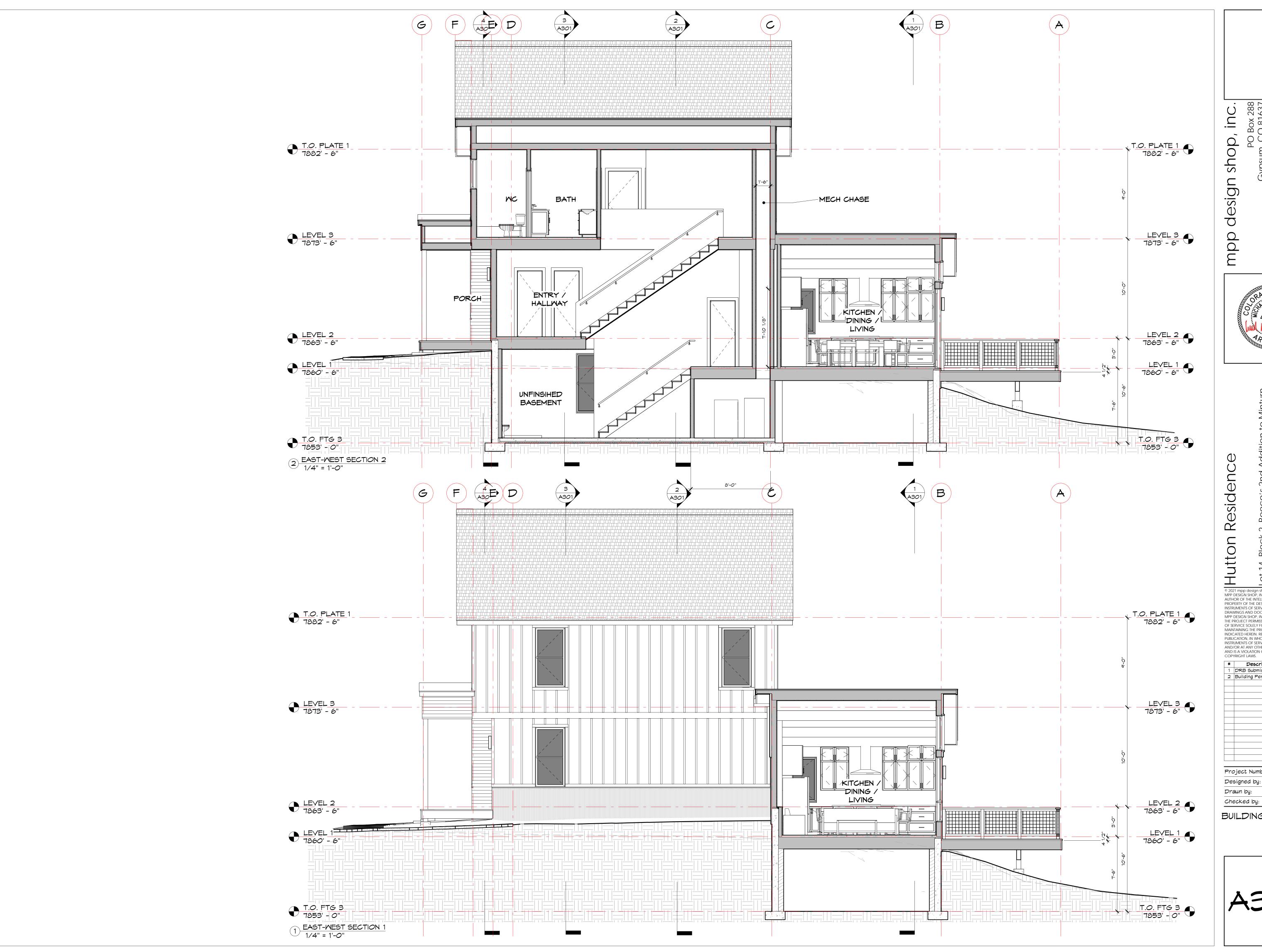
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(970) 390-4931
michael@mppdesignshop.com



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signed by:	трр				
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BUILDING SECTIONS





PO Box 288 (970) 390-4931 esignshop.com shop, inc design ddw

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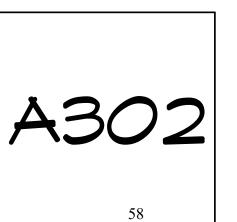
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2 Building Permit
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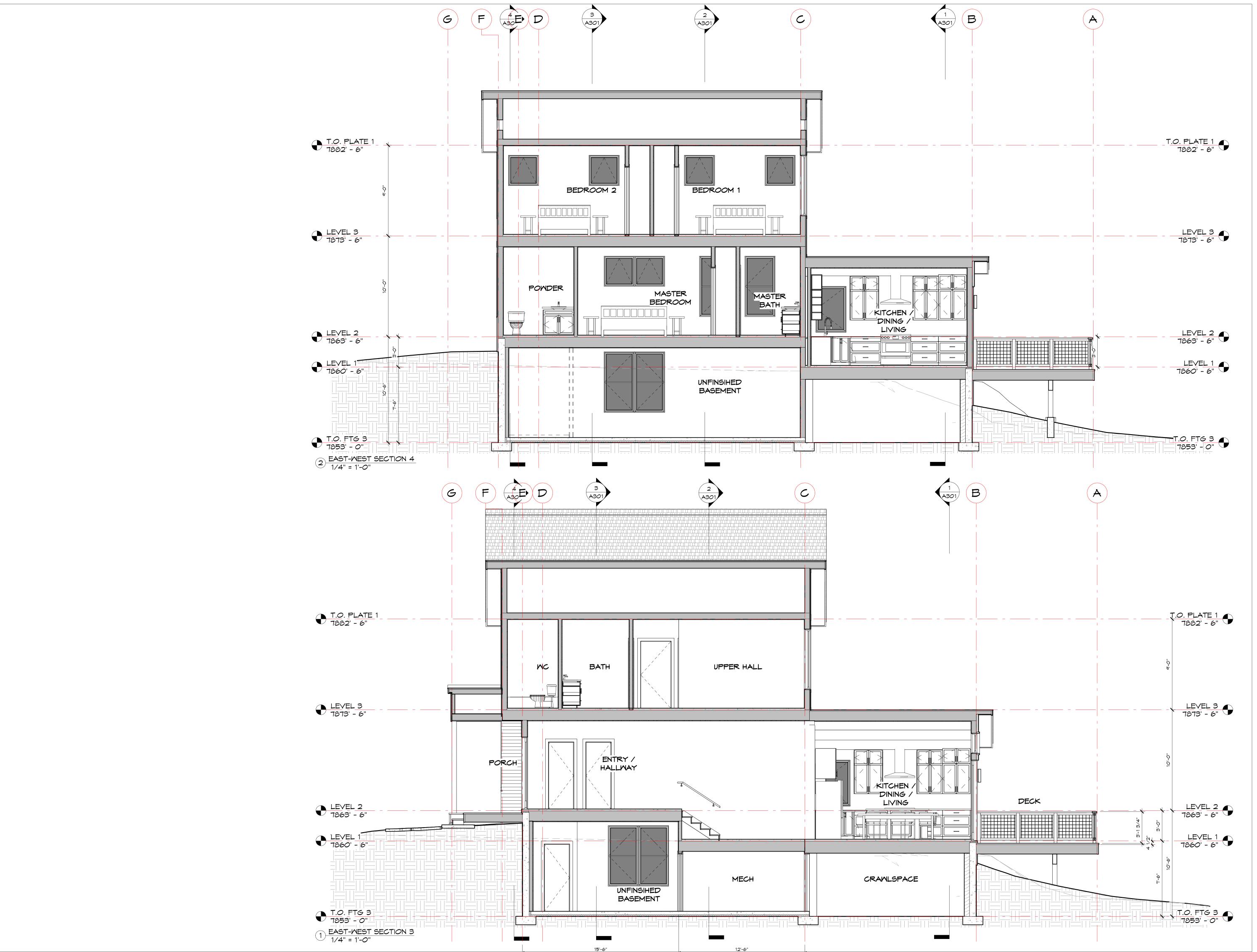
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BUILDING SECTIONS





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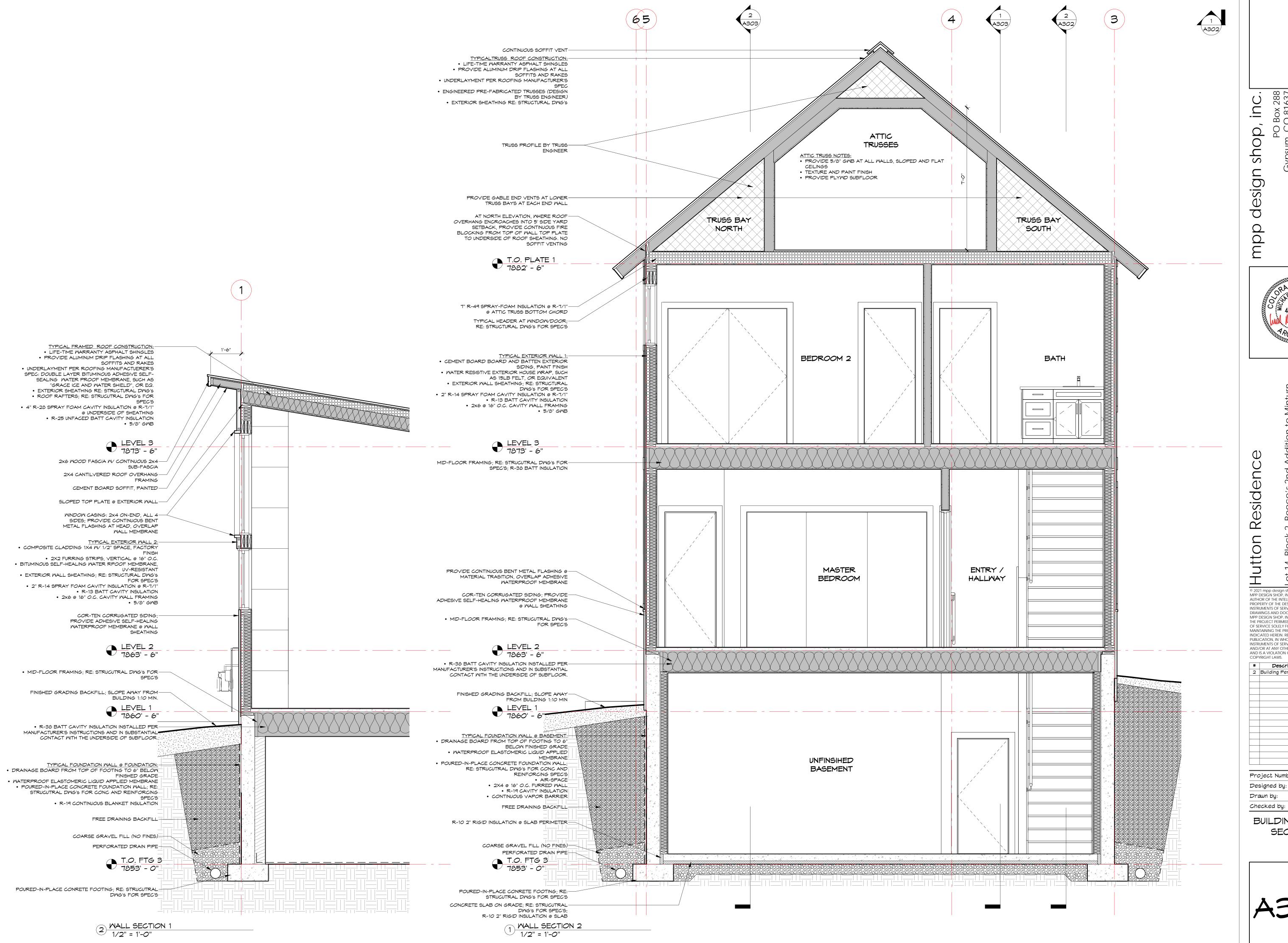
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1908 Project Number: трр Designed by: трр

BUILDING & MALL SECTIONS

трр

Roof Snow Load:	Slope <4:12 Slope >4:12		
Roof Live Load Roof Dead Load Floor Live Load Floor Dead Load Deck Snow Load Deck Live Load Deck Dead Load			20 psf 20 psf 45 psf 20 psf 75 psf 60 psf
Seismic Zone Exposure Wind (3 Second IBC/IRC Edition	 Gust)	 	B C 90 mph

FOUNDATION DESIGN:

- a. Foundation design is based on an assumed soils bearing pressure capacity of 1500 psf. All footings should bear on undisturbed natural soils or a minimum 3 feet of aggregate base course designed for an allowable bearing preasure of 2000 psf. A perimeter drain shall conform to the specifications in the soils engineer's report. A surface swale shall be provide around the perimeter of building to prevent surface water and roof run off from entering the soils adjacent to the foundation. In general, the site should provide adequate drainage away from the building foot print.
- b. Foundation and retaining walls have been designed using a (an assumed) lateral pressure of 60 pcf.
- c. Footings shall be placed on the natural undisturbed soil, or compacted structural fill per the recommendations of the geotechnical engineer. The foundation around the exterior of the structure shall have a minimum frost protection of 48" from the top of grade to the
- d. This foundation has been designed assumming a soil bearing preasure of 1500 psf. It is recommended that no footings be placed or pour until an open pit soils analyze is performed verifying the soils conditions.
- e. All concrete shall reach a minimum strength of 3000 psi for walls and footings. All interior slabs shall be a minimum 28 day strength of 3500 psi. The garage and all exterior slabs are to be a minimum 28 day strength of 4000 psi, and minimum of 6x6xW2.0/2.0 wire mesh. Mix designs should be based on the Building Code requirements for reinforce concrete: ACI 318, 1989.
- g. A representative of the soils engineering company shall verify soils conditions and types during excavation. Construction of the foundation may not proceed without verifying

Provide crawl space ventilation per UBC (IBC/IRC) requirements (R806).

- these values. Report any discrepancies from the original design assumptions to structural engineer for re-evaluation of foundation design. h. Backfill around and above structural buttresses and retaining walls shall be compaction-tested per the recommendations of the soils engineer.
- Do not backfill against retaining walls until supporting elements are in place and securely anchored, or adequate shoring is installed. Concurrent backfilling of each side of a retaining wall to final grades as indicated on plan or section is required unless temporary
- shoring is installed. j. Verify type of fill with soils engineer and structural engineer prior to backfilling.

REINFORCED CONCRETE:

- a. Concrete design is based on the "Building Code Requirements for Reinforced Concrete" (ACI 318) as adopted by Chapter 19 of the 2003 IBC.
- Structural concrete shall have a minimum 28-day compressive strength of 3000 psi. Concrete shall be proportioned using Type I-II sulfate-resistant cement. Admixtures containing chloride salts shall not be used.
- d. All concrete (walls, footings and flatwork) shall be protected from cold weather conditions for a minimum of 7 days and shall maintain a minimum average temperature of 50°F. As conditions require, the days and the temperature may vary in accordance the American Concrete Institute guidelines. Cold weather concreting procedures shall be provided as recommended in the ACI Manual of Concrete Practice.
- e. Anchor bolts for beam and column bearing plates shall be placed with setting templates. f. Expansion bolts shall be located at a minimum of 6 bolt diameters from concrete edge and spaced at 10 bolt diameters unless noted otherwise.
- g. Anchor bolts for wood sill plates shall be placed at 4'-0'' maximum spacing with one anchor bolt at 12" from each end or corner and a minimum of two anchor bolts per
- h. Concrete floor slabs on grade and on metal decking or plywood supported by framing shall have sawn or tooled control joints at a maximum spacing of 15'-0" in each direction. Locate control joints along column grid lines where possible and provide slab isolation joints around columns. Concrete coverage for reinforcing steel:
- Concrete cast against and permanently exposed to earth = 3" Concrete exposed to earth or weather: #5 bar and smaller = 1 1/2" #6 through #18 bar = 2" Concrete not exposed to weather or in contact with ground:

Slabs, walls, joists = 3/4"

REINFORCING STEEL:

a. Detailing, fabrication and placement of reinforcing steel shall be in accordance with the ACI

Beams, columns = 1 1/2"

- b. Except where otherwise noted on the drawings, reinforcing bars shall conform to ASTM Specification A615 and shall be ASTM grade 40 for #4 and #5 rebar, and ASTM grade 60
- c. All splices, lap bars 44 diameters. Do not weld or use mechanical splicing devices unless
- specifically approved by engineer. d. At corners, make horizontal bars continuous or provide corner bars. Around openings and
- steps in concrete, provide (2)-#5 bars extending 2'-6" beyond edge of opening or step. e. Extend reinforcing steel a minimum of 2'-6" through cold joints. Unless specifically located
- on plan or details, coordinate cold joint locations with engineer. f. Welded wire fabric shall conform to ASTM Specification A-185. Lap welded wire fabric a minimum of one full mesh plus two inches. Laps shall be wired together.

STRUCTURAL WOOD FRAMING:

d. connection of multiple-member beams:

- a. Except where noted otherwise, all 2" nominal lumber, except studs, shall be Douglas Fir-Larch #2 and better, and all solid timber beams and posts 3" nominal and wider shall be Douglas Fir-Larch #2.
- Studs shall be Stud grade and better Douglas Fir-Larch or Hem Fir. c. Built-up posts shall consist of Douglas Fir-Larch or Hem Fir #2 or better 2x4 or 2x6 studs per plan and shall be nailed together with 2 rows of 16d nails @ 6" on center along
 - 1. top-loaded beams i) for members 12" deep or less, nail each member to the next with 2 rows of ii) for members greater than 12" deep, nail each member to the next with 3
 - rows of 16d nails at 12" o.c. side-loaded beams for two or three member beams, nail each member to the next with 3 rows of
 - 16d nails at 12" o.c. ii) for four member beams, bolt through with 2 rows of 1/2" diameter bolts at
- iii) for members consisting of more than four members, contact structural e. Top and bottom plates shall be Douglas Fir-Larch or Hem Fir #2 and better. Plates placed
- directly on concrete walls or slabs shall be pressure-treated Hem Fir #2. f. Wood beams bearing in beam pockets in concrete or masonry walls shall bear on a treated 2x6 bearing block. Provide ½" clearance around end of wood beam. Block against sides of beam pocket with treated 2x blocking to provide lateral support for
- Within floor joist spaces beneath solid or built-up columns noted on plans, blocking of area equivalent to column above shall be provided. Door or window trimmers consisting of a single stud do not require special blocking in the joist space.
- h. Except as noted otherwise, minimum nailing shall be provided as specified in the IRC 2015 Table R602.3(1) Fastening Schedule. Bolts used for wood framing connections shall be installed with standard washers and nuts. Unless noted otherwise, steel connectors such as those manufactured by the Simpson Company shall be used to join rafters, joists or beams to other beams at flush-framed conditions. Use all specified nails. Connector conditions not otherwise noted shall utilize type U or type HU hangers of a size specifically designed for the member supported, as

shown in the manufacturer's published tables. Contact structural engineer for details as

- k. Wood nailer plates installed on steel beams or concrete walls for top-flange hangers shall be ripped to match the width of the wall or beam flange. Nailer plates supporting top flange hangers from one side only shall be installed flush with the face of wall or beam flange at the hanger locations.
- Manufactured joists shall be from an approved manufacturer and shall be equivalent in load carrying capacity and deflection criteria to plan joists in the depths and spacings indicated on plan. Provide blocking, bracing, web stiffeners and other accessories as required by the manufacturer.
- m. Prefabricated trusses shall be designed by a Colorado registered engineer to support the full dead and live loads of the roof, ceiling, and any other superimposed loads. The fabricator shall determine web arrangement and member forces. Load duration factor for snow loads is 1.0. Calculations and shop drawings shall be submitted to the architect/engineer for review prior to fabrication. The truss manufacturer shall specify all truss-to-truss connections. Temporary and permanent lateral bracing of trusses shall be installed as required by the truss manufacturer.
- n. Laminated veneer lumber (LVL) shall have the following minimum properties: Flexural stress ----- 2600 psi Modulus of elasticity ------ 1,900,000 psi Tension parallel to grain ----- 1850 psi Compression parallel to grain ----- 2310 psi
- Compression perpendicular to grain (parallel to glue line) ----- 750 psi Horizontal shear ----- 285 psi
- o. All lumber used in construction shall have a maximum moisture content of 19%. p. Framing Notes:
 - Exterior walls: A. All exterior walls are 2x6 studs @ 16" o.c. to a maximum height of 12'-6", 2x6 studs @ 12" o.c. to a maximum height of 14'-6", and (2)-2x6 studs @ 16" to a maximum height of 17'-4'' unless otherwise noted. Walls taller than 17'-4'' shall be framed with manufactured parallam studs, contact engineer for spacing requirements, if not indicated on plan. Cap with a double top plate installed to provide overlapping at corners and at intersections with other partitions. If overlap is not possible, strap top plates with metal strap ties (Simpson ST292 or
 - equivalent). B. Gable-end walls shall be balloon-framed to the bottom of rafters or end-wall trusses unless approved by engineer.
 - Floor or roof framing members must be aligned to bear within 5 inches of the studs beneath.
 - D. Provide 7/16" thick APA rated sheathing (plywood or OSB) rated 24/16, exposure 1, at exterior face of exterior walls. Block all horizontal joints and nail panels with
 - Provide (3)-2x10 headers over all door and window openings, with one 2x6 trimmer and one 2x6 king stud each end, unless otherwise indicated. At beam bearing locations in stud walls, provide multiple-stud posts equal to width

8d nails spaced at 6" along panel edges and at 12" along intermediate supports.

- of bearing member unless noted otherwise. Interior Load Bearing Walls: A. Interior load bearing walls are 2x4 or 2x6 studs (as indicated on plan) @ 16" o.c.
- with 1/2" gypsum wallboard both sides unless noted otherwise. Cap with a double top plate installed to provide overlapping at corners and at intersections with other partitions. If overlap is not possible, strap top plates with metal strap ties (Simpson ST292 or equivalent).
- B. Floor or roof framing members must be aligned to bear within 5 inches of the studs beneath. C. Provide (2)-2x10 headers over all openings in wall, with one 2x4 or 2x6 trimmer
- and one 2x4 or 2x6 king stud each end, unless noted otherwise. D. At beam bearing locations in stud walls, provide multiple-stud posts equal to width of bearing member unless noted otherwise.
- Floor Construction: A. Provide 3/4" thick APA rated Sturdifloor rated at 24" o.c., tongue and groove, exposure 1. Glue and nail panels to all supports with 8d nails spaced at 6" along panel edges and at 12" along intermediate supports. Install sheathing with long dimension perpendicular to joists and end joints staggered.
- B. Provide solid blocking between floor joists at all bearing locations. Blocking material shall match the floor joist material.

- 4. Roof Construction:
- A. Provide 5/8" thick APA plywood sheathing rated 40/20, exposure 1. Install sheathing with long dimension perpendicular to rafters or trusses and end joints staggered. Nail with 8d nails spaced at 6" along panel edges and at 12" along intermediate supports.
- B. Plywood sheathing shall be applied continuously over the primary roof members (rafters or trusses) below overframed areas to provide adequate lateral
- C. Provide wind/seismic anchors at supports for all roof joists and trussed rafters. See nailing schedule. D. Provide solid blocking between roof rafters, trusses and lookouts at all bearing
- locations. Blocking material shall match rafter, truss chord, or lookout material.
- A. Walls over 4 feet long which are sheathed with gypsum wallboard on both faces and are indicated as shear walls on plan have been designed to resist wind forces in accordance with IRC Table 2306.4.5. B. At interior walls, screw 1/2" gypsum wallboard to all studs and to top and bottom
- plates with $\#8 \times 1 \ 1/8''$ drywall screws at 7'' maximum spacing. C. Exterior plywood or OSB wall sheathing is required unless specifically deleted by engineer.

STRUCTURAL STEEL:

- Structural steel shall be detailed, fabricated and erected in accordance with the most current editions of AISC Specifications and Code of Standard Practice.
- b. Structural steel W shapes shall be ASTM A992. Other rolled shapes, including plates and angles shall be ASTM A36. Tube shapes shall be ASTM A500 grade B. Pipes shall be ASTM A53 grade B or ASTM A501.
- Tube shapes are actual size as specified on plan. Pipe sizes indicated on plan are nominal (approximate inside diameter) and refer to AISC pipe schedule dimensions.
- All bolts used in steel framing shall conform to ASTM Specification A325. Anchor bolts and bolts used in timber connections may be ASTM A307. Bolt sizes shall be 3/4" diameter unless noted otherwise.
- Typical framed beam connections shall consist of pairs of 1/4" angles using the maximum number of bolts called for in Table II-A of the AISC Manual (ASD Ninth Edition). Expansion bolts shall be wedge type "Hilti" or "Rawl" or "Simpson", or approved equivalent with the following minimum embedments:
 - 1/2" diameter ---- 2 1/2" 5/8" diameter --- 3" 3/4" diameter ---- 4"
- g. Epoxy anchors called for on the drawings shall be "Epcon" or "Rawl" or "Simpson" or approved equivalent anchor systems. Minimum embedments, if not specifically indicated on the drawings, shall be according to the manufacturer's specifications.
- All welding shall be done by an AWS qualified welder.
- Delay painting within 3" of field welds until welds are completed.
- Where corrosive soil conditions exist, steel angles that are used to support exterior stone veneer shall be galvanized and shall be attached to the foundation with galvanized or stainless steel expansion anchors.
- All grout beneath column base plates and steel beams at bearing shall be non-shrink, nonmetallic type grout. Grout shall have a minimum compressive strength of 2500 psi.

GENERAL REQUIREMENTS:

- a. Structural erection and bracing: The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide shoring and bracing as may be required during construction to achieve the final completed structure. Contact structural engineer for consultation (not in contract) as required.
- Shop drawings: Submit shop and erection drawings for structural steel, miscellaneous steel, steel joists and girders, steel deck, masonry reinforcing steel, wood trusses, manufactured wood joists and glue-lam beams to engineer for review prior to fabrication. This review is for general compliance with the intent of the structural design. The architect and/or contractor are responsible for checking quantities, dimensions and coordination with other trades.
- Existing structures: Contractor shall be responsible for verifying dimensions, elevations, framing, foundation and anything else that may affect the work shown on the drawings.
- Underpinning, shoring and bracing of existing structures shall be the responsibility of the contractor d. Dimensions: Check all dimensions against architectural drawings prior to construction. Do
- not scale drawings. Construction practices: General contractor is responsible for means, methods, techniques, sequences and procedures for construction of this project. Notify structural engineer of omissions or conflicts between the working drawings and existing conditions. Coordinate requirements for mechanical/electrical/plumbing penetrations through structural elements with structural engineer. Jobsite safety is the sole responsibility of the contractor. All methods used for construction shall be in accordance with the latest editions of the
- Details not specifically shown on the drawings shall be constructed in a manner similar to the details that are shown for like conditions. These items shall be brought to the attention of the structural engineer as soon as possible for approval. Approval shall be obtained prior to installation.
- It is the responsibility of the contractor to contact the structural engineer at the appropriate time to perform site observations visits. Observation visits to the jobsite by the engineer are for determination of general conformance with the construction documents and shall not be construed as inspection.
- Though every effort is made to provide a complete and clear set of construction documents, discrepancies or omissions may occur. Release of these drawings anticipates cooperation and continued communication between the contractor, architect and engineer to provide the best possible structure. These drawings have been prepared for the use of a qualified contractor experienced in the construction techniques and systems depicted.

ABBREVIATION LIST

A.B. ANCHOR BOLT A.F.F. ABOVE FINISHED FLOOR A.F.G. ABOVE FINISHED GRADE ADJ. ADJUSTABLE ANCH. ANCHOR APPROX. APPROXIMATELY ARCH. ARCHITECT BOARD BLDG. BUILDING BLKG. **BLOCKING** RFAM **BOTTOM** B.O.W. BOTTOM OF WALL BRG. BEARING CANT CANTILEVER CONTROL JOINT C.J. CONCRETE MASONRY UNIT CEM. CEMENT CLG. CEILING **CENTERLINE CLEARANCE** COLUMN CONCRETE CONNECTION CONTINUOUS CONSTRUCTION CRIPPLE POST DOUBLE DETAIL DIAGONAL DRAWING

COL. CONC. CONN. CONT CONST. C.P. DBL. DET. DIAG. DWG. DWL. DOWEL FACH **EXPANSION JOINT** ELEV. **ELEVATION** ENGR. ENGINEER **EQUIP EQUIPMENT** EQUIV. **EQUIVALENT** EXSTG. EXISTING EXISTING **EXPANSION** EXT. EXTERIOR F.D. FLOOR DRAIN FDTN. FOUNDATION FLR. FLOOR FRMG. FRAMING FTG. FOOTING GAUGE GALV. **GALVANIZED** GEN. GENERAL GLUE-LAM G.L. GYP. HEADER

GYPSUM/GYPCRETE HDR. HORIZONTAL HEIGHT INTERIOR INVERTED KING STUD JOIST LAMINATED LLV LONG LEG VERTICAL LONGIT. LONGITUDINAL LTWT. LIGHTWEIGHT LAMINATED VENEER LUMBER LVL LAMINATED STRAND LUMBER LSL MAX. MAXIMUM MECH. MECHANICAL MAT'L MATERIAL MANUF. MANUFACTURER MIN. MINIMUM NEW NOMINAL O.C. ON CENTER OPNG. OPENING ORIENTED STRAND BOARD OSB PLATE PLYWD. PLYWOOD R.O. ROUGH OPENING RAD. RADIUS REF. REFERENCE

RET. RETAINING REV. REVISION R.S. ROUGH SAWN SCHED. SCHEDULE SECT. SECTION SHEET SHT. SIM. SIMILAR S.I.P. STRUCTURAL INSULATED PANEL SPEC. SPECIFICATION **SQUARE** STD. STANDARD STL. STEEL STRUCTURAL STRUCT. TRIMMER T&B TOP & BOTTOM T&G TONGUE & GROOVE T.O.C. TOP OF CONCRETE T.O.F. TOP OF FOOTING T.O.L. TOP OF LEDGE T.O.M. T.O.

REINF.

REQ'D

T.O.W.

THRU

TYP.

U.N.O.

VERT.

V.I.F. W.F.

W.P.

W.W.F.

W/O

TOP OF MASONRY TOP OF TOP OF WALL THROUGH TRANSV. TRANSVERSE TUBE STEEL COLUMN **TYPICAL** UNLESS NOTED OTHERWISE VERTICAL VERIFY IN FIELD WIDE FLANGE WATERPROOF

WELDED WIRE FABRIC

WITH

WITHOUT

REINFORCE/REINFORCEMENT

REQUIRED

AISC SYMBOL-WIDE FLANGE

PRELIM.: 9-14-20

REV'D.: 11-23-20

REVISED: 3-31-21

PERMIT: 4-15-21

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SHEET

FOUNDATION NOTES

- 1. ELEVATIONS OF CONCRETE FOUNDATION ELEMENTS INDICATED ON PLAN THUS: T.O.W.=TOP OF CONCRETE WALL T.O.F.=TOP OF CONCRETE FOOTING THESE ELEVATIONS RELATE TO ACTUAL SITE ELEVATIONS.
- 2. TOP OF FOOTING ELEVATIONS ARE BASED ON FINDING ADEQUATE SOIL BEARING CONDITIONS AT THAT DEPTH. CONTACT ENGINEER IF OVEREXCAVATION IS REQUIR
- 3. STEPS IN TOP OF CONCRETE WALL INDICATED:
- 4. CONTINUOUS CONCRETE FOOTINGS ARE CENTERED BENEATH CONCRETE FOUNDATION WALLS WHERE POSSIBLE AND/OR UNLESS NOTED OTHERWISE.
- 5. CONCRETE FOUNDATION WALLS ARE 8" THICK AND CONTINUOUS FOOTINGS ARE 8 THICK x 16" WIDE UNLESS NOTED OTHERWISE.
- 6. PERIMETER DRAIN PER IBC R405.1
- 7. WATERPROOF FOUNDATION PER IBC R406.2
- 8. INSULATE THE EXTERIOR OF FOUNDATION W/2" EPS (RECOMENDED-NOT REQ'D.)
- 9. DO NOT SCALE DRAWINGS.

FOUNDATION REINFORCEMENT:

FOOTINGS: # 5 DOWELS MIN. 30" BENT @ 6" SPACED @ 24" o.c. (2) #5 REBAR HORIZ. IN 16" FOOTINGS & THICKENED SLABS (3) #5 REBAR HORIZ. IN 24" FOOTINGS

4' WALLS: # 5 VERTICAL (FULL HT.) @ 48" o.c. TWO #5 REBAR HORIZONTAL T. & B.

WALLS OVER 4' TALL: # 5 VERTICAL (FULL HT.) @ 24" o.c.

TWO #5 REBAR HORIZONTAL T. & B. AND @ 24" o.c. ROUND CONCRETE PIERS: LESS THAN 4 FT. TALL: (3) #4 VERTICAL (FULL HT.)
AND ONE #3 REBAR HOOP 12" DOWN FROM TOP

4 FT. TO 8 FT. TALL: (3) #5 VERTICAL (FULL HT.) AND ONE #3 REBAR HOÒP 12" DOWN FROM TOP AND @ 24" O.C.

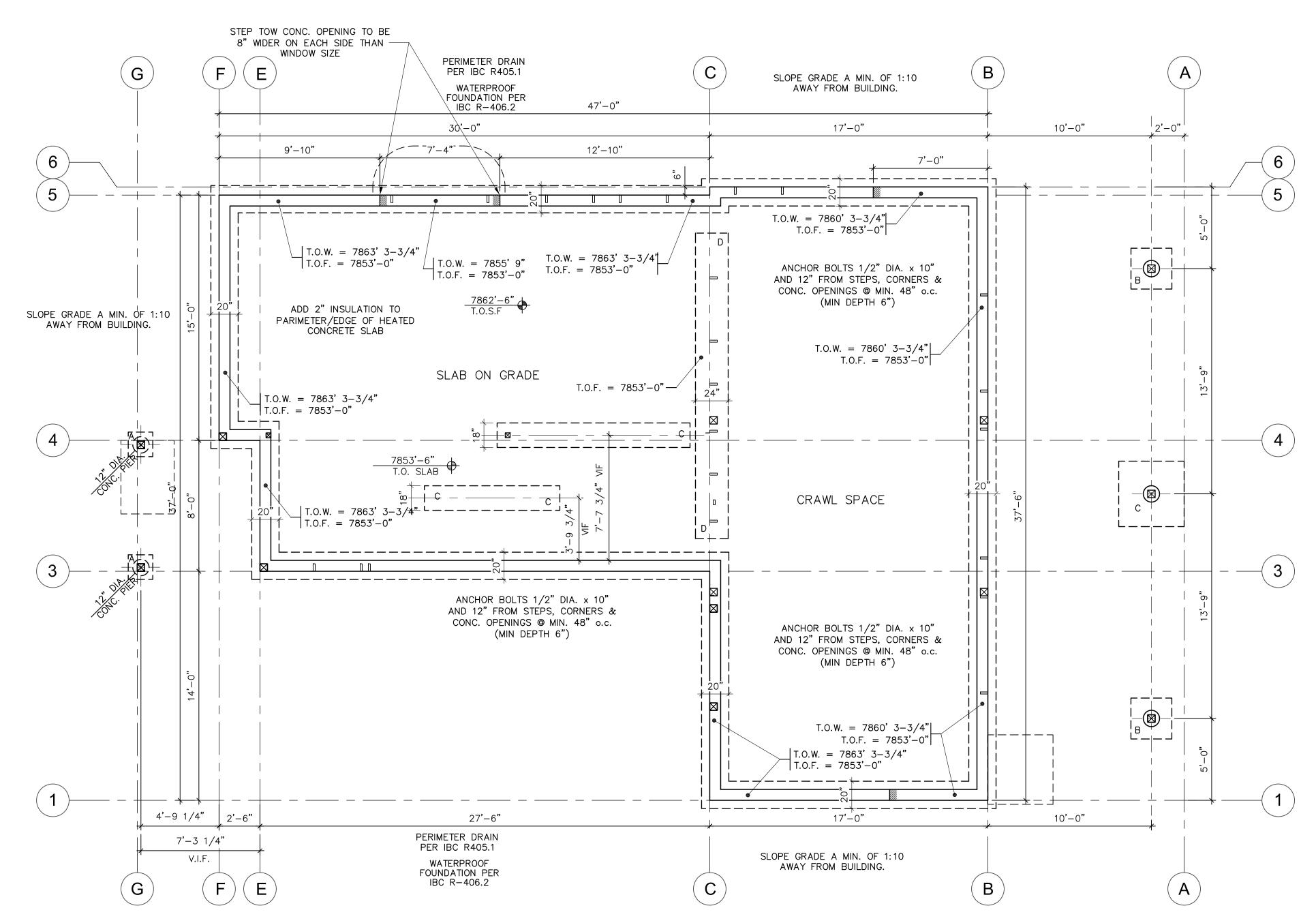
SQUARE CONCRETE PIERS: LESS THAN 5 FT. TALL: (4) #4 VERTICAL (FULL HT.) ONE IN EACH CO AND ONE #3 REBAR HOOP 12" DOWN FROM TOP.

> 5 FT. TO 8FT. TALL: (4) #5 VERTICAL (FULL HT.) ONE IN EACH COR AND #3 REBAR SQ. SPIRAL, W/ 12" PITCH, FULL HEIGHT.

NOTE: #4 & #5 REBAR IS ASTM 40 GRADE

W/ 24" NOMINAL (22-5/8" MIN.) OVERLAP ON #5 REBAR SPLICES 18" MIN. OVERLAP ON #4 REBAR SPLICES

	FOOTING SCHEDULE						
TYPE	SIZE	REINFORCING					
Α	18" x 18" x 8"	(2)-#5 REBAR E.W.					
В	4'-0" x 4'-0" x 12"	(6)-#5 REBAR E.W.					
С	18"x 8" THICKENED SLABS	(2)-#5 REBAR LONGITUDINAL					
D	24"x 10" FTG.	(3)-#5 REBAR LONGITUDINAL					



FOUNDATION SCALE: 1/4" = 1'-0"



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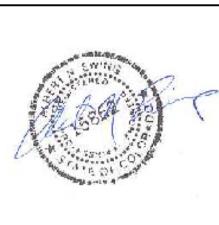
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Ewing structure P.O. BO DDITI

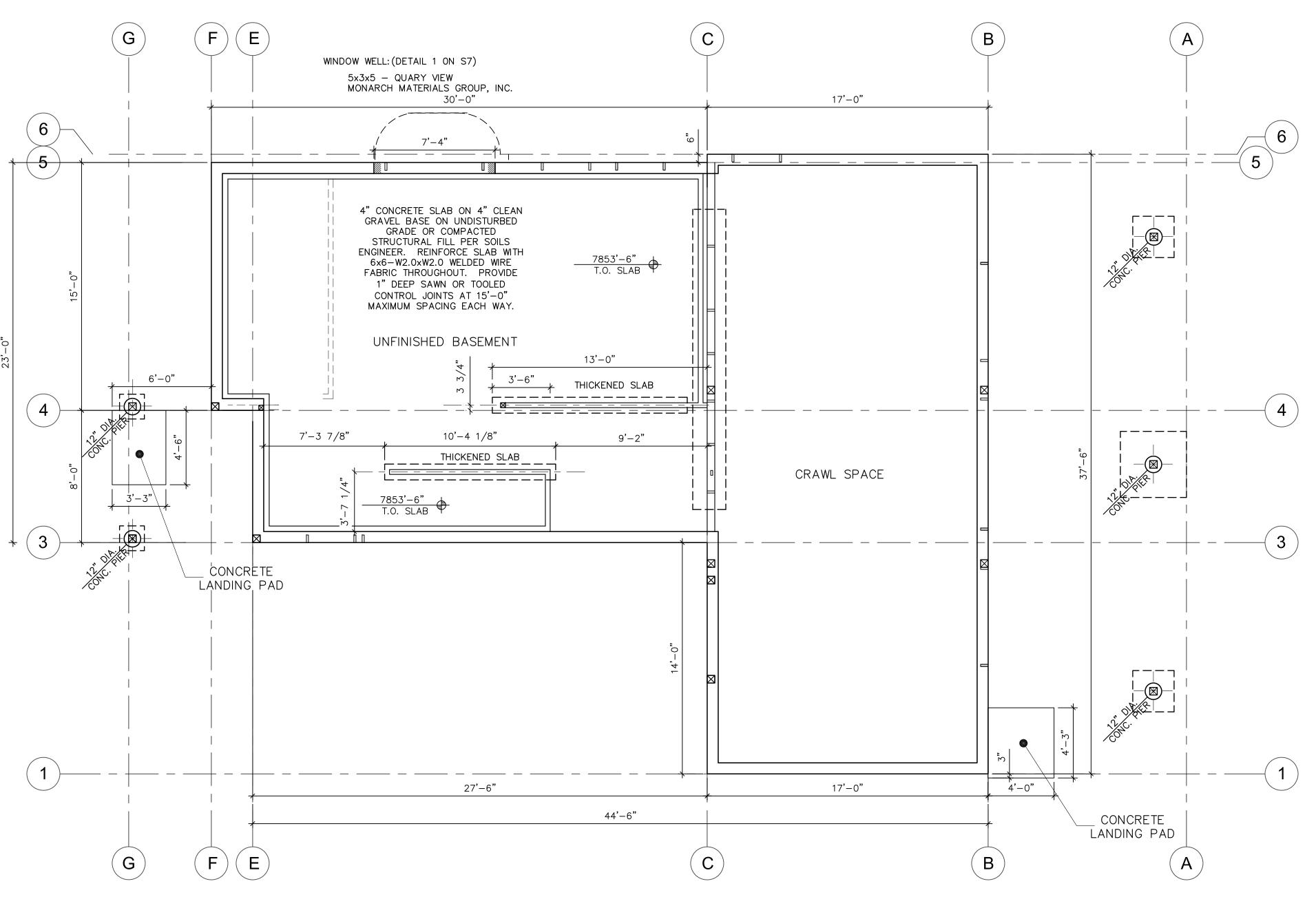
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VAIL, COLORADO 81658
PHONE: (970) 949-5153

inc



LOWER LEVEL

SCALE: 1/4" = 1'-0"

NORTH

PLAN NOTES:

- 1. INTERIOR WOOD STUD BEARING WALLS ARE INDICATED ON PLAN THUS:
- 2. POSTS BELOW ARE INDICATED: □ NON—CONTINUOUS POSTS FROM ABOVE ARE INDICATED: ☒ SINGLE STUD TRIMMERS THAT DO NOT REQUIRE BLOCKING BELOW ARE INDICATED: ▮
- 3. FLOOR SHEATHING IS 3/4" TONGUE AND GROOVE APA STURDIFLOOR, EXP.1, SPAN RATING 24 O.C.; OSB or PLYWOOD.
- 4. (XXX'-XX") INDICATES TOP OF STEEL BEAM ELEVATION. WOOD BEAMS, EXCEPT HEADERS, ARE FLUSH WITH FLOOR JOISTS UNLESS NOTED (DROPPED).
- 5. " () " INDICATES CONNECTION TYPE
- 6. ALL FLOOR JOISTS ARE 14" TJI210 @ 16" O.C., TYPICAL, UNLESS NOTED OTHERWISE.
- 7. NUMBER OF STUDS INDICATED ON PLAN FOR BUILT UP POSTS ARE TRIMMERS ONLY AND DO NOT INCLUDE KING STUDS.
- 8. PROVIDE SOLID BLOCKING OVER SUPPORT(S) & FOR SPANS OVER 8'-0".
- 9. ROOF SHEATHING IS 3/4" APA RATED SHEATHING, EXP.1, SPAN RATING 48/24.
- 10. ROOF BEAMS, EXCEPT HEADERS, ARE FLUSH FRAMED UNLESS NOTED AS (DROPPED).
- 11. ALL HEADERS ARE (3): 2x10 DF UNLESS NOTED OTHERWISE.

HUTTON RESIDENCE
LOT 14, BLOCK 2, BOOCO'S 2nd ADDITION
482 EAGLE RIVER STREET
MINTURN, COLORADO 81645

ISSUED

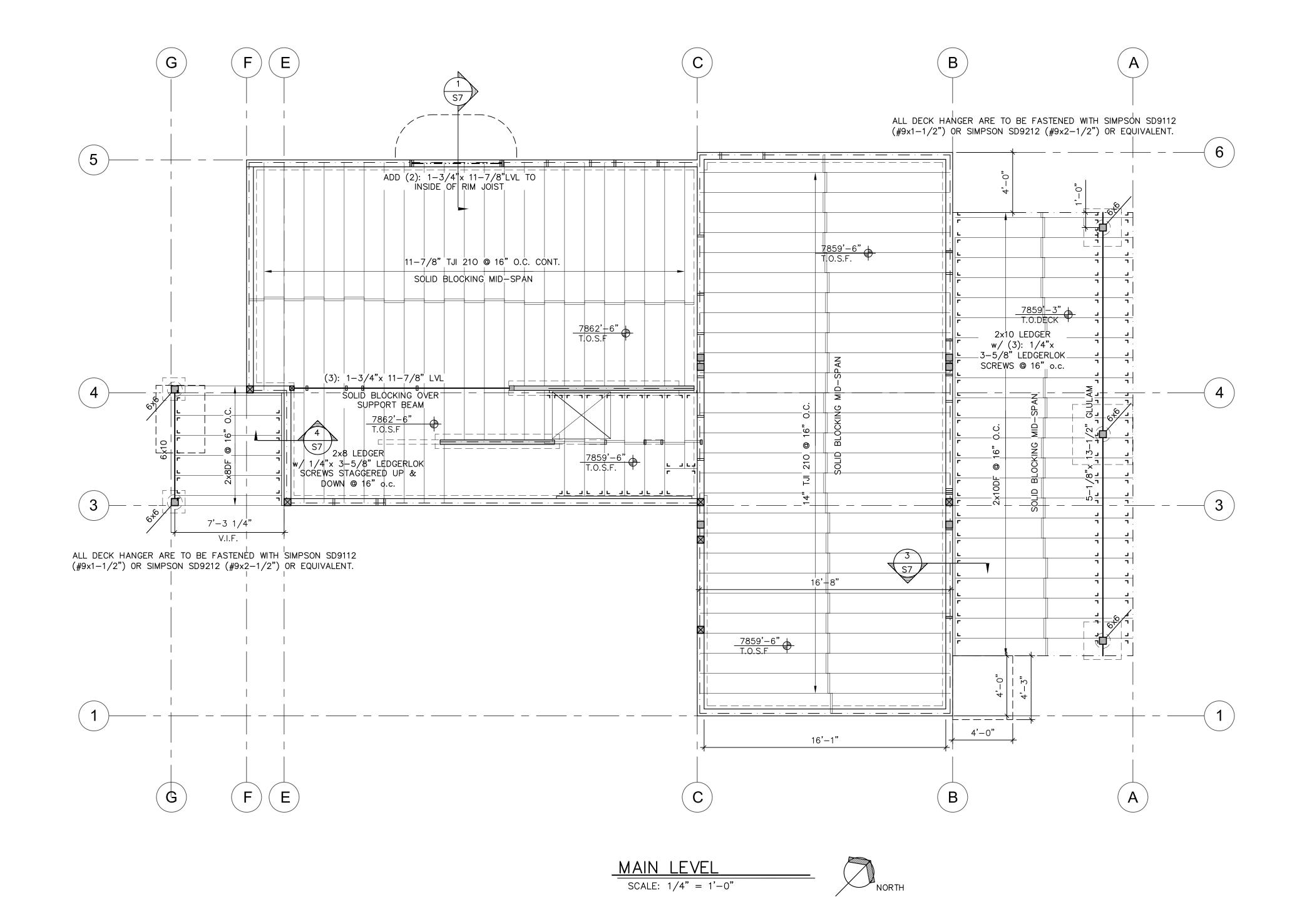
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REV'D.: 11-23-20

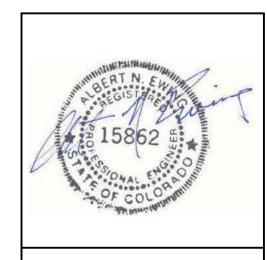
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PERMIT: 4-15-21

	CONNECTION SCHEDULE	LOCATION/ USAGE
(A)	SIMPSON H2.5A (OR EQUIV.)	STUD TO PLATE/RAFTER
B	SIMPSON H1 OR EQUIV.	2X10 JOIST/BEAM HOLD DOWN
©	SIMPSON ITS2.06/9.5	9/1/2" TJI210 (TOP MOUNT)
(D)	SIMPSON LUS210Z	JOIST/LEDGER HANGER (USE SDS SCREWS)
(E)	SIMPSON LUSC210Z	JOIST/LEDGER HANGER (CONCEALED)
(E)	SIMPSON ABU66RZ	6x6RS STAND-OFF POST BASE
(G)	SIMPSON CPTZ88Z	HIDDEN POST BASE
	SIMPSON EPC6Z	6X6 POST CAP (END) 6x6 RS
	SIMPSON PC6Z	6X6 POST CAP (MID-SPAN) 6x6 RS
(J)	SIMPSON AC6RZ	6X6 POST CAP 6x6 RS

FRAMING NOTES:

- 1. EXTERIOR WALL TO 2x6 @ 16" o.c.: INTERIOR WALLS MAY BE 2x4 @ 16" o.c., EXCEPT PLUMBING WALLS (VERIFY w/ PLUMBING CONTRACTOR).
- 2. POSTS BELOW ARE INDICATED: \square NON-CONTINUOUS POSTS FROM ABOVE ARE INDICATED: \square SINGLE STUD TRIMMERS THAT DO NOT REQUIRE BLOCKING BELOW ARE INDICATED: 1
- 3. FLOOR SHEATHING IS 3/4" TONGUE AND GROOVE APA STURDIFLOOR, EXP.1, SPAN
- RATING 24 O.C. OSB OR PLYWOOD.
- 4. WOOD BEAMS, EXCEPT HEADERS, ARE FLUSH WITH FLOOR JOISTS UNLESS NOTED (DROPPED). 5. " " INDICATES CONNECTION TYPE.
- 6. ALL FLOOR JOISTS ARE 14" TJI 210 @ 16" O.C., TYPICAL, UNLESS NOTED OTHERWISE.
- 7. PROVIDE SOLID BLOCKING OVER SUPPORT(S) & FOR SPANS OVER 8'-0".
- 8. ROOF SHEATHING IS 5/8" APA RATED SHEATHING, EXP.1, SPAN RATING 48/24.
- 9. ROOF BEAMS, EXCEPT HEADERS, ARE FLUSH FRAMED UNLESS NOTED AS (DROPPED). 10. ALL RAFTERS ARE ON BEVELED PLATES, UNLESS NOTED OTHERWISE.
- 11. ALL HEADERS ARE (3): 2x10 DF, UNLESS NOTED OTHERWISE.





Ewing Engineering, structural engineerin P.O. BOX 2526
VAIL, COLORADO 81658
PHONE: (970) 949-5153

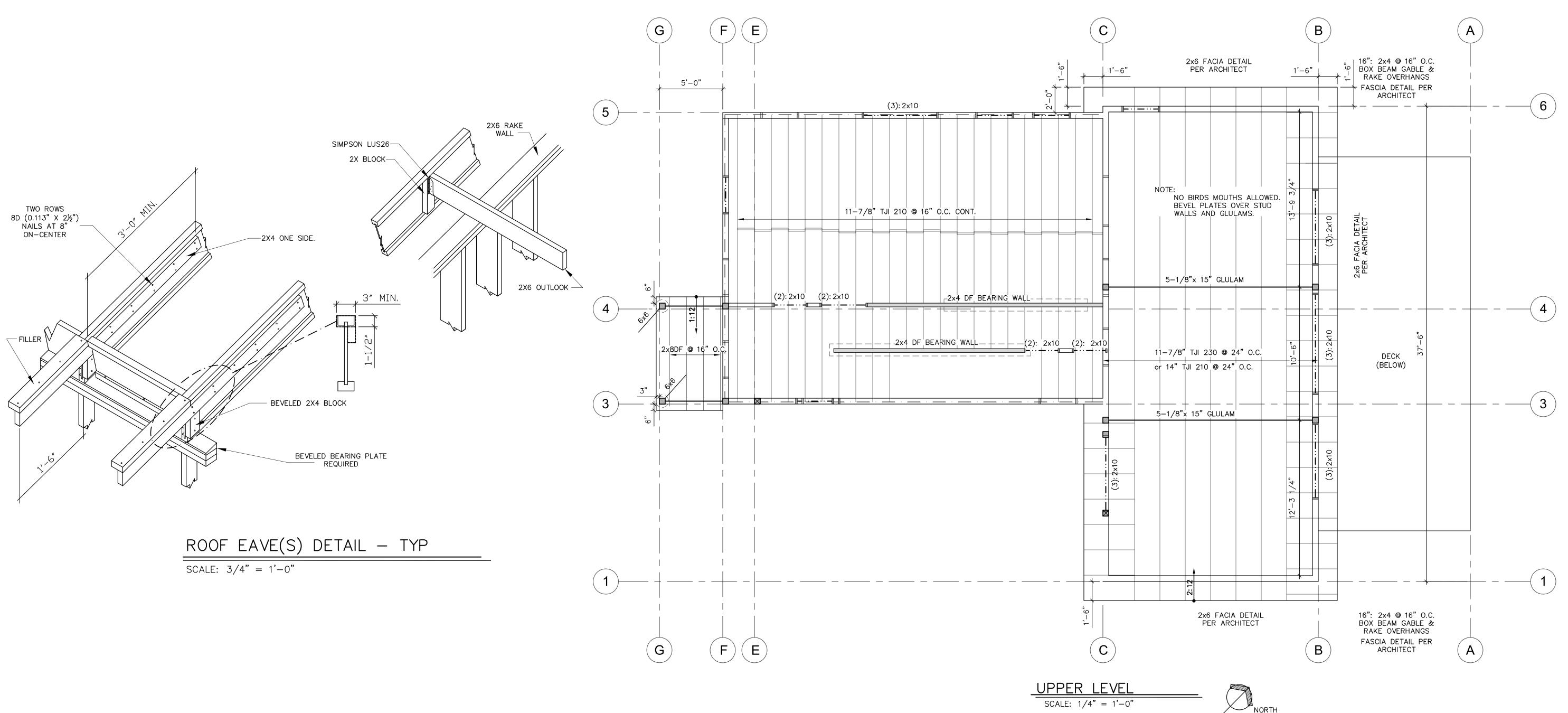
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inc

ADDITION RESIDENCE BOOCO'S 2nd A RIVER STREET LORADO 8164

ISSUED

PRELIM.: 9-14-20 REV'D.: 11-23-20 REVISED: 3-31-21 PERMIT: 4-15-21



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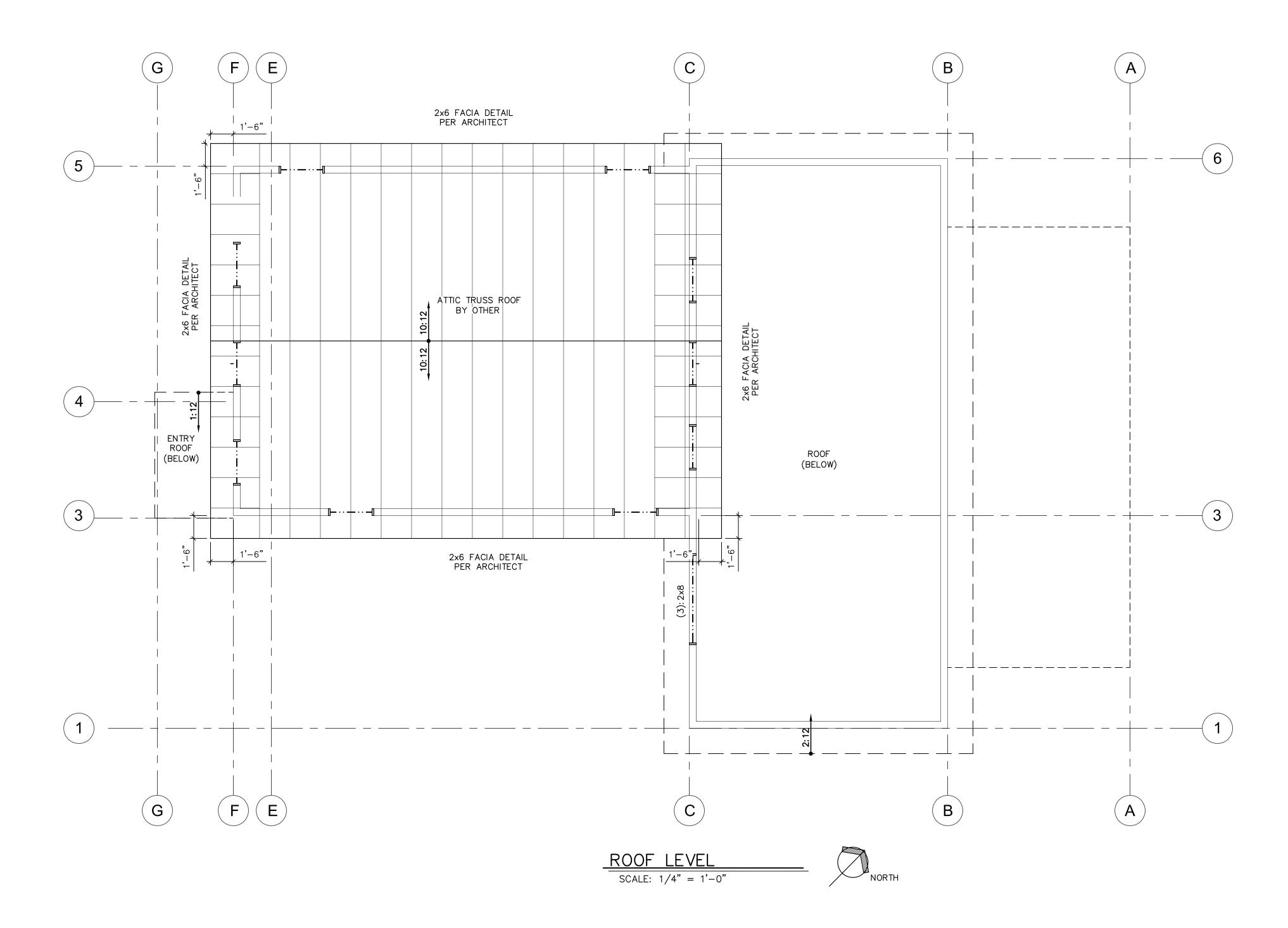
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ADDITION RIVER STREET DLORADO 8164

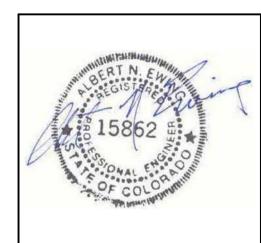
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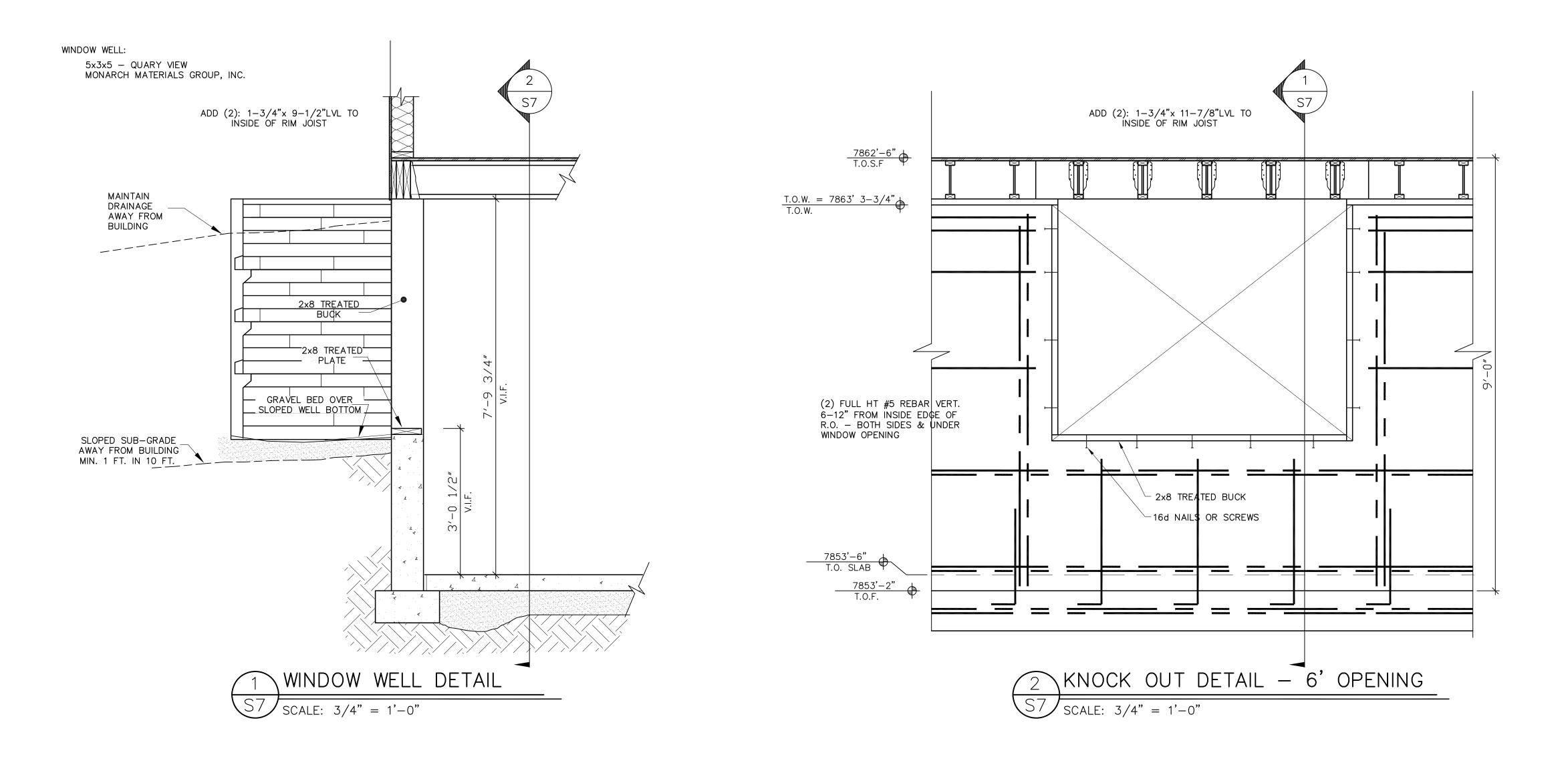


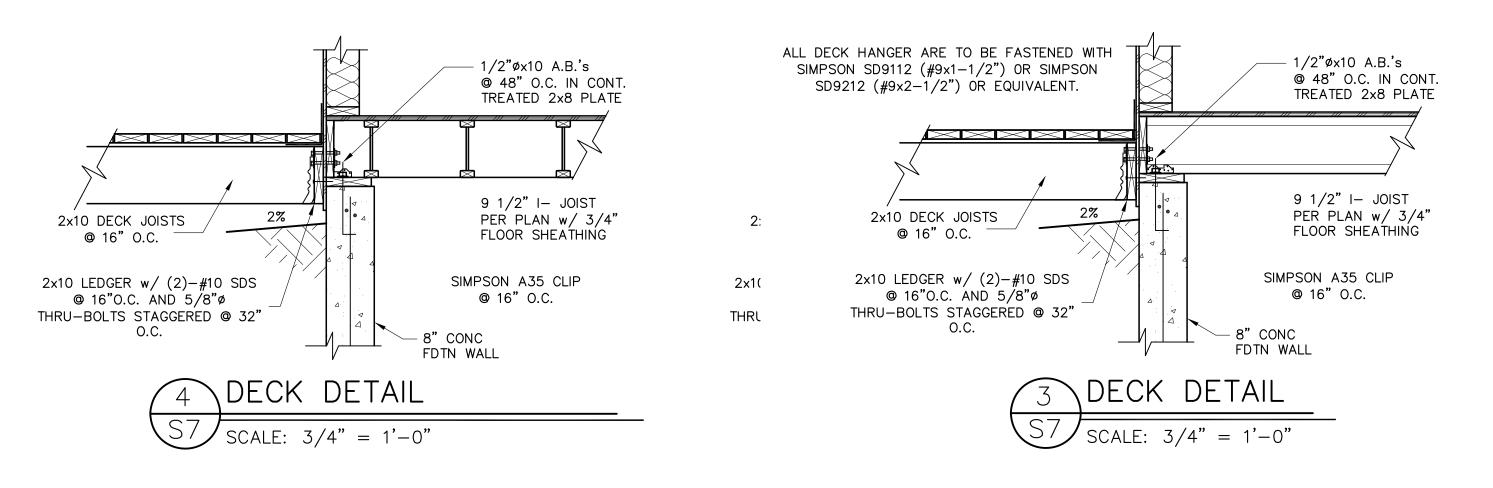
Ewing Engineering, inc.
structural engineering
P.O. BOX 2526
VAIL, COLORADO 81658
PHONE: (970) 949-5153
FAX: (970) 949-5153 ADDITION RESIDENCE BOOCO'S 2nd AD RIVER STREET OLORADO 81645

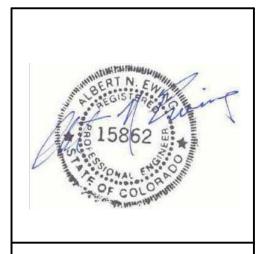
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REVISED: 3-31-21 PERMIT: 4-15-21







inc

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STREET

VAIL, COLORADO 81658
VAIL, COLORADO 81658
FAX: (970) 949-5153

HUTTON RESIDENCE
LOT 14, BLOCK 2, BOOCO'S 2nd AD
482 EAGLE RIVER STREET
MINTURN, COLORADO 81645

ISSUED

PRELIM.: 9-14-20

REV'D.: 11-23-20

REVISED: 3-31-21

PERMIT: 4-15-21

Minturn Planning Department

Minturn Town Center 302 Pine Street Minturn, Colorado 81645



Minturn Planning Commission

Chair – Lynn Teach Jeff Armistead Elliot Hovey Tom Priest Christopher Manning Jena Skinner

Design Review Board Hearing

Faircloth Residence - Final Plan Review for Garage Addition 261 Main Street

Hearing Date: May 12, 2021

File Name and Process: Faircloth Garage Addition

Owner/Applicant: Heather Faircloth

Representative: Tom Warzecha

Legal Description: BOOCO Subdivision, Block F, Lot 12 and Part of Lot 13

Address: 261 Main Street

Zoning: Old Town Mixed-Use (Old Town Character Area)

Staff Member: Scot Hunn, Planning Director

Madison Harris, Planner I

Recommendation: Approval, with Conditions

Staff Report

I. Summary of Request:

The Applicant, Heather Faircloth, requests Final Plan review of a new, garage addition with a breezeway connecting it to the main structure, and the expansion of the dining room located at 261 Main Street in the Old Town Mixed Use Zone District. Although the DRB has not reviewed any conceptual plans, the Applicants have been proactive in meeting with Town staff prior to submitting plans and have provided a relatively complete and thorough set of site, landscaping, and architectural plans allowing staff to conduct a final plan level review of the project.

The design shows a two-car garage with a maximum building height of approximately 11 feet above existing grade. The garage will be constructed over and incorporating the existing concrete retaining wall located at the rear of the property. The space below the proposed garage structure will be a bedroom and bathroom. There will be a breezeway connecting the garage to the main structure on the property, plus an expansion of the dining area.

Proposed Plans

The plans show a new garage addition with a maximum building height of 22.5 feet above proposed grade, well within the maximum allowable 28-foot limit within the Old Town Mixed Use Zone District. This structure will have a bedroom and bathroom beneath the garage. Additionally, the dining area in the main structure is proposed to be expanded.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – Design Guidelines and Standards.

Parking is adequate, with three off-street spaces provided the three different garage spaces either existing or being proposed on the lot.

According to staff's analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town's standards in all but one area.

Staff has identified the following minor issues needing to be addressed prior to or concurrent with building permit application or during the construction process:

- Exterior Light Fixtures the floor plans and elevations should be updated prior to building permit to show all exterior lighting locations as well as cut sheet/specifications.
- **Building Lot Coverage** the plans were submitted with the understanding that the building coverage limit would be increased to 70%. Based on discussion at the Council level during the first reading of the ordinance, this no longer appears to be the case. All residential, if built in a mixed use or a commercial zone, will have to comply with residential standards which is being proposed at 45%. This project is currently at 48.4%, and thus will either need to apply for a variance, or shave off 3.4% of building coverage.
- **Snow Storage** The plans show a flat roof with overhangs projecting to rear and side property lines, with no apparent snow storage areas on either side of the garage. If there are no practical options for storing snow on the subject property, staff respectfully suggests that heat melt of the driveway apron/surface should be considered.

• Impervious Surface Coverage - Currently the Old Town Mixed Use Zone District does not have an impervious coverage limit, however with the approval of Ordinance 3 - Series 2021, one will be implemented (55% for residential, 80% for commercial). Staff is not aware of what the current impervious coverage of this lot is, and how it might measure up to the proposed new lot standards.

With the exception of the above issues, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review. The plans (Sheet A2.01) calls out that exterior materials will match the existing residential structure. Building permit set of plans should show exterior material dimensions and architectural detailing. (Photos of the existing residence are attached for the DRB's reference).

As a reminder, the Planning Commission, acting as the DRB, has the option to review the proposal as a "conceptual" plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or, the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**, with conditions.

II. Summary of Process and Code Requirements:

This is a final plan-level of review for a new garage structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB's concerns or feedback regarding suggested revisions to the project.

As noted above, if the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve or approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions to the plans.

Design Review Process

Appendix 'B' of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection "d" below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

- (d) Administrative procedure.
 - (1) Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.

- (2) Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:
 - a. The proposal's adherence to the Town's zoning regulations.
 - b. The proposal's adherence to the applicable goals and objectives of the Community Plan.
 - c. The proposal's adherence to the Design Standards.
- (3) Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:
 - a. That the proposal is in conformance with the Town zoning regulations.
 - b. That the proposal helps achieve the goals and objectives of the Community Plan.
 - c. That the proposal complies with the Design Standards.

Staff suggests that the final plans for 261 Main Street meet or can be revised to meet the required findings 'a,' 'b,' and 'c' or subparagraph 3 - Necessary findings.

III. Zoning Analysis:

Zoning

The subject property is located within the "Old Town Character Area" Mixed-Use Zone District. The purpose of the Old Town Mixed-Use Zone District is to:

- a. This area allows a compatible mix of **residential uses**, low-impact commercial uses and institutional uses that serve residents and visitors. The Old Town Mixed-Use Zone can accommodate various types of development if found not to significantly impact nearby properties.
- b. The Old Town Mixed-Use Zone is intended to provide sites for combined residential and low-impact commercial and service uses which maintain a predominantly residential appearance. This area can accommodate reasonable growth where land and services are available and when services and amenities are needed for residents and visitors.

- Town of Minturn Town Code Section 16-6-40

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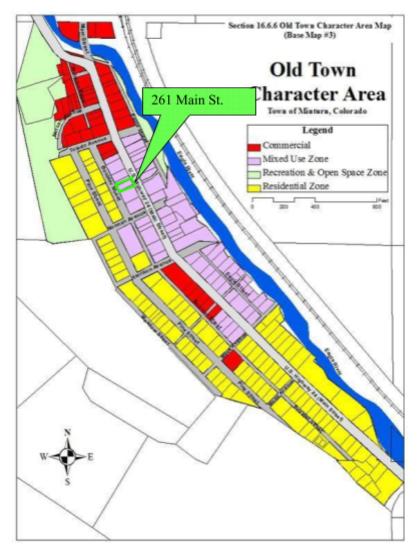


Figure 1: Old Town Character Area Zoning Map

Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant to Sections 16-2-40. - General lot requirements and dimensional standards and 16-16-20 - Parking Required for Residential and Lodging Uses.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	5,000 sq. ft.	3750 sq. ft.
Maximum Building Height:	28 feet	22.5 feet
Minimum Front Setback:	10 feet	No Change
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	10 feet

Maximum Lot Coverage:	40% (1687.5 sq. ft.)	1,367.75 sq. ft. (36.47%) Existing 1,815.31 sq. ft. (48.4%) Proposed*
Maximum Impervious Coverage:	No Limit in Old Town Mixed-Use	N/A**
Minimum Snow Storage Area:	5% of Driveway Area	Unknown
Parking:	3 spaces	3 spaces

Note: the above calculations are based on the following:

Lot 12 and part of
$$13 = .086$$
 acres x $43,560$ sq. ft./acre = $3,750$ sq. ft.

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The design guidelines encourage designs that integrate or account for snow storage and snow shed from roof structures, along with ensuring that the orientation of buildings – to street frontages and neighboring properties – is considered.

Snow Storage and Orientation of Buildings and Roof Forms

The design guidelines encourage designs that take into account snow storage and snow shed from roof structures as a result of building and roof form orientation to neighboring properties. The Applicants are proposing a flat roof over the garage element and the site plan does not detail how or where snow storage will be accommodated on the site. Staff suggests that details regarding how snow will be managed in winter months are outstanding and should be discussed by the Design Review Board and Applicant.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed garage design:

"Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

^{*}Please see discussion of building coverage in Section V of this report.

^{**}Please see discussion of impervious coverage in Section V of this report.

"Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures."

-Town of Minturn Design Guidelines

Staff Response:

Staff believes the proposed design and scale of the proposed garage structure is generally complimentary to the existing single-family residential structure as well as adjacent properties and improvements. The placement of the proposed garage relative to the edge of pavement of Boulder Street is similar, if not more compliant than, other structures on adjacent properties.

V. <u>Issues and Areas of Non-Conformance</u>:

Issues or Required Plan Revisions

The following issues or areas of refinement have been identified by staff that must be addressed prior to any building permit submittal:

Exterior Light Fixtures

The plans should be updated to show exterior light locations. Light fixtures and lighting solutions are to be dark sky compliant.

Snow Storage

Snow storage is a concern to staff. The plans show a flat roof with overhangs projecting to rear and side property lines, with no apparent snow storage areas on either side of the garage. If there are no practical options for storing snow on the subject property, staff respectfully suggests that heat melt of the driveway apron/surface should be considered.

Building Lot Coverage

The plans were submitted with the understanding that the building coverage limit would be increased to 70%. Based on discussion at the Council level during the first reading of Ordinance 3 - 2021, this no longer appears to be the case. All residential, if built in a mixed use or a commercial zone, will have to comply with residential standards which is being proposed at 45%. This project is currently at 48.4%, and thus will either need to apply for a variance, or shave off 3.4% of building coverage.

Impervious Surface Coverage

Currently the Old Town Mixed Use Zone District does not have an impervious coverage limit, however with the approval of Ordinance 3 - Series 2021, one will be implemented (55% for residential, 80% for commercial). Staff is not aware of what the current impervious coverage of this lot is, and how it might measure up to the proposed new lot standards.

VI. Staff Recommendation and Suggested Conditions:

Staff suggests that the Final Plans for 261 Main Street generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code. What the Applicants are proposing is generally similar to existing conditions along Boulder Street. Importantly, the proposed garage structure may alleviate parking issues along Boulder Street and, therefore, accomplish other Town goals and policy objectives.

Staff is **recommending approval** of the Final Plans, with the following recommended condition(s):

- 1. The Applicant shall provide final grading and drainage details, including an updated survey showing spot elevations, for review by the Town Planner and Engineer prior to submittal for building permit.
- 2. The Applicant shall revise the site plan to show how snow storage will be accommodated on-site and/or how snow will be treated (snowmelt) if storage is not feasible on the subject property.
- 3. The Applicant shall revise the site and/or floor plans to show all proposed exterior light locations and provide final cut sheets/specifications for proposed exterior light fixtures prior to or concurrent with building permit applications to ensure compliance with the Town's lighting standards as well as consistency with fixtures found on the existing residential structure on the subject property.
- 4. This Final Plan approval is contingent on final approval by the Town Council of Ordinance 3 Series 2021, which will raise the allowable building lot coverage limit to 45% and 55% for total impervious lot coverage for a residential structure. To achieve this limit, the Applicant shall revise the plans to have no greater than 45% building coverage on the lot and shall ensure that total impervious coverage is no greater than 55%.



Project Name

DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT

P.O. Box 309 302 Pine Street

Minturn, Colorado 81649-0309

Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Troject vaine.	
Heather Faircloth garage, breezway, dinning room add	titions
Project Location	
Street Address:	
261 Main street Minturn, Co 81645	
Zoning: mixed use	Parcel Number(s): 2103 263 12003
Application Request:	
Proposed (2) car garage with bedroom and bathroom Proposed Dinning room bump out under existing deck Proposed Breezway attaching the lower garage unit to	(
Applicant:	
Name: Wei construction	
Mailing Address: P.O.Box 1384	
Vail ,Co 81658	
Phone: 970 390 3674	Email: wei04@comcast.net
Property Owner:	
Name: Heather Faircloth	
Mailing Address: 261 Main Street Minturn, Co 81645	
Phone: 720-320-9333	Email: fairclothh@yahoo.com

red and a militar mation.			
Lot Size: 3750 sqft	Type of Residence (Single	# of Bedrooms	# On-site Parking Spaces
	Family, ADU, Duplex)	3	1
	single family		
# of Stories:	Snow storage sq ft:	Building Footprint sq ft:	Total sq ft Impervious Surface:
2	580sqft	1815.31	2035.31sqft.

Signature:

Required Information:

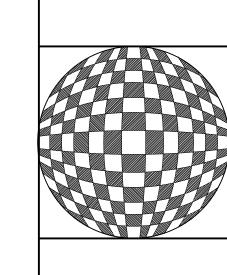
Date Received: 4/26/21

Planner: Mad 3 m

Email: fairclothh@yahoo.com

April 26 2021

The purpose of this project is to provide additional onsite parking with a bedroom and bathroom below attached to the house with a breezeway and expand the dining room space.



GARAGE ADDITION
261 MAIN STREET
MINTURN COLORADO 81645

JOB NUMBER: 20-5
DRAWN BY: TH

DATE: MARCH 22, 2021

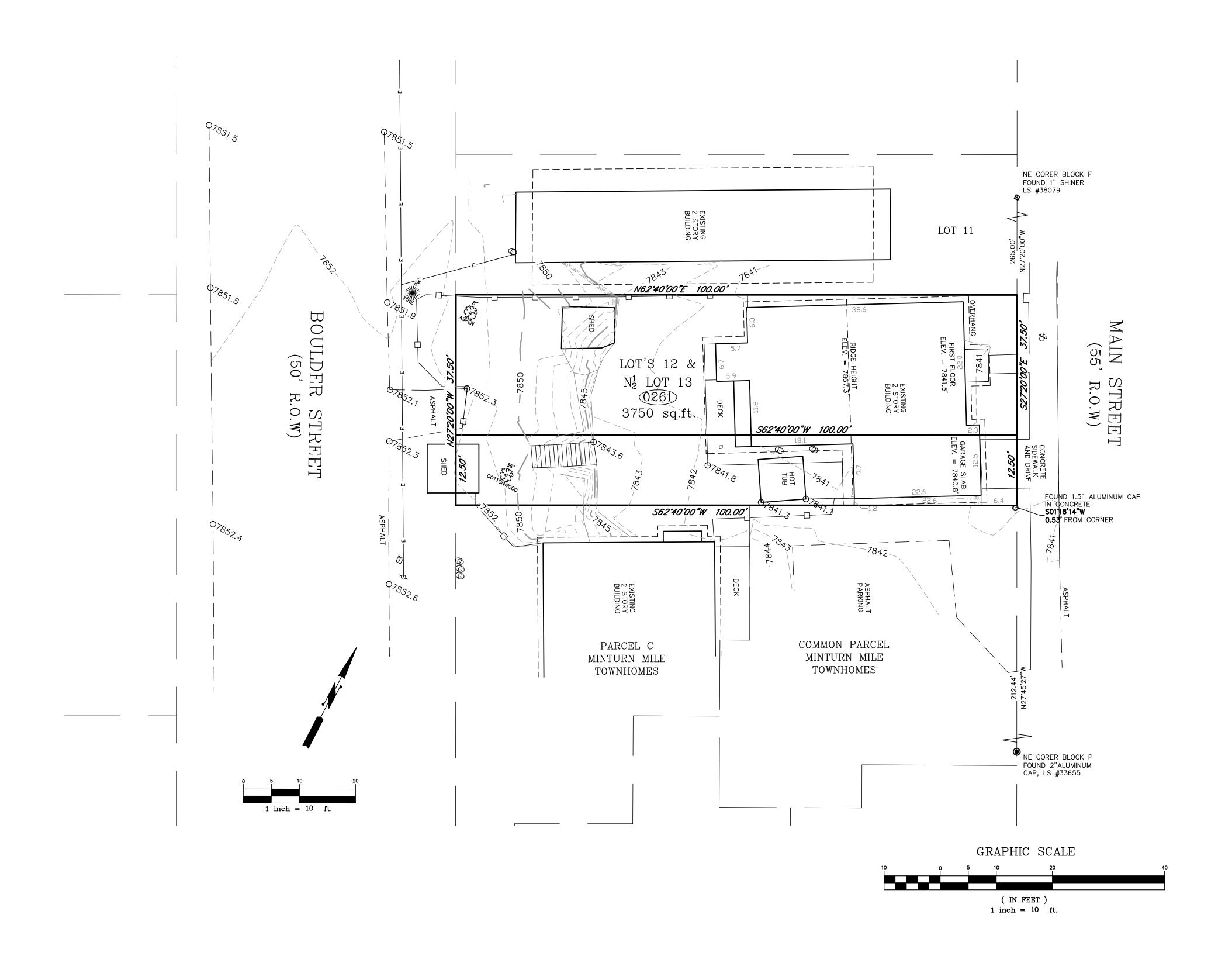
issue: CON1

SD1 ₇₈

TOPOGRAPHIC SURVEY

Lot 12 and $N_{\frac{1}{2}}$ LOT 13, Block F, Booco's Addition To Minturn

Located in Section 26, T5S, R81W, 6th P.M. Town of Minturn, Eagle County, Colorado



LEGAL DESCRIPTION:

Lot 12 and the Northerly $\frac{1}{2}$ Lot 13, Block F, Plat of Booco's Addition to Minturn, dated February 14, 1891, according to the plat thereof, recorded under Reception No. 9109, in the Office of the Clerk and Recorder, Eagle County, Colorado.

NOTES:

- 1) Survey Date: June 14, 2018.
- 2) Street Address: 261 Main Street. (posted)
- 4) Record easements, legal description, and rights—of—way shown hereon were derived from above referenced Final Plat, monuments found at the time of the survey and Warranty Deed Reception No. 201606076. This survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property.
- 5) This survey was performed using U.S. Survey Feet.
- 6) This is not a monumented survey, Land Survey Plat, or Improvement Survey plat. No boundary resolution was performed in making this survey. All lot lines, setback lines, and easement lines shown hereon should be considered approximate and should not be relied upon for the placement of any future improvements.
- 7) Notice; According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon
- 8) Benchmark: Derived from NGS S-280 with an Elevation = 7894.5 and the first floor elevation shown hereon is relative thereto.

<u>CERTIFICATION</u>

I, Randall P. Kipp, a Registered Professional Land Surveyor in the State of Colorado, hereby certify that this TOPOGRAPHIC SURVEY was done by me or under my direct supervision, and that it was performed using the standard care and practice used in the area at the time of the survey. The Notes hereon are a part of this certification.



Randall P. Kipp P.L.S. No. 38079 Colorado Professional Land Surveyor

KIPP LAND SURVEYING

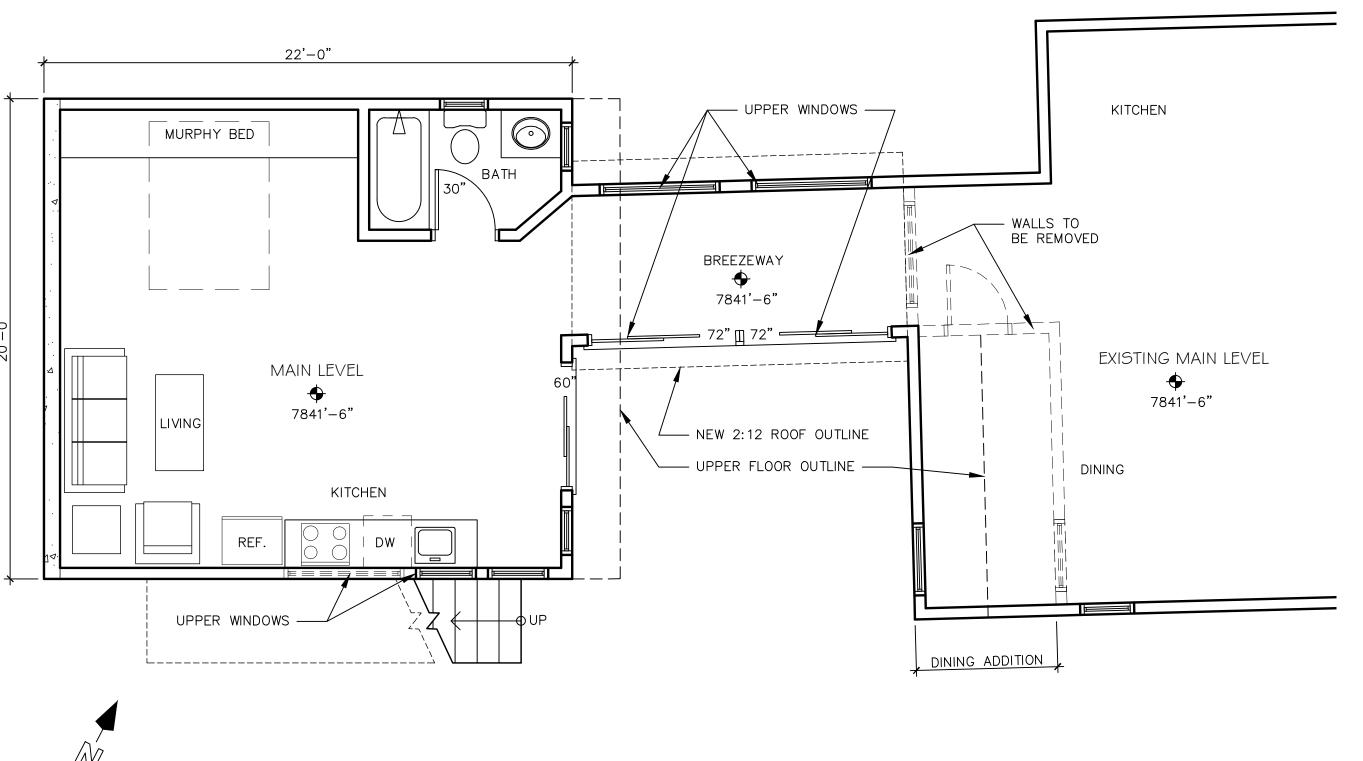
web: kipplandsurveying.com

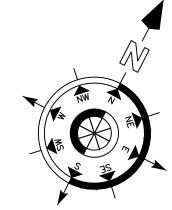
RANDY KIPP P.L.S.
P.O. Box 3154
Eagle, CO 81631
(970) 390-9540
email: randy@kipplandsurveying.com

TOPOGRAPHIC SURVEY
LOT 12 AND N $\frac{1}{2}$ LOT 13, BLOCK F
Booco's Addition To Minturn
Town of Minturn, Eagle County, Colorado

DRAWN BY: RPK	DATE: 6/18/18
SHEET: 1 OF 1	18116 L12N13 TOPO DWG NO.:

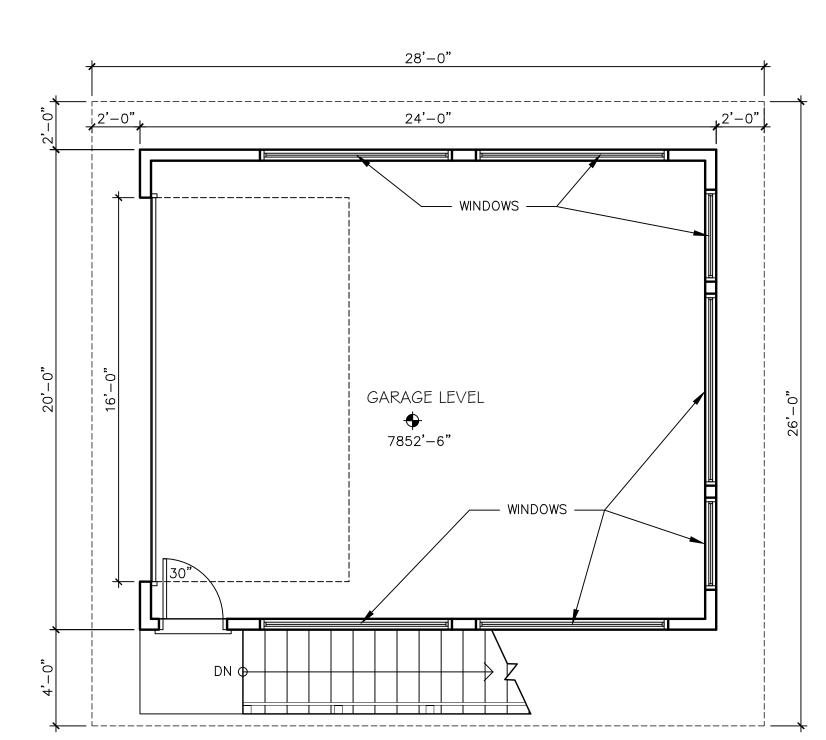
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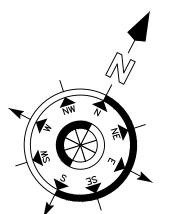




MAIN LEVEL FLOOR PLAN

MAIN LEVEL = 533.04 SQ. FT. DINING = 69.29 SQ. FT.





GARAGE LEVEL FLOOR PLAN

1/4" = 1'-0"

GARAGE = 480 SQ. FT.

GARAGE ADDITION
261 MAIN STREET

JOB NUMBER: 20-5

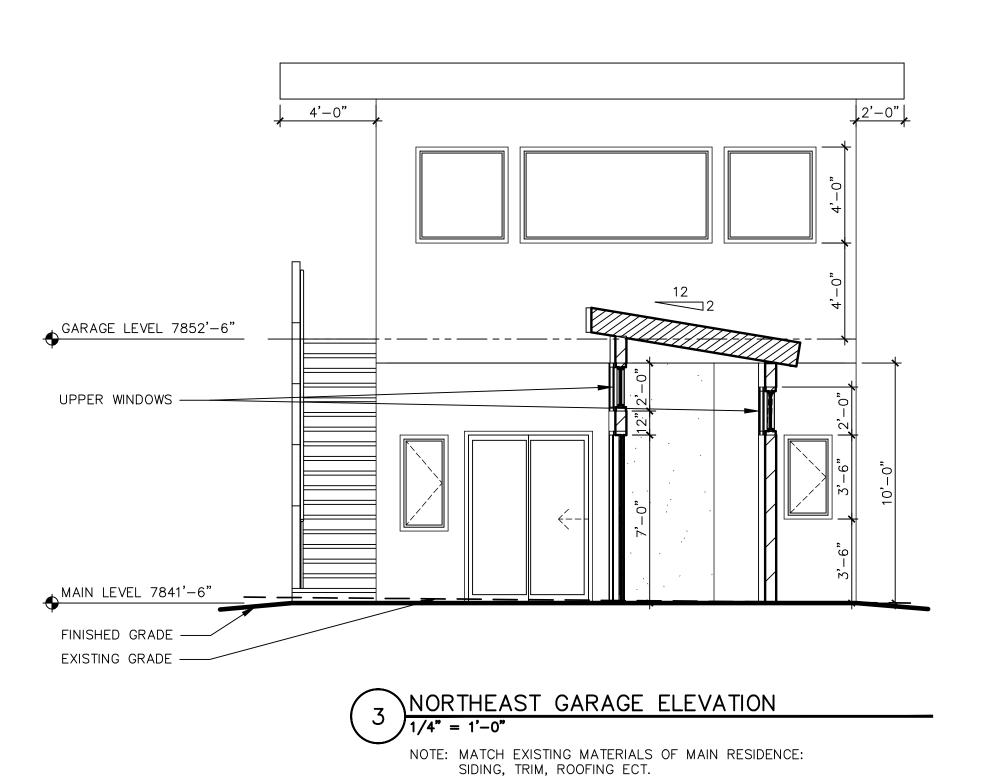
DATE: MARCH 22, 2021

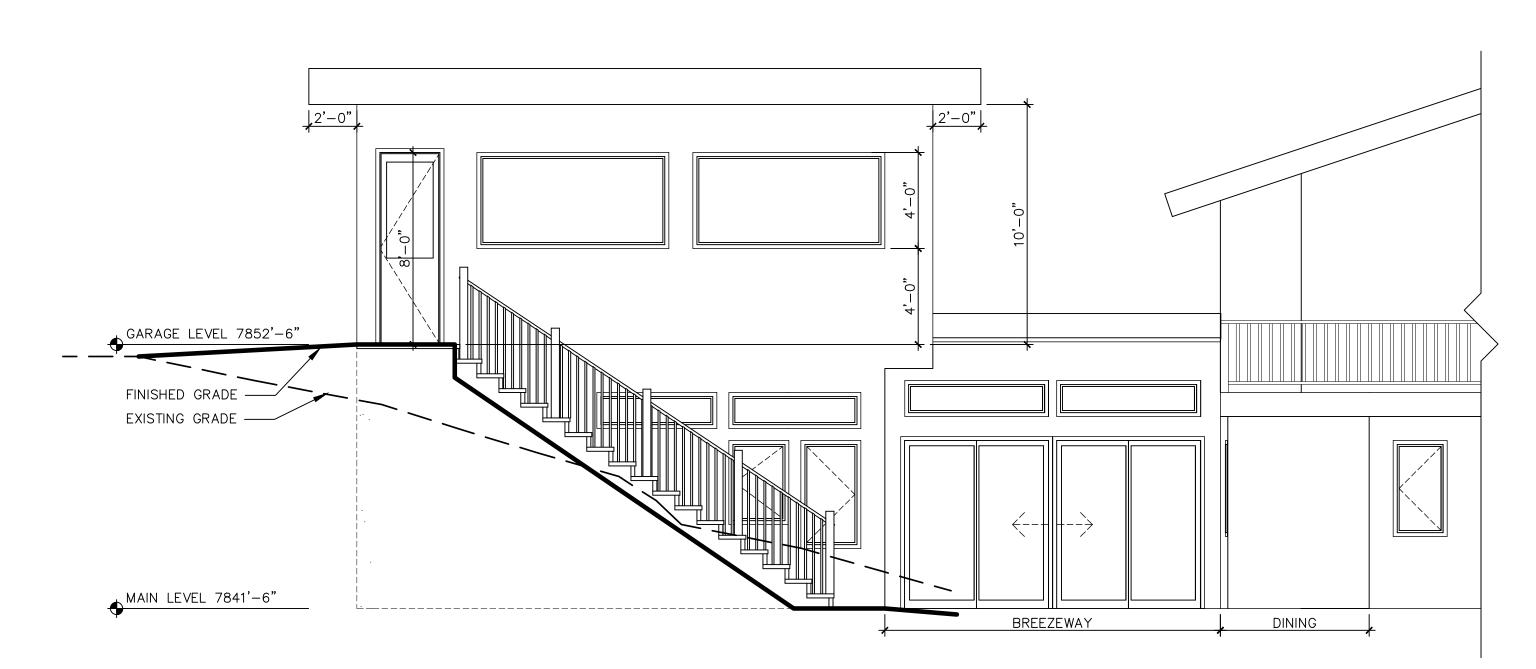
issue: CON1

A1 80

1 SOUTHWEST GARAGE ELEVATION

NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE: SIDING, TRIM, ROOFING ECT.

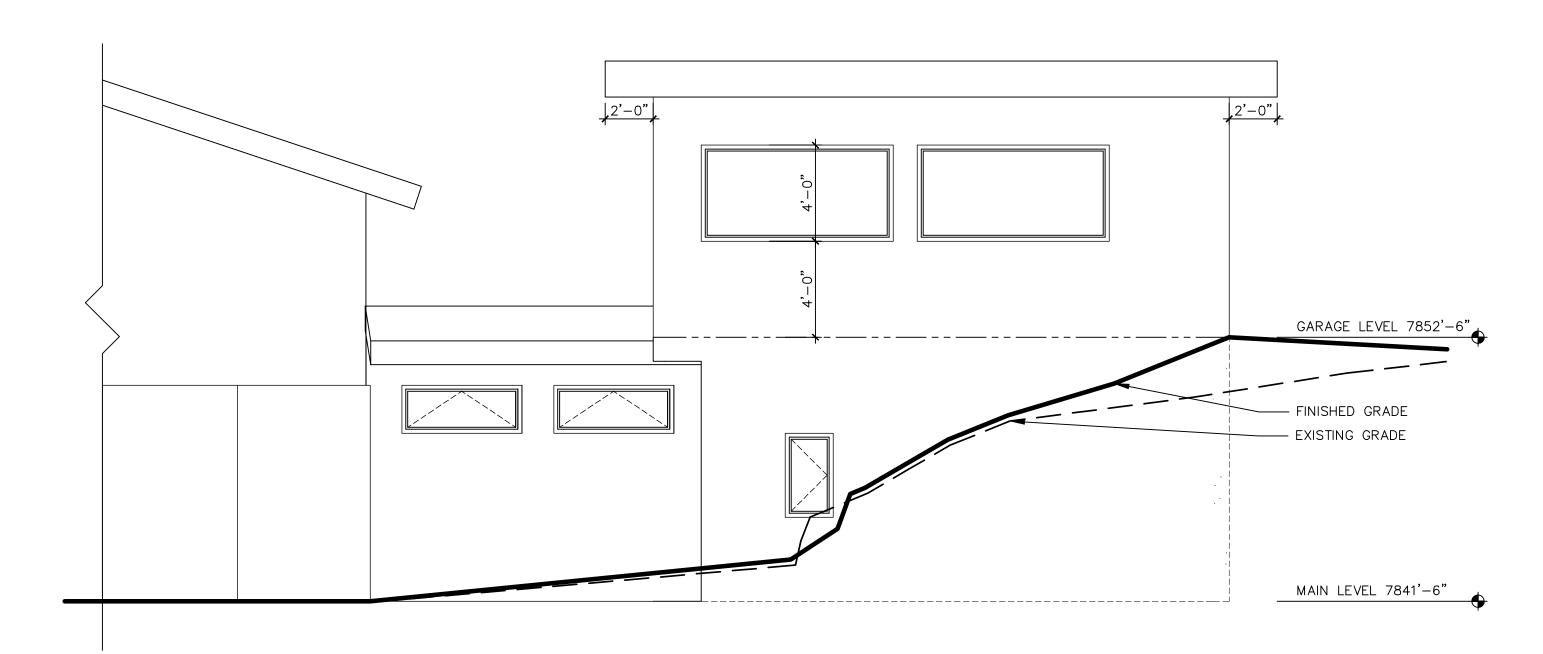




SOUTHEAST GARAGE ELEVATION

1/4" = 1'-0"

NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE: SIDING, TRIM, ROOFING ECT.



4 NORTHWEST GARAGE ELEVATION

1/4" = 1'-0"

NOTE: MATCH EXISTING MATERIALS OF MAIN RESIDENCE: SIDING, TRIM, ROOFING ECT.



GARAGE ADDITIO
261 MAIN STREET
MINTURN COLORADO 8164

JOB NUMBER: 20-5

DRAWN BY: TH

DATE: MARCH 22, 2021

ISSUE: CON1

REVISION DATE

A2.01₈₁



